



City of Charleston

# Design Review Board

February 6, 2017

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

**Agenda Item 1:**

**1912 Central Park Road**

**Request approval for demolition of two houses, one storage structure, and two foundations.**



**Structure #1**



















**Structure #2**

















Structure #3













## Structure #4







**Structure #5**















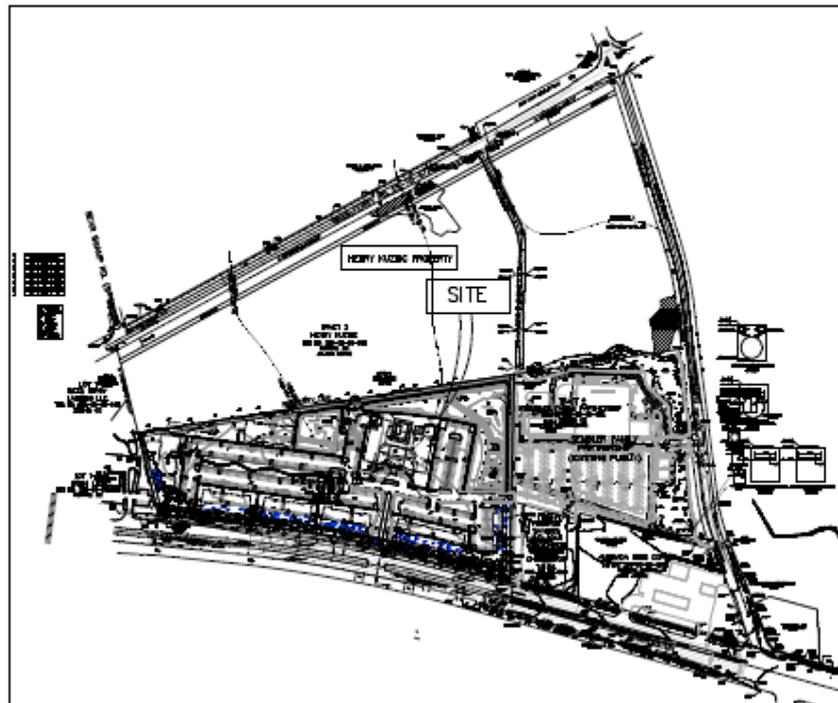
## **Agenda Item 2:**

### **Savannah Highway**

**Request conceptual approval for new construction of a multi-family development.**

# SITE IMPROVEMENT PLANS FOR GATEWAY APARTMENTS

LOCATED IN  
**THE CITY OF CHARLESTON, SOUTH CAROLINA**



LOCATION MAP  
1" = 200'

### DEVELOPMENT SUMMARY

**CONTRACTOR:**  
SITE IMPROVEMENT  
405 CORPORATE CENTER DRIVE  
SUITE 200  
ROSELAND, GA 30088  
PHONE: (770) 474-8540

**CLIENT:**  
HUNTER BROS. OF SOUTH CAROLINA  
1000 EAST BROAD CHARLESTON COUNTY, SC 29401

**OWNER:** WILLIAM J. JR.  
1000 EAST BROAD CHARLESTON COUNTY, SC 29401

**DESIGNED BY:** CIVIL ENGINEERING  
1000 EAST BROAD CHARLESTON COUNTY, SC 29401

**REVISIONS:**  
NO. DATE  
1 01/15/14

**DATE:** 01/15/14  
BY: (SIGNED) [NAME]  
TITLE: [TITLE]

**PROJECT NO.:** 04015.22  
SHEET NO. 1 OF 3

**LANDSCAPE ARCHITECT:**  
FLA, INC.  
20 Ladbroke Drive  
Mg. A  
Charleston, SC 29407  
Contact: Jason Lester  
Phone: (843) 785-1188

**CIVIL ENGINEER:**  
FLA, INC.  
20 Ladbroke Drive  
Mg. A  
Charleston, SC 29407  
Contact: Jason Lester  
Phone: (843) 785-1188

**LANDSCAPE ARCHITECT:**  
FLA, INC.  
20 Ladbroke Drive  
Mg. A  
Charleston, SC 29407  
Contact: Jason Lester  
Phone: (843) 785-1188

SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL

### REGULATORY AGENCY & CONTACT INFORMATION

- |                      |  |
|----------------------|--|
| 1. STREET            | CITY OF CHARLESTON PLANNING DEPARTMENT 100 BAYVIEW DRIVE (843) 841-6764        |
| 2. ZONING            | CITY OF CHARLESTON CONTACT: JENNIFER CALDWELL (843) 841-6760                   |
| 3. UTILITY-SEWER     | CHARLESTON COUNTY CONTACT: MICHAEL SMITH (843) 852-3200                        |
| 4. WATER             | SC STATE WATER CONTROL CONTACT: JERRY SULL (843) 888-3438                      |
| 5. POWER             | CHARLESTON POWER SYSTEM CONTACT: ALTA GIBSON (843) 897-4800                    |
| 6. TELECOMMUNICATION | SC STATE CONTACT: MICHAEL PETERSON (843) 848-8881                              |
| 7. TRAFFIC           | SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION CONTACT: JERRY SULL (843) 888-3438 |
| 8. FIRE/EMERGENCY    | FLA, INC. CONTACT: JASON GIBSON (843) 848-8881                                 |
| 9. GAS               | FLA, INC. CONTACT: JASON GIBSON (843) 848-8881                                 |
| 10. OTHER            | FLA, INC. CONTACT: JASON GIBSON (843) 848-8881                                 |

### GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLESTON ZONING ORDINANCES.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHARLESTON AND THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHARLESTON AND THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION.
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REVISION NO.	DATE
1	01/15/14
2	01/15/14
3	01/15/14

**FLA, INC.**  
20 Ladbroke Drive, All  
Charleston, SC 29405-9508  
Tel: 843.785.1188  
Fax: 843.785.1189  
www.fla.com



COVER SHEET  
GATEWAY APARTMENTS  
CITY OF CHARLESTON, CHARLESTON  
COUNTY, SOUTH CAROLINA

PROJECT: 04015.22  
DATE: 1/15/14  
SCALE: 1" = 200'  
DESIGN: ATB  
DRAWN: ATB  
CHECK:  
DWG:

REVISIONS

NO.	DATE	DESCRIPTION

SHEET  
1 of 3







**LEGEND**

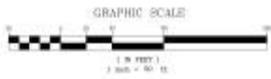
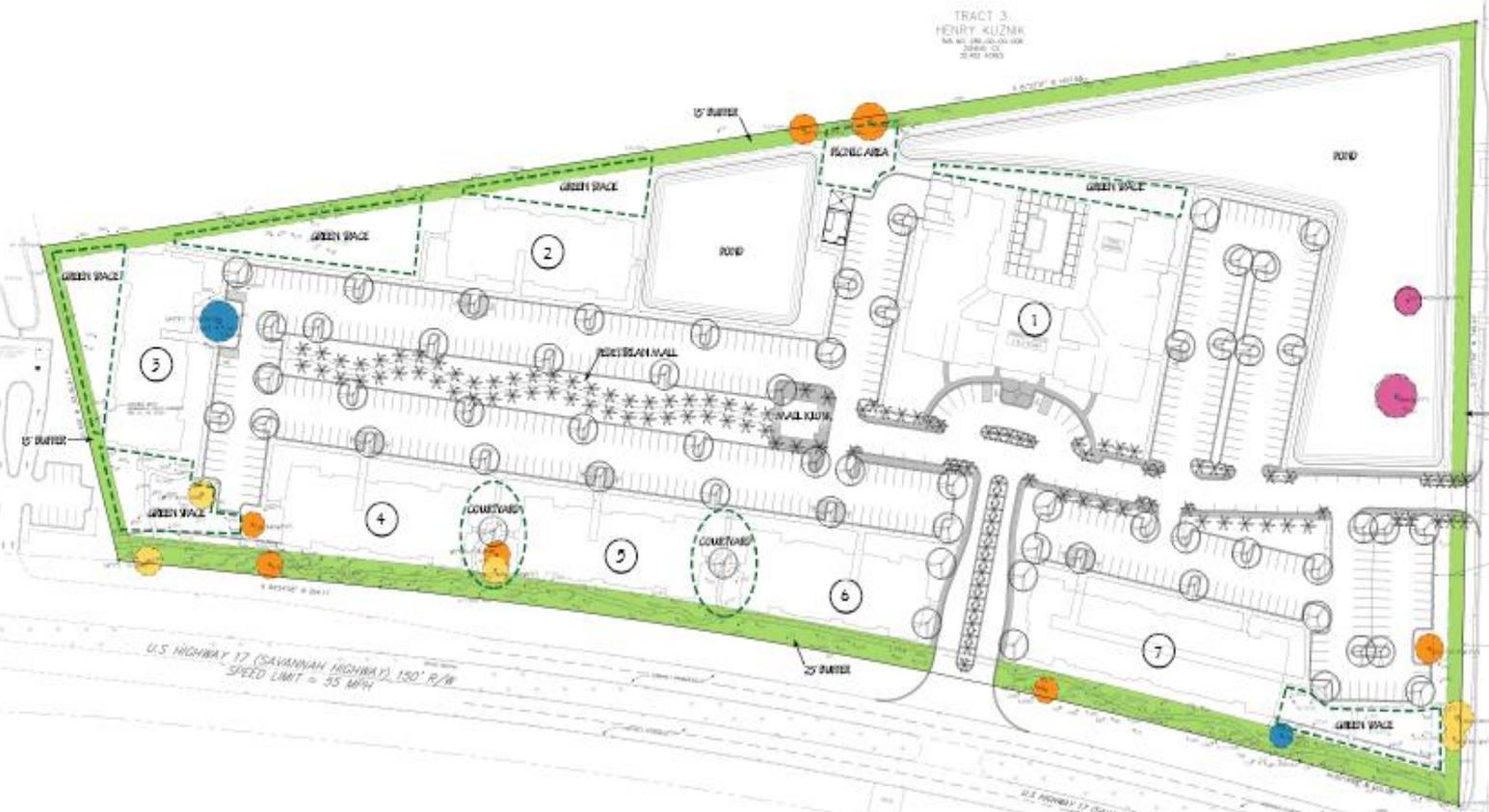
- BOUNDARY LINE & CORNER TOAS (AS DISCLOSED)
- BOUNDARY LINE & CORNER RT (A/N/ REMA)
- ADJACENT BOUNDARY LINE
- RIGHT OF WAY LINE
- EASEMENT LINE (AS DISCLOSED)
- COVERING
- OVERHEAD POWER LINE
- POWER POLE
- UTILITY POLE



LOCATION MAP  
NOT TO SCALE

**HILAINC** LAND PLANNING  
LANDSCAPE ARCHITECTURE  
29 Litchbach Drive, A2  
Charleston, SC 29407-6900  
tel 843.763.1166  
fax 843.763.1169  
www.hilainc.com

TRACT 3  
HENRY KUZNEK  
TAX MAP 286-20-00-008  
30440, CL  
25.452 ACRES



CONCEPTUAL LANDSCAPE PLAN  
GATEWAY APARTMENTS  
CITY OF CHARLESTON  
CHARLESTON COUNTY, SOUTH CAROLINA

FIRST FEDERAL AND LOAN AS OF CHARLESTON, SOUTH CAROLINA

PROJECT #	04015.22
DATE	11.30.2014
SCALE	1" = 50'
DESIGN	ATB
DRAWN	ATB
CHECK	
REVISIONS	



SUBJECT TO REGULATORY AGENCY REVIEW AND APPROVAL



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REVISIONS

REV # DATE DESCRIPTION

REV #	DATE	DESCRIPTION

STAMP

CLIENT

**DAMS DEVELOPMENT**  
 400 CORPORATE CENTER DRIVE,  
 SUITE 100  
 WOODBRIDGE, VA 22191  
 703-474-4600

PROJECT

GATEWAY CHARLESTON  
 CHARLESTON, SC

DRAWING TITLE

**BUILDING 100 FLOOR  
 PLANS**

DRAWN BY

CHECKED BY

SCALE

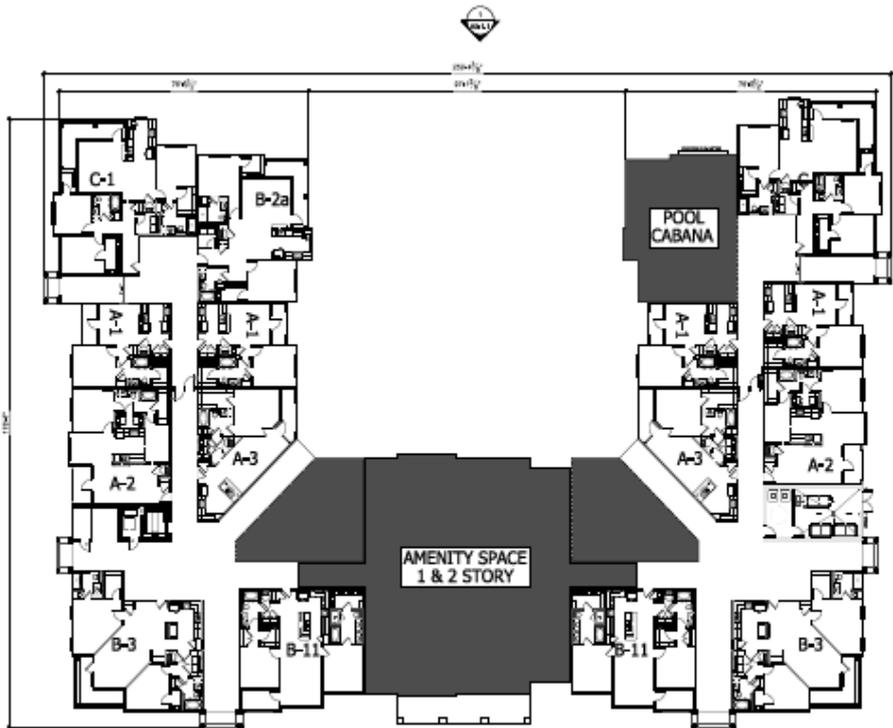
AS NOTED DATE 5/11/13

PROJECT NUMBER 1000

DRAWING NUMBER

**A3-1**

NOT RELEASED FOR CONSTRUCTION



MAIN LEVEL • BUILDING PLAN  
 1000-P

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REVISIONS

NO.	DATE	DESCRIPTION

DATE: \_\_\_\_\_

CLIENT  
**DAMS DEVELOPMENT**  
 400 CORPORATE CENTER DRIVE  
 SUITE 100  
 FLORENCE, SC 29506  
 843.666.1100

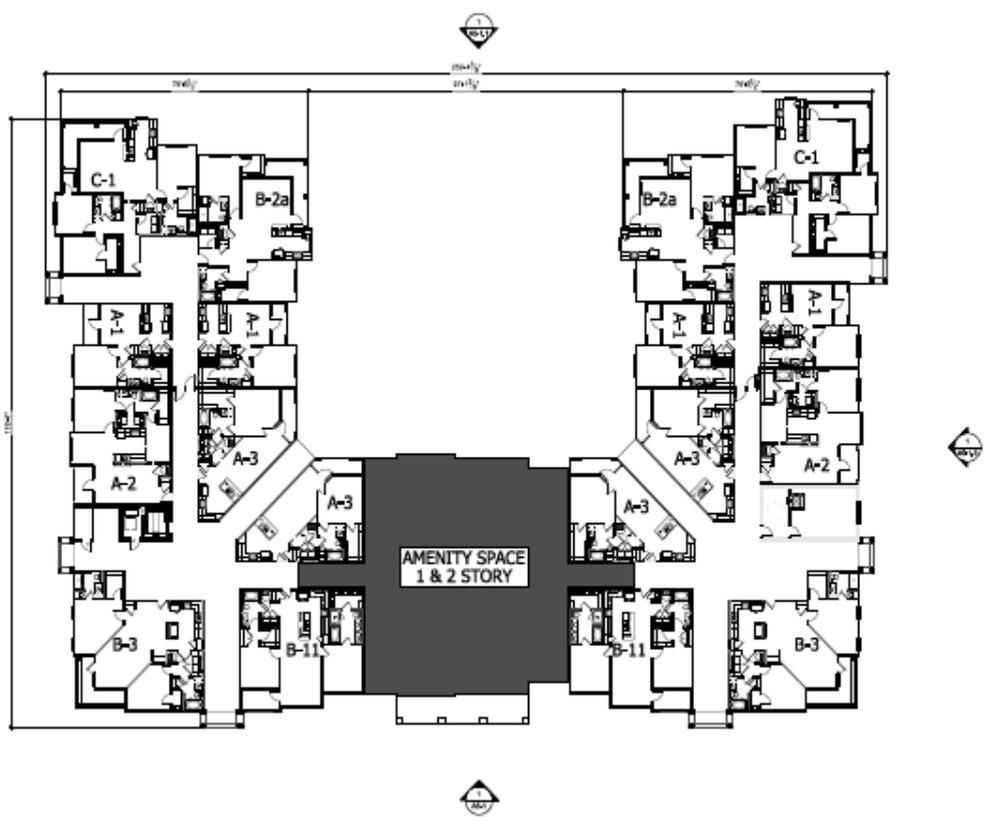
PROJECT  
**GATEWAY CHARLESTON**  
 CHARLESTON, SC

DRAWING TITLE  
**BUILDING 100 FLOOR PLANS**

DRAWN BY:	CHECKED BY:
SCALE:	DATE:
AS NOTED	1/17/17
PROJECT NUMBER:	1006

DRAWING NUMBER:  
**A3-1**

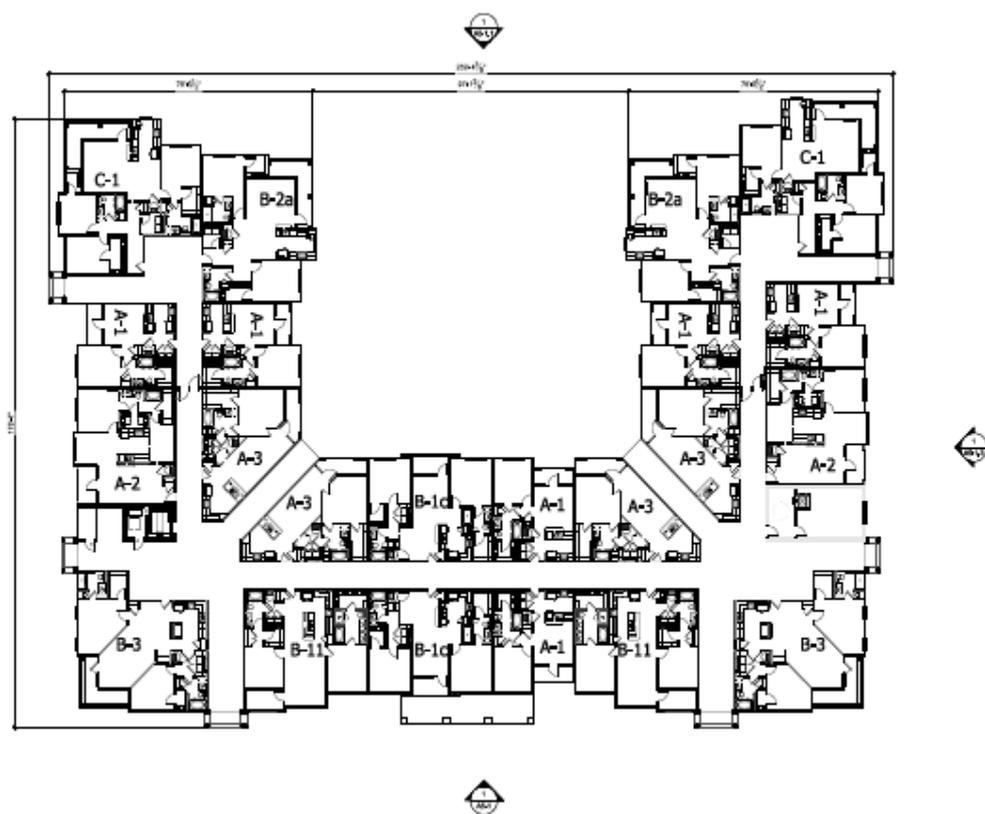
NOT RELEASED FOR CONSTRUCTION



1006.2 SECOND LEVEL - BUILDING PLAN

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NO.	DATE	DESCRIPTION



104.2 THIRD LEVEL - BUILDING PLAN  
 10/11/13

DATE:

CLIENT:  
**DAVIS DEVELOPMENT**  
 405 CORPORATE CENTER DRIVE  
 SUITE 100  
 WOODBRIDGE, VA 22191  
 703-474-4400

PROJECT:  
**GATEWAY CHARLESTON**  
 CHARLESTON, SC

DRAWING TITLE:  
**BUILDING 100 FLOOR PLANS**

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 SCALE: \_\_\_\_\_ DATE: 5/11/13  
 PROJECT NUMBER: 1000

DRAWING NUMBER:  
**A3-1**  
 NOT RELEASED FOR CONSTRUCTION



G.L.A. ARCHITECTS, L.L.C.

455 11TH STREET  
FLOOR 1000  
FARMINGTON, CT 06030

WWW.GLA-ARCHITECTS.COM

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DATE: 01/11/17

REV # NAME DESCRIPTION

REV #	NAME	DESCRIPTION

DATE: 01/11/17

CLIENT:

DAVIS DEVELOPMENT

455 COMPANY CENTER DRIVE  
SUITE 100  
FARMINGTON, CT 06030  
(860) 646-1000

PROJECT:

GATEWAY CHARLESTON

CHARLESTON, SC

DRAWING TITLE:

BUILDING 100 FLOOR

PLANS

DRAWN BY:

CHECKED BY:

SCALE:

DATE:

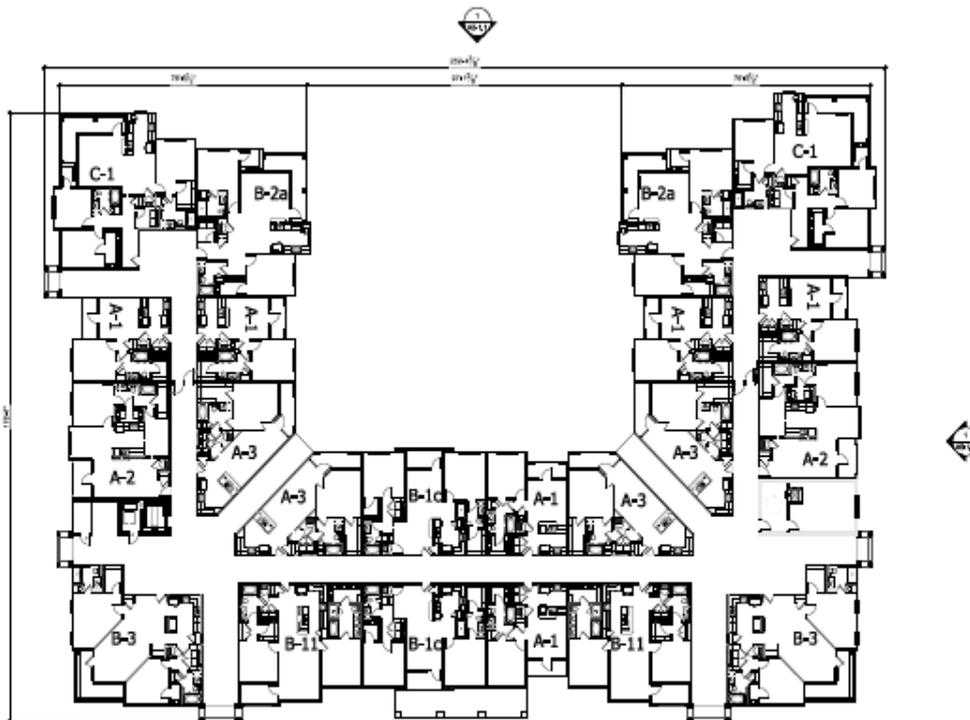
PROJECT NUMBER:

1000

DRAWING NUMBER:

A3-1

NOT RELEASED FOR CONSTRUCTION



FOURTH LEVEL • BUILDING PLAN  
1000-P



G.L.A. ARCHITECTS, L.L.C.

200 SOUTH STREET  
FLOOR 200  
CHARLESTON, SOUTH CAROLINA 29403  
PH: 843.799.1234  
FAX: 843.799.1235

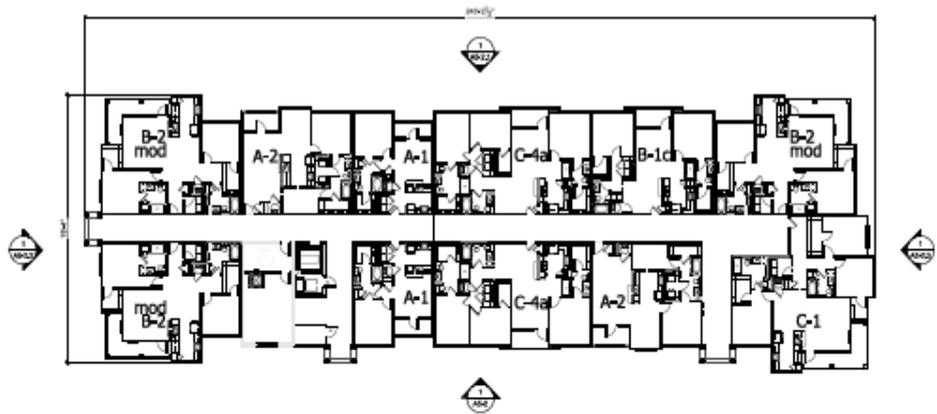
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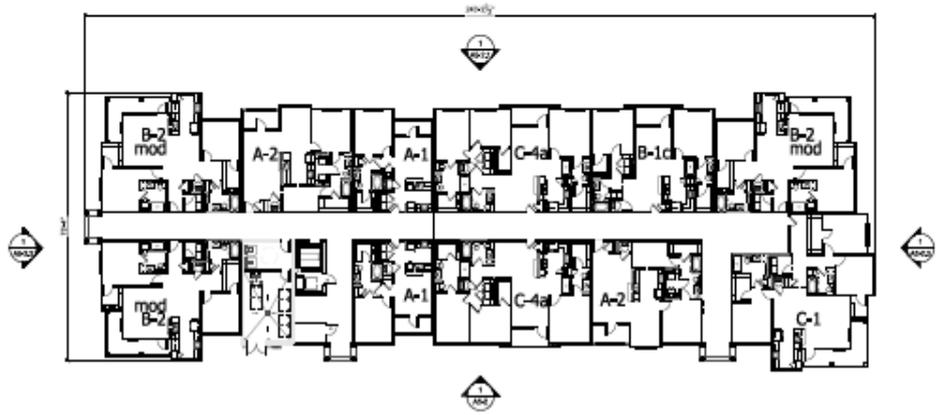
REVISIONS

REV. # DATE DESCRIPTION

REV. #	DATE	DESCRIPTION



2 SECOND LEVEL • BUILDING PLAN



1 MAIN LEVEL • BUILDING PLAN

STAMP

CLIENT  
DAVIS DEVELOPMENT  
400 CORPORATE CENTER DRIVE  
SUITE 100  
FLORENCE, SC 29505  
252-684-4444

PROJECT  
GATEWAY CHARLESTON  
CHARLESTON, SC

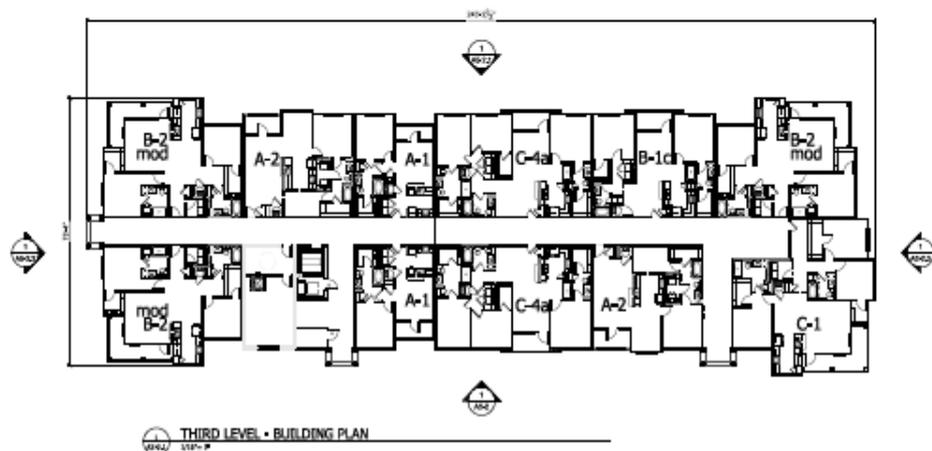
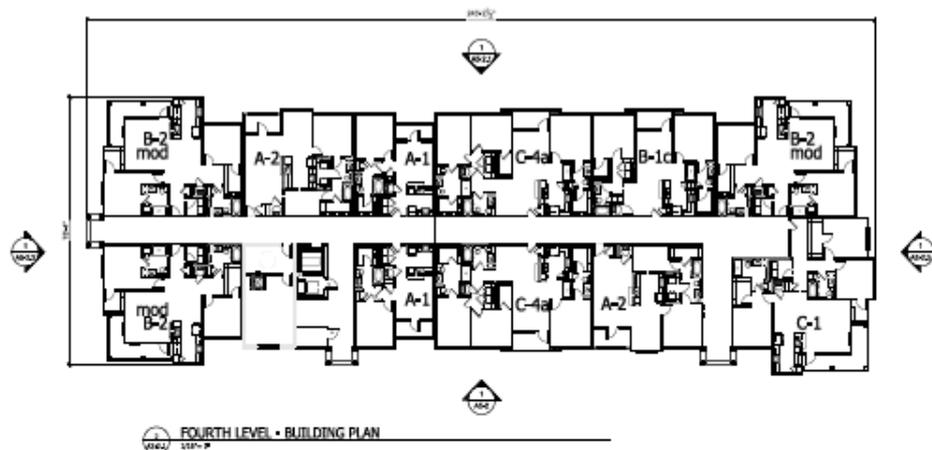
DRAWING TITLE  
BUILDING 200 FLOOR PLANS

DRAWN BY: CHECKED BY:

SCALE: AS NOTED DATE: 5/17/17  
PROJECT NUMBER: 1000

DRAWING NUMBER: A3-2

NOT RELEASED FOR CONSTRUCTION



**gla**

G.L.A. ARCHITECTS, L.L.C.

435 11TH STREET  
WILSON, SOUTH CAROLINA  
29403-3000

WWW.GLA-ARCH.COM

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REVISIONS:

REV. # DATE DESCRIPTION

REV. #	DATE	DESCRIPTION

STAMP:

CLIENT:

**DAMS DEVELOPMENT**  
435 CORPORATE CENTER DRIVE  
SUITE 100  
SPRINGFIELD, VA 22154  
(703) 474-4400

PROJECT:

GATEWAY CHARLESTON  
CHARLESTON, SC

DRAWING TITLE:

**BUILDING 200 FLOOR  
PLANS**

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

SCALE: \_\_\_\_\_ DATE: \_\_\_\_\_

AS NOTED: \_\_\_\_\_ 5/11/13

PROJECT NUMBER: 1006

DRAWING NUMBER:

**A3-2.1**

NOT RELEASED FOR CONSTRUCTION



G.L.A. ARCHITECTS, L.L.C.

443 1/2 W. STREET  
SUITE 100  
FARMINGDALE, NY 11735  
TEL: 516-333-1100

WWW.GLAARCHITECTS.COM

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REV #	DATE	DESCRIPTION



SECOND LEVEL • BUILDING PLAN  
1/100



MAIN LEVEL • BUILDING PLAN  
1/100

STAMP:

CLIENT:  
**DAVIS DEVELOPMENT**  
400 CORPORATE CENTER DRIVE  
SUITE 100  
FARMINGDALE, NY 11735  
516-333-1100

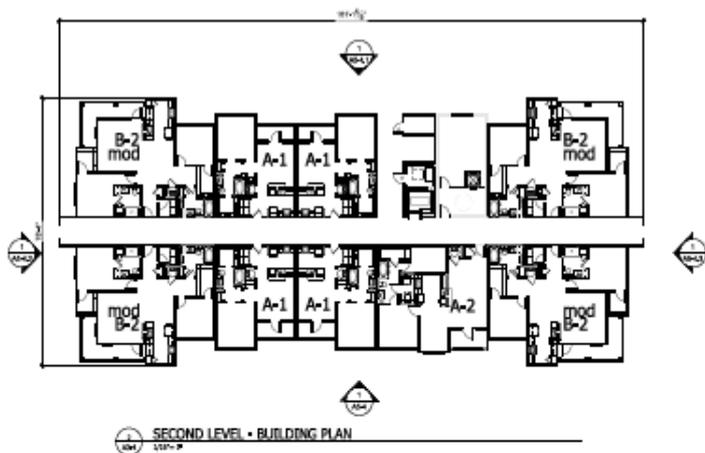
PROJECT:  
GATEWAY CHARLESTON  
CHARLESTON, SC

DRAWING TITLE:  
BUILDING 300 FLOOR  
PLANS

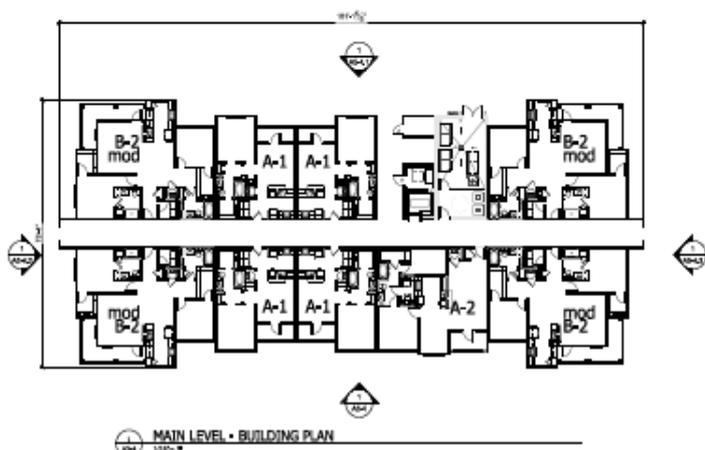
DRAWN BY:	CHECKED BY:
SCALE:	DATE:
AS NOTED	5/17/17
PROJECT NUMBER:	1000

DRAWING NUMBER:  
**A3-3**  
NOT RELEASED FOR CONSTRUCTION





2 SECOND LEVEL - BUILDING PLAN  
DATE: 9/11/13



1 MAIN LEVEL - BUILDING PLAN  
DATE: 9/11/13



G.L.A. A.T.C. L.L.C.

400 11TH STREET  
WILSON, SOUTH CAROLINA  
29370-4000

WWW.GLAATC.COM

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REVISION	DATE	DESCRIPTION

DATE: 9/11/13

CLIENT:  
DAVIS DEVELOPMENT  
400 CORPORATE CENTER DRIVE  
SUITE 100  
WILSONVILLE, VA 22191  
370-414-4000

PROJECT:  
GATEWAY CHARLESTON  
CHARLESTON, SC

DRAWING TITLE:  
BUILDINGS 400, 500  
& 600 FLOOR PLANS

DRAWN BY:	CHECKED BY:
SCALE:	DATE:
AS NOTED	5/11/13
PROJECT NUMBER:	1800

DRAWING NUMBER:  
**A3-4**  
NOT RELEASED FOR CONSTRUCTION





G.L.A. ARCHITECTS, L.L.C.

400 11TH STREET  
WILSON, SOUTH CAROLINA  
29370-3600

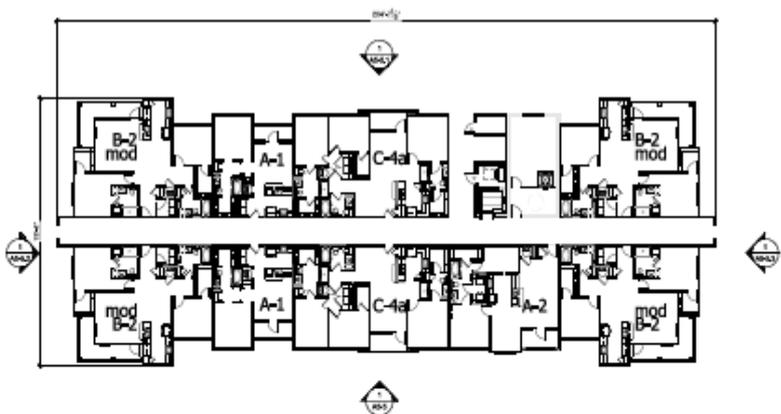
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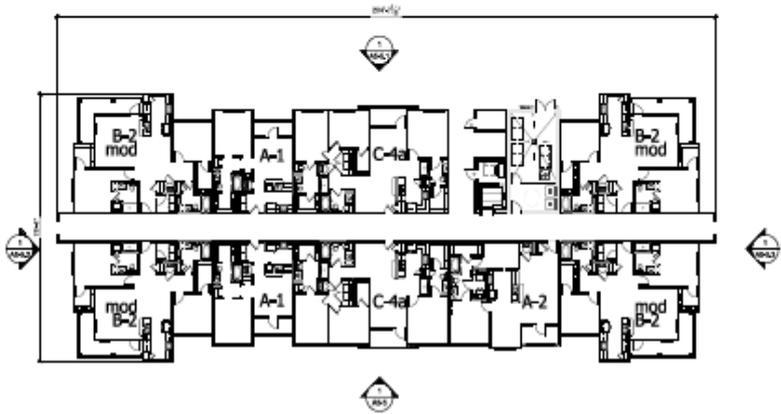
REVISIONS

REV # DATE DESCRIPTION

REV #	DATE	DESCRIPTION



2 SECOND LEVEL • BUILDING PLAN  
LSP-2



1 MAIN LEVEL • BUILDING PLAN  
LSP-1

STAMP

CLIENT

DAVIS DEVELOPMENT  
400 CORPORATE CENTER DRIVE  
SUITE 100  
WYCKOFFVILLE, SA 29389  
370-4140

PROJECT

GATEWAY CHARLESTON  
CHARLESTON, SC

DRAWING TITLE

BUILDING 700 FLOOR  
PLANS

DRAWN BY

CHECKED BY

SCALE

DATE

AS NOTED

5/10/13

PROJECT NUMBER

1800

DRAWING NUMBER

A3-5

NOT RELEASED FOR CONSTRUCTION







G.L.A. ARCHITECTS, LLC

4405 1/2TH STREET  
WILSON, SOUTH CAROLINA  
29386

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NO.	DATE	DESCRIPTION



BUILDING STREETScape EAST ELEVATION  
DATE: 10/11



BUILDING STREETScape SOUTH ELEVATION  
DATE: 10/11



BUILDING STREETScape EAST ELEVATION BLOWUP  
DATE: 10/11



BUILDING STREETScape SOUTH ELEVATION BLOWUP  
DATE: 10/11

STAMP

CLIENT  
DAMS DEVELOPMENT  
4405 CORPORATE CENTER DRIVE  
SUITE 100  
WILSON, SOUTH CAROLINA 29386  
(803) 784-4444

PROJECT  
GATEWAY CHARLESTON  
CHARLESTON, SC

PROJECT TITLE  
BUILDING STREETScape  
ELEVATIONS

OWNER BY:	CREATED BY:
DATE:	DATE:
AS NOTED:	SCALE:
PROJECT NUMBER:	1000

DRAWING NUMBER  
**A5-0**  
NOT RELEASED FOR CONSTRUCTION





G.L.A. ARCHITECTS, LLC

1401 SOUTH STREET  
 FLOOR 100 CHARLESTON  
 SOUTH CAROLINA 29403

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TOP OF DOOR & WINDOW LEGEND		
SYMBOL	UNIT	UNIT
	WFRGL	WFRGL
	WFRGL	---
	---	WFRGL
	---	WFRGL
	WFRGL	---
	---	WFRGL
	---	WFRGL



BUILDING 100 • ELEVATION 2 (NORTH)  
 03/17/17

DATE:

CLIENT:  
 DAVIS DEVELOPMENT  
 400 CORPORATE CENTER DRIVE  
 SUITE 100  
 FLORENCE, SC 29502  
 803-694-4400

PROJECT:  
 GATEWAY CHARLESTON  
 CHARLESTON, SC

PROJECT TITLE:  
 BUILDING 100  
 ELEVATIONS

DRAWN BY: [ ] CHECKED BY: [ ]  
 DATE: 5/10/17  
 AS NOTED: [ ]  
 PROJECT NUMBER: 1000

DATE: 5/10/17  
 A5-1.1  
 NOT RELEASED FOR CONSTRUCTION





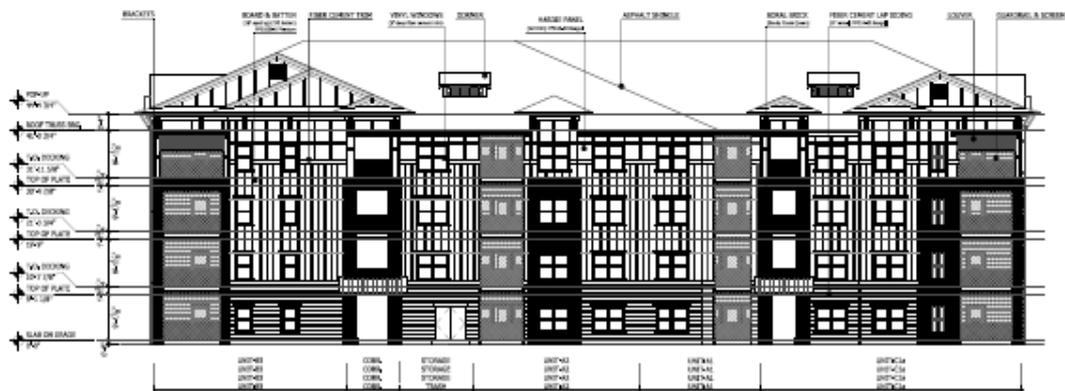
GLA • A T E L L O

1001 SOUTH STONEYBROOK  
 SUITE 100  
 FORT WORTH, TEXAS 76104  
 PHONE: 817.339.8888  
 FAX: 817.339.8889

WWW.GLAAETELLO.COM

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TOP OF DOOR & WINDOW LEGEND		
LOCATION	LEVEL	LEVEL
DOOR TO GARAGE	FF+0.00	FF+0.00
DOOR TO PUBLIC	FF+0.00	FF+0.00
DOOR TO CORridor	---	FF+0.00
WINDOW	---	FF+0.00
WINDOW TO PUBLIC	FF+0.00	FF+0.00
WINDOW TO CORridor	---	FF+0.00



**BUILDING 100 • ELEVATION 4 (EAST)**  
 337'-0"

DATE:

CLIENT:  
 DAVIS DEVELOPMENT  
 405 CORPORATE CENTER DRIVE  
 SUITE 100  
 FORT WORTH, TEXAS 76104  
 817.339.8888

PROJECT:  
 GATEWAY CHARLESTON  
 CHARLESTON, SC

PROJECT TITLE:  
**BUILDING 100  
 ELEVATIONS**

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 SCALE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROJECT NUMBER: 1000

DRAWING NUMBER:  
**A5-1.3**  
 NOT RELEASED FOR CONSTRUCTION





G.L.A. ARCHITECTS, LLC

444 11TH STREET  
FLOOR 1500 CHARLESTON  
SOUTH CAROLINA 29403

WWW.GLAARCHITECTS.COM

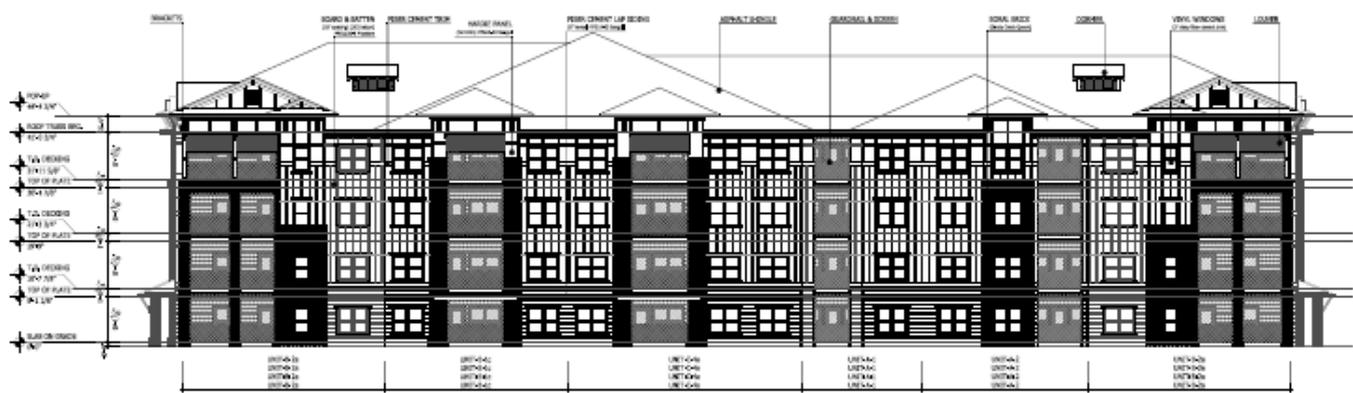
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**TOP OF DOOR & WINDOW LEGEND**

SYMBOL	LEVEL	LEVEL
	FINISH	FINISH
	FINISH	---
	---	FINISH
	---	FINISHING
	FINISH	---
	---	FINISH

**REVISIONS**

NO.	DATE	DESCRIPTION



**BUILDING 200 - ELEVATION 5 (NORTH)**

DATE:

CLIENT  
**DAVIS DEVELOPMENT**  
 400 CORPORATE CENTER DRIVE  
 SUITE 100  
 FLORENCE, SOUTH CAROLINA 29502

PROJECT  
**GATEWAY CHARLESTON**  
 CHARLESTON, SC

PROJECT TITLE  
**BUILDING 200**  
**ELEVATIONS**

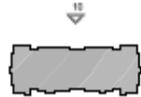
DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 SCALE: AS NOTED DATE: 11/27/17  
 PROJECT NUMBER: 1806

DATE PLOTTED: \_\_\_\_\_  
**A5-2.1**  
 NOT RELEASED FOR CONSTRUCTION









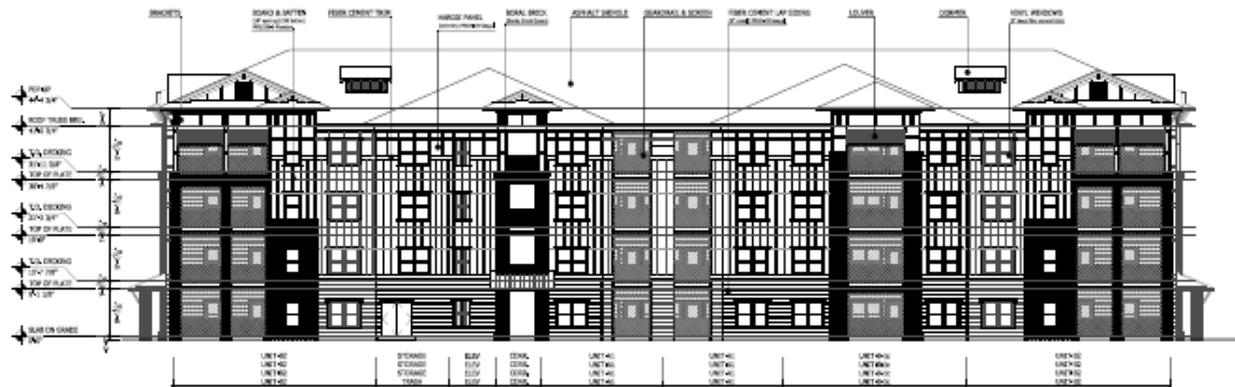
GLA-ATL, LLC

444 1/2th STREET  
WILSON, GEORGIA 31507  
PHONE: 770-433-8888  
FAX: 770-433-8889

WWW.GLA-ATL.COM

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TOP OF DOOR & WINDOW LEGEND		
SYMBOL	LEVEL	LEVEL
	FF.FLOOR	FF.FLOOR
	FF.FLOOR	---
	---	FF.FLOOR
	---	FF.FLOOR
	FF.FLOOR	---
	---	FF.FLOOR
	FF.FLOOR	---
	---	FF.FLOOR



**BUILDING 300 - ELEVATION 10 (NORTH)**  
SHEET 101

REVISION DATE	REV.	DESCRIPTION

SCALE

CLIENT  
**DAVIS DEVELOPMENT**  
400 CORPORATE CENTER DRIVE  
SUITE 100  
SPRINGDALE, VA 22152  
703-474-4444

PROJECT  
**GATEWAY CHARLESTON**  
CHARLESTON, SC

PROJECT TITLE  
**BUILDING 300**  
**ELEVATIONS**

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
SCALE: \_\_\_\_\_ DATE: 1/17/17  
AS NOTED: 1/17/17  
PROJECT NUMBER: 1006

DRAWN BY: \_\_\_\_\_  
**A5-3.1**  
NOT RELEASED FOR CONSTRUCTION





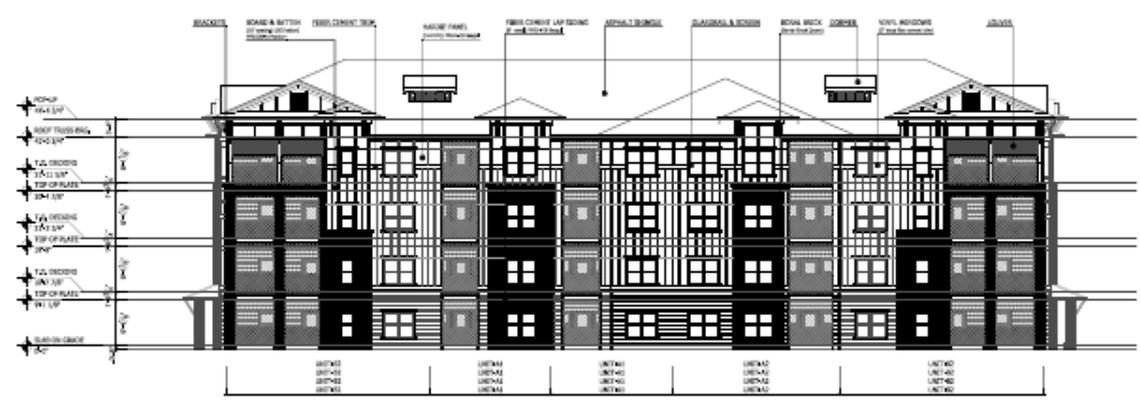
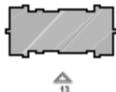


G.L.A. ARCHITECTS, LLC

445 SOUTH STONEY  
 WILSON, SOUTH CAROLINA  
 29386-3400  
 WWW.GLAARCHITECTS.COM

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**BUILDINGS 400/500/600 - ELEVATION 13 (SOUTH)**  
 10/17/13

**TOP OF DOOR & WINDOW LEGEND**

LEGEND	SYMBOL	LEGEND
BRICKS	BRICK	GLASSWALL
BOARD & BUTT	BRICK	---
FIBER CEMENT SIDING	BRICK	---
ALUMINUM PANEL	---	GLASSWALL
FIBER CEMENT LAP SIDING	---	---
ASPHALT SHINGLES	---	GLASSWALL
GLASSWALL & SIDING	---	---
ROYAL BRICK	---	GLASSWALL
CORNICE	---	---
TYPICAL WINDOWS	---	GLASSWALL
GUTTER	---	---

**REVISIONS**

NO.	DATE	DESCRIPTION

DATE: 10/17/13

CLIENT:  
**DAMS DEVELOPMENT**  
 445 CORPENTS CENTER DRIVE  
 SUITE 100  
 WYCKHOLE, SA 29389  
 803.474.4400

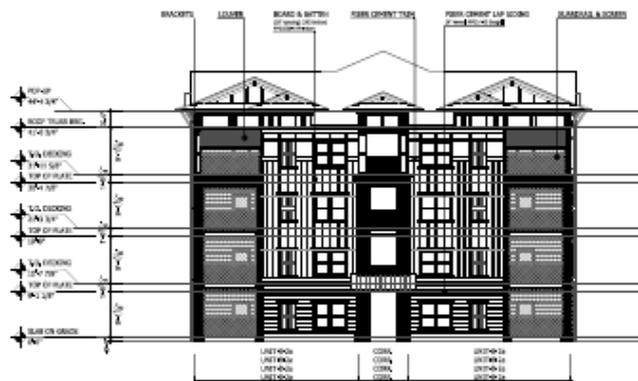
PROJECT:  
**GATEWAY CHARLESTON**  
 CHARLESTON, SC

PROJECT TITLE:  
**BUILDINGS 400, 500, & 600 ELEVATIONS**

DRAWN BY: [ ] CHECKED BY: [ ]  
 AS NOTED DATE: 5/1/13  
 PROJECT NUMBER: 1000

DRAWING NUMBER:  
**A5-4**  
 NOT RELEASED FOR CONSTRUCTION





**BUILDINGS 400/500/600 • ELEVATION 15 (WEST)**  
 REF - 149

**TOP OF DOOR & WINDOW LEGEND**

LOCATION	SYMBOL	LOCATION
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW
DOOR & WINDOW	□	WINDOW



**G.L.A. ARCHITECTS, LLC**  
 445 11TH STREET  
 FLOOR 1000  
 FAYETTEVILLE, NC 28540

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**REVISIONS**

NO.	DATE	DESCRIPTION

**CLIENT**  
**DAMS DEVELOPMENT**  
 400 CORPORATE CENTER DR.  
 SUITE 130  
 FAYETTEVILLE, NC 28540  
 910-484-8888

**PROJECT**  
**GATEWAY CHARLESTON**  
 CHARLESTON, SC

**PROJECT TITLE**  
**BUILDINGS 400, 500, & 600 ELEVATIONS**

**DRAWN BY**      **CHECKED BY**  
**DATE**      **DATE**  
 AS NOTED      5/17/13  
**PROJECT NUMBER**      1006

**DRAWING NUMBER**  
**A5-4.2**

NOT RELEASED FOR CONSTRUCTION



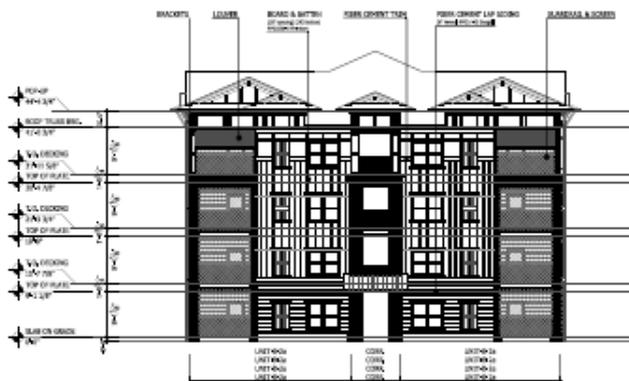
G.L.A. ARCHITECTS, LLC

433 11TH STREET  
FLOOR 1000  
FAYETTEVILLE, SC 29505

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DATE	BY	DESCRIPTION



**BUILDINGS 400/500/600 • ELEVATION 16 (EAST)**  
300 - 100

SYMBOL	LEVEL	LEVEL

CLIENT  
**DAVIS DEVELOPMENT**  
400 CORPORATE CENTER DRIVE  
SUITE 100  
FAYETTEVILLE, SC 29505  
(803) 474-0000

PROJECT  
**GATEWAY CHARLESTON**  
CHARLESTON, SC

PROJECT TITLE  
**BUILDINGS 400, 500, & 600 ELEVATIONS**

DRAWN BY:      CHECKED BY:  
DATE:              DATE: 5/17/17  
PROJECT NUMBER: 1000

DATE: 5/17/17  
**A5-4.3**  
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REVISION	DATE	DESCRIPTION

START

CLIENT  
**DAMS DEVELOPMENT**  
 400 COMPANY CENTER DRIVE  
 SUITE 100  
 SPENCERVILLE, VA 22959  
 703-474-4400

PROJECT  
**GATEWAY CHARLESTON**  
 CHARLESTON, SC

PROJECT TITLE  
**BUILDING 700**  
**ELEVATIONS**

DRAWN BY	CHECKED BY
SCALE	DATE
AS NOTED	1/27/17
PROJECT NUMBER	1006

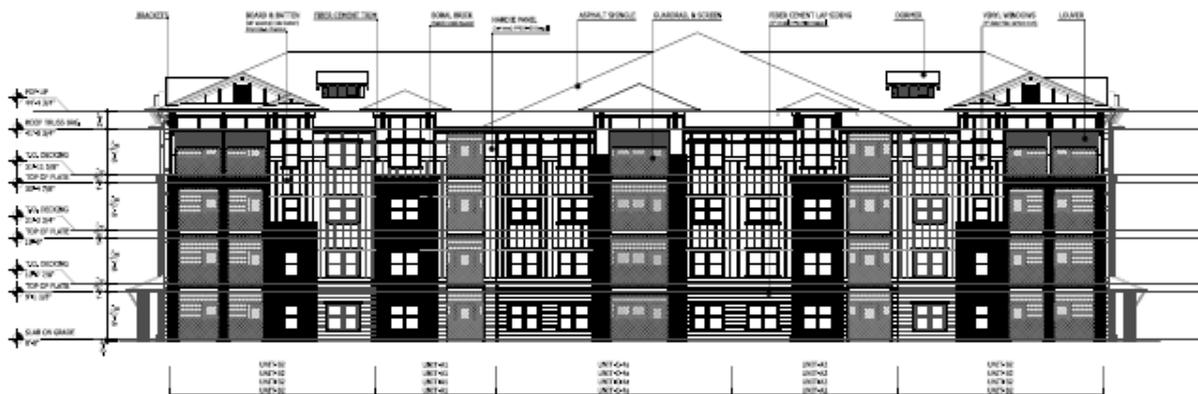
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**A5-5**  
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17

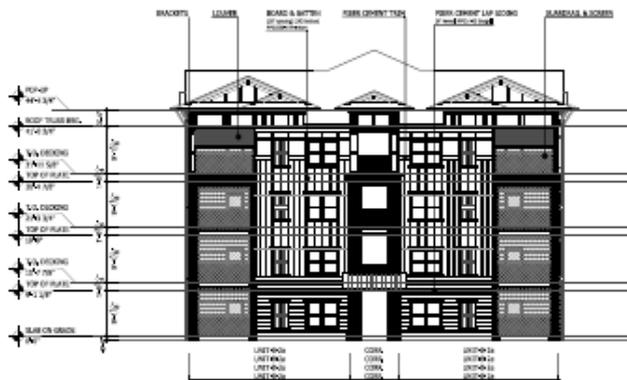
**TOP OF DOOR & WINDOW LEGEND**

SYMBOL	LEVEL	LOCATION
	FIN+0.2	FIN+0.2
	FIN+0.0	---
	---	FIN+0.2
	---	FIN+0.0
	FIN+0.2	---
	---	FIN+0.2
	---	FIN+0.0



**BUILDING 700 - ELEVATION 17 (WEST)**  
 1/27/17





BUILDING 700 • ELEVATION 17 (NORTH)  
1/8" = 1'-0"

TOP OF DOOR  
& WINDOW LEGEND

SYMBOL	DOOR	WINDOW
	DOUBLE	---
	---	DOUBLE
	SINGLE	---
	---	SINGLE
	DOUBLE	TRANSOM
	---	TRANSOM
	DOUBLE	TRANSOM
	---	TRANSOM



G.L.A. ARCHITECTS, L.L.C.

445 S. 11TH STREET  
FLOOR 1000  
CHARLESTON, SC 29403

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REVISIONS

NO.	DATE	DESCRIPTION

DATE: \_\_\_\_\_

CLIENT  
DAMS DEVELOPMENT  
400 CORPORATE CENTER DRIVE  
SUITE 130  
SPRINGDALE, GA 30751  
970-444-4444

PROJECT  
GATEWAY CHARLESTON  
CHARLESTON, SC

DRAWING TITLE  
BUILDING 700  
ELEVATIONS

OWNER: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
SCALE: AS NOTED DATE: 5/11/13  
PROJECT NUMBER: 1006

DRAWING NUMBER: **A5-5.2**

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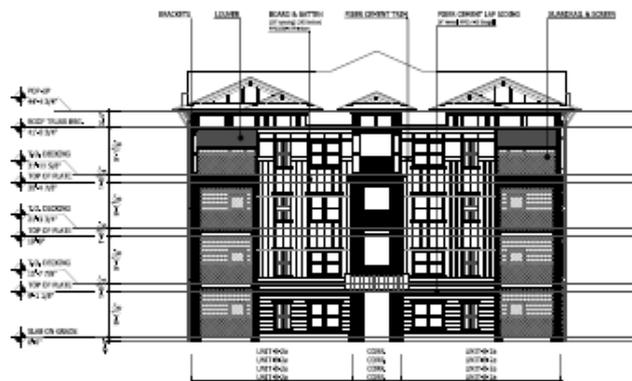
GLA • A T C, L L C

434 11TH STREET  
 4TH FLOOR, SUITE 400  
 FORT WORTH, TEXAS 76102  
 WWW.GLATC.COM

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LOCATION	LEVEL	LEGEND
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100
DOOR & WINDOW	REF. 100	REF. 100



**BUILDING 700 • ELEVATION 17 (SOUTH)**  
 100' - 100'

DATE:

CLIENT:  
**DAMS DEVELOPMENT**  
 430 CORPORS CENTER DR.  
 SUITE 100  
 FORT WORTH, TX 76102  
 817-341-4444

PROJECT:  
**GATEWAY CHARLESTON**  
 CHARLESTON, SC

PROJECT TITLE:  
**BUILDING 700**  
 ELEVATIONS

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 SCALE: AS NOTED DATE: 5/17/11  
 PROJECT NUMBER: 1006

DRAWING NUMBER:  
**A5-5.3**  
 NOT RELEASED FOR CONSTRUCTION



FUTURE CONNECTION



EXISTING POND AND GRAND TREE

## GATEWAY APARTMENTS

CITY OF CHARLESTON, SOUTH CAROLINA  
01.18.2017

**HLAINC**

LAND PLANNING  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
SURVEYING

28 Ladbroke Drive, All. Charleston SC 29407-6188 tel 803.793.1386 fax 803.793.1095



NEIGHBORING SHOPPING CENTER



NEIGHBORING SHOPPING CENTER

## GATEWAY APARTMENTS

CITY OF CHARLESTON, SOUTH CAROLINA  
01 . 18 . 2017

**HLA INC**

LAND PLANNING  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
SURVEYING

28 Ladbroke Drive, All. Charleston SC 29407-6188 tel 803.793.1386 fax 803.793.1099



NEIGHBORING BANK



NEIGHBORING BANK

## GATEWAY APARTMENTS

CITY OF CHARLESTON, SOUTH CAROLINA  
01.18.2017

# HLA INC

LAND PLANNING  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
SURVEYING

28 Litchfield Drive, All Charleston SC 29407-6188 tel 803.793.1386 fax 803.793.1099



EXISTING SIGNAGE



SAVANAH HIGHWAY FRONTAGE

## GATEWAY APARTMENTS

CITY OF CHARLESTON, SOUTH CAROLINA  
01.18.2017

**HLA INC**

28 Ladbroke Drive, All. Charleston SC 29407-6188 tel 803.793.1386 fax 803.793.1099

LAND PLANNING  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
SURVEYING



SAVANNAH HIGHWAY FRONTAGE



NEIGHBORING SHOPPING CENTER

---

## GATEWAY APARTMENTS

CITY OF CHARLESTON, SOUTH CAROLINA  
01.18.2017

# HLA INC

LAND PLANNING  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
SURVEYING

28 Ladbroke Drive, All. Charleston SC 29407-6188 tel 803.793.1386 fax 803.793.1099



EXISTING WALL



EXISTING WALL

## GATEWAY APARTMENTS

CITY OF CHARLESTON, SOUTH CAROLINA  
01.18.2017

**HLA INC**

LAND PLANNING  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
SURVEYING

28 Litchfield Drive, All. Charleston SC 29407-6188 tel 803.793.1386 fax 803.793.1095



**Agenda Item 3:**

**1011 Quimby Marsh Lane**

**Request conceptual approval for new construction of a veterinary clinic.**



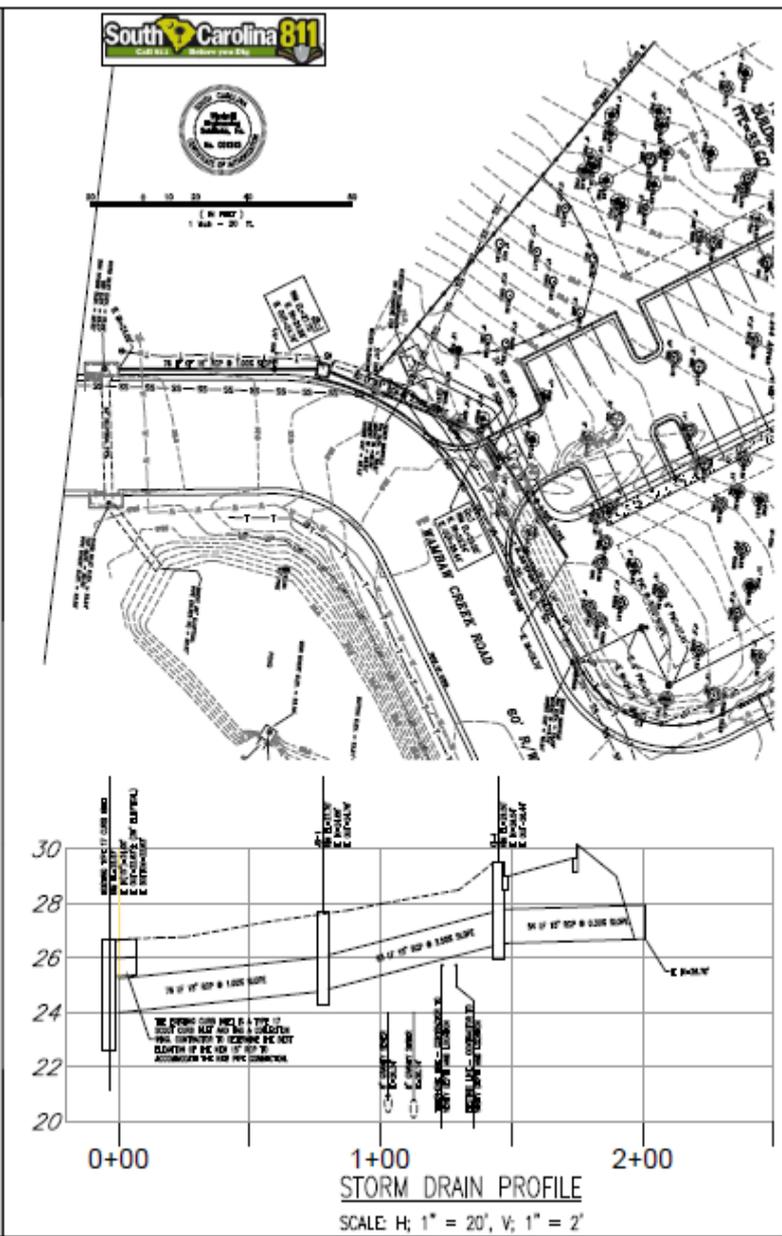
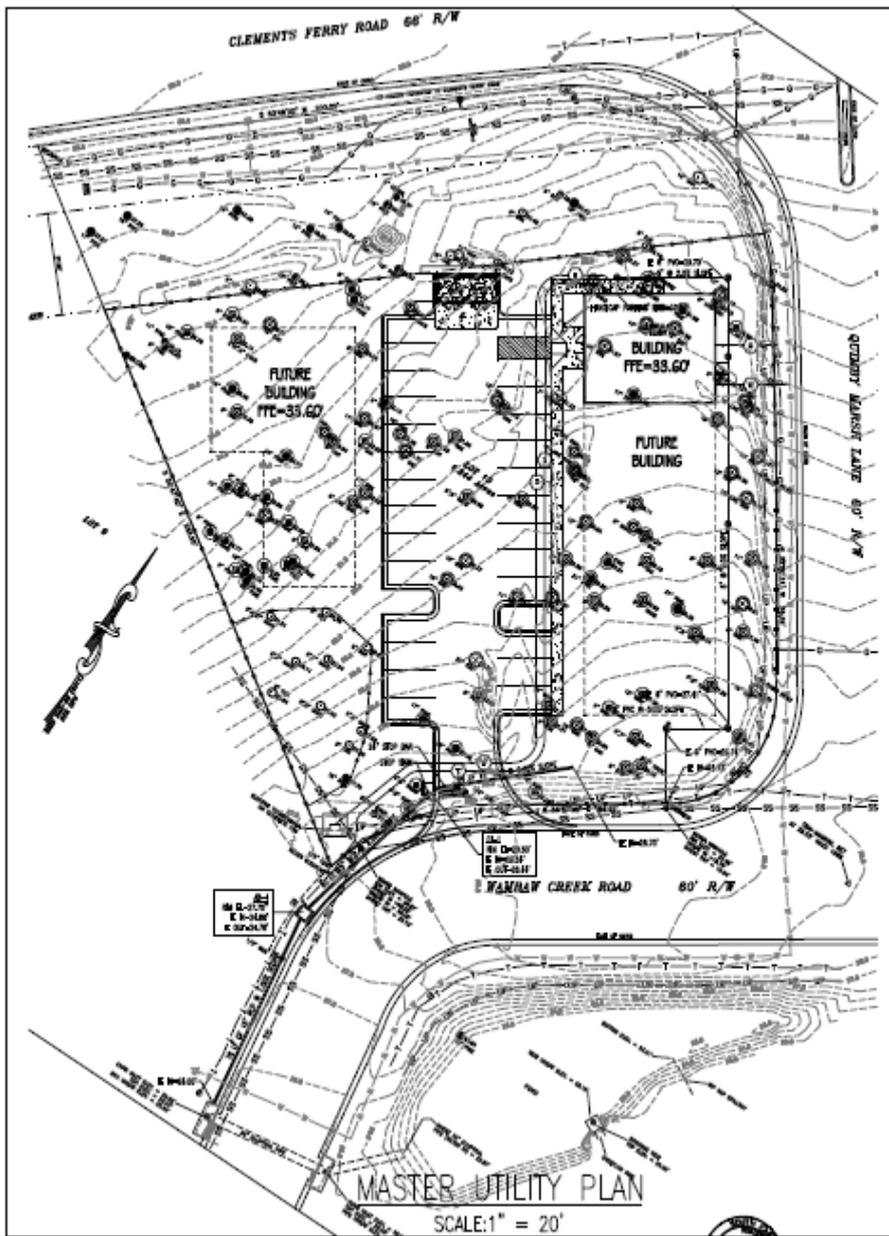


**ROBERT FRANK SURVEYING**  
 1825 MAYNARD HWY. - CHARLESTON, S.C. 29412  
 Phone 803-792-2222 FAX 803-792-2222  
 E-mail - rfrank@robertfrank.com  
 1825 MAYNARD HWY. CHARLESTON, S.C. 29412

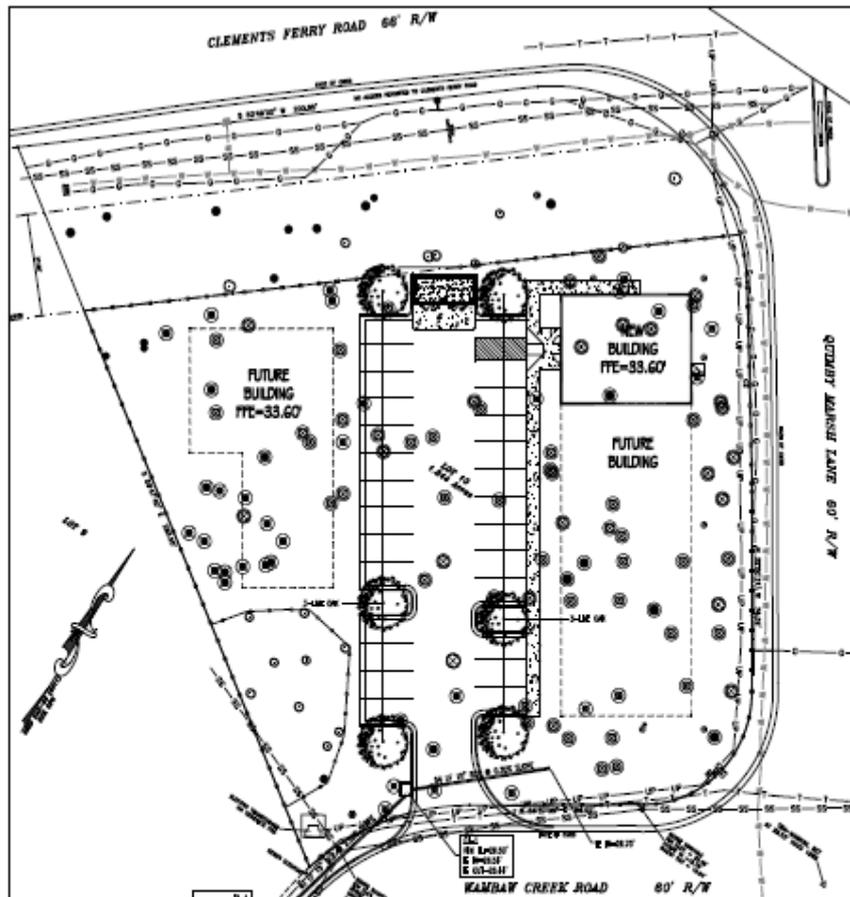
- LEGEND**
- BLENDED TOPOGRAPHY
  - ▽ PERMANENT
  - 100' PERMANENT
  - TEMPORARY
  - ⊙ CONTROL POINT
  - LINE FILE
  - 1/4" x 1" SQUARE CONTROL POINT
  - HIGH WIRE
  - 1/4" FILE
  - UTILITY PIPE 24"
  - UTILITY PIPE 18"
  - UTILITY PIPE 12"
  - UTILITY PIPE 6"
  - UTILITY PIPE 4"
  - UTILITY PIPE 3"
  - UTILITY PIPE 2"
  - UTILITY PIPE 1 1/2"
  - UTILITY PIPE 1"
  - UTILITY PIPE 3/4"
  - UTILITY PIPE 1/2"
  - UTILITY PIPE 1/4"
  - UTILITY PIPE 1/8"
  - UTILITY PIPE 1/16"
  - UTILITY PIPE 1/32"
  - UTILITY PIPE 1/64"
  - UTILITY PIPE 1/128"
  - UTILITY PIPE 1/256"
  - UTILITY PIPE 1/512"
  - UTILITY PIPE 1/1024"
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  - UTILITY PIPE 1/131072"
  - UTILITY PIPE 1/262144"
  - UTILITY PIPE 1/524288"
  - UTILITY PIPE 1/1048576"
  - UTILITY PIPE 1/2097152"
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  - UTILITY PIPE 1/8388608"
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THE <b>MASTER UTILITY PLAN AND PROFILES</b> CLEMENTS FERRY VETERINARY OWNED BY FM PROPERTIES, LLC 1011 QUINCY MARSH LANE, CHARLESTON, SC 29492 PHONE 771-04-03-00 FAX	
WINDMILL ENGINEERING SOLUTIONS, INC. 1000 WINDMILL LANE CHARLESTON, SC 29405 PHONE 771-04-03-00 FAX 771-04-03-00	
DATE: 08/14/2013 DRAWN BY: J. L. WOOD CHECKED BY: J. L. WOOD PROJECT NO.: 13-0001 SHEET NO.: 1 OF 1	



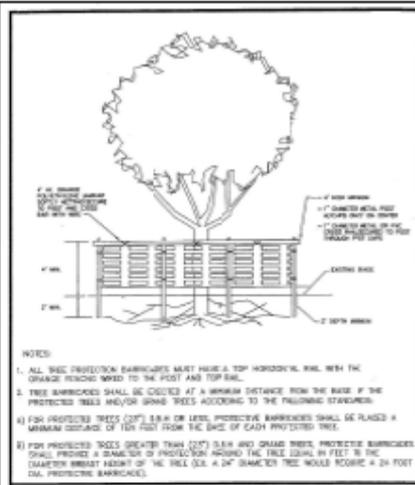
**LANDSCAPE PLAN**

SCALE: 1" = 20'



**PLANT SCHEDULE:**

QUANTITY	BOTANICAL NAME/COMMON NAME	HEIGHT	SPREAD	CONTAINER	NOTES
6	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	8-10'	4-6'	B&B	2-1/2" CAL.

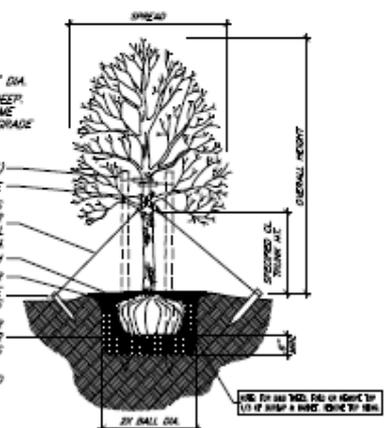


PRUNE ANY RUBBING OR BROKEN BRANCHES - THIN FOLIAGE BY ONE THIRD, MAINTAINING NORMAL SHAPE OF TREE. PAINT ALL CUTS OVER 1/2" DIA. DO NOT PLANT TREE TOO DEEP. TREE SHOULD HAVE THE SAME RELATIONSHIP WITH FINISH GRADE AS IT DID TO PREVIOUSLY PLANTED GRADE.

OPTIONAL STAKING (2 PER TREE)

RUBBER HOSE  
(3) NO. 12 GALV. CUTTING WIRES EQUALLY SPACED OR MULTI-STRAND OF EQUAL STRENGTH  
SPECIFIED MULCH  
FORM SAUCER  
(1) 2"x4"x24" PRESSURE TREATED STAPLES  
SPECIFIED PLANTING MIX, WATER AND TAMP TO REMOVE POCKETS

NOTE: STAKING AS REQUIRED



**TREE PLANTING DETAIL**  
N.T.S.

TABLE 1.1.2 Proposed Planting Schedule

COMMON NAME	PLANTING DATE	PLANTING RATE	PLANTING METHOD	PLANTING COST	PLANTING COST PER TREE
QUERCUS VIRGINIANA	...	...	...	...	...

**NOTES:**

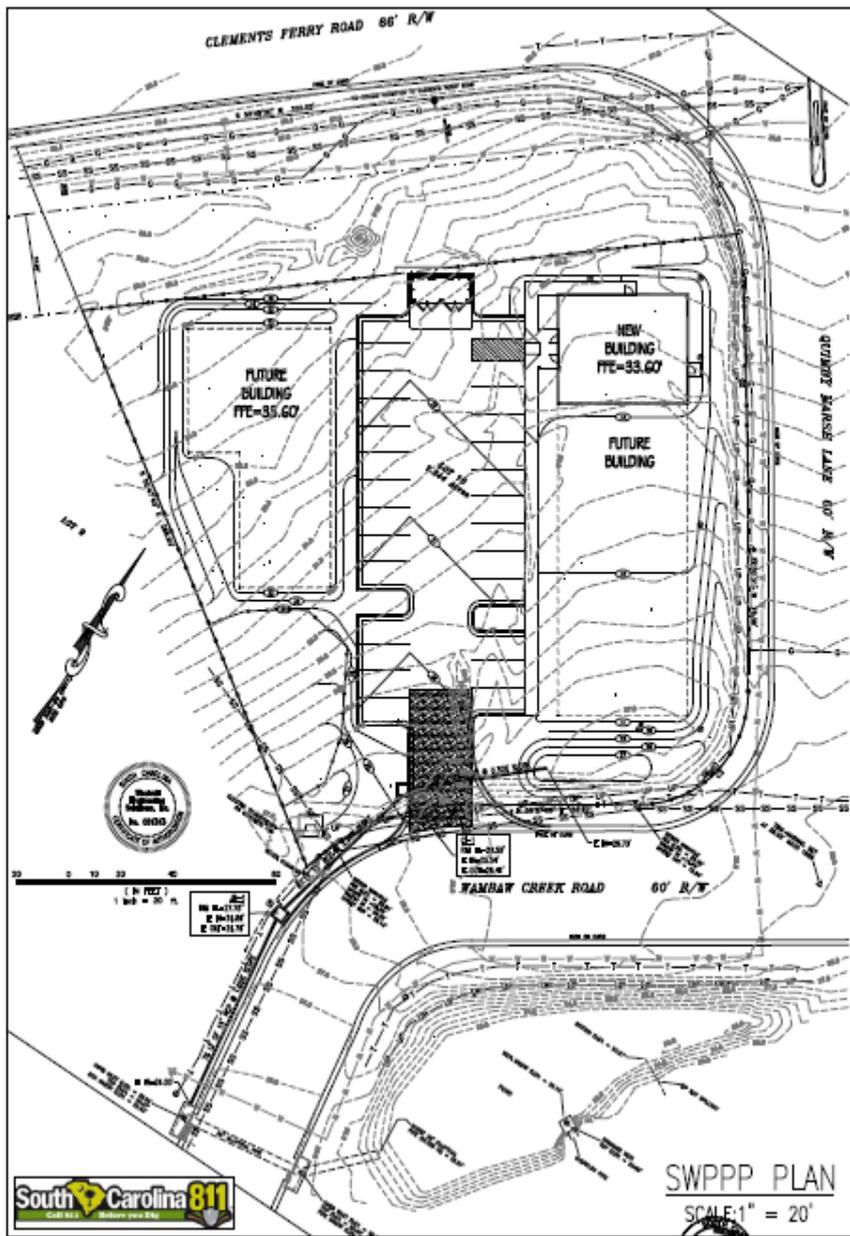
- LANDSCAPING AREAS AND GRASSES ARE TO BE INSTALLED. THE DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR RESPONSIBLE FOR COORDINATION WITH ALL OTHER CONTRACTORS ON SITE INCLUDING SURVEYING AND UTILITY LOCATIONS, ETC.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AT LEAST 14 DAYS PRIOR TO BEGINNING WORK.
- ALL PLANT LOCATIONS SUBJECT TO FIELD APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT AND/OR OWNER.
- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- ALL ORDERED ITEMS TO BE IN THE GRADE AND IN THE STATE OF BEING A ROOTS.
- CONTRACTOR RESPONSIBLE FOR ONE YEAR WARRANTY OF ALL PLANTING AND MATERIAL.
- LIMIT OF WORK IS TO BE INSTALLED AND CONDUCT TO BE COMPLETED BY OWNER.
- ALL MATERIAL SHALL CONFORM TO CURRENT AASHTO STANDARDS.
- NO PLANT SHALL BE CUT IN THE COURSE OF CONSTRUCTION OR BE DAMAGED AND APPROVAL BY OWNER.
- ALL PLANTS SHALL BE CUT IN THE COURSE OF CONSTRUCTION OR BE DAMAGED AND APPROVAL BY OWNER.

- ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- WATER AREAS ARE TO BE SAVED WHERE LANDSCAPING IS NOT DESIGNED TO BE PLACED.
- WATER AREAS SHALL BE PROTECTED BY A PERMANENT CURB OR BARRIERS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE TREE PRIOR TO INSTALLATION TO THE A&P MATERIAL.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AT LEAST 14 DAYS PRIOR TO BEGINNING WORK.
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**LANDSCAPE PLAN, NOTES AND DETAILS**

CLEMENTS FERRY METBINARY  
OWNED BY FM PROPERTIES, LLC  
1011 QUINCY MARSH LAKE, CHARLESTON, SC 29492  
Tel: 771-44-00-00

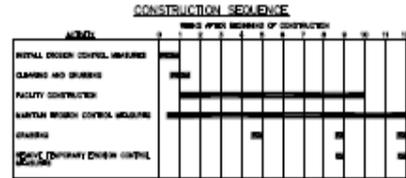
**WINDMILL ENGINEERING SOLUTIONS, INC.**  
1011 QUINCY MARSH LAKE, CHARLESTON, SC 29492  
Tel: 771-44-00-00



**EROSION CONTROL NOTES**

1. If necessary, slopes which exceed eight (8) vertical feet should be stabilized with synthetic or vegetative mats, in addition to hydroseeding. It may be necessary to install temporary slope drains during construction. Temporary berms may be needed until the slope is brought to grade.
2. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily ceased or permanently ceased, but in no case more than fourteen (14) days after work has ceased, except as stated below.
  - a. Where stabilization by the 14th day is precluded by snow cover or frozen ground conditions stabilization measures must be initiated as soon as practicable.
  - b. Where construction activity on a portion of the Site is temporarily ceased, and earth-disturbing activities will be resumed within 14 days, temporary stabilization measures do not have to be initiated on that portion of the Site.
3. All sediment and erosion control devices shall be inspected at least once every fourteen (14) calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater. If site inspections identify SPMs that are damaged or are not operating effectively, maintenance must be performed as soon as practicable or as reasonably possible and before the next storm event whenever practicable.
4. Provide silt fence and/or other control devices, as may be required, to control soil erosion during utility construction. All disturbed areas shall be cleared, graded, and stabilized with geotextiles immediately after the utility installation. Fill, cover, and temporary seeding at the end of each day are recommended. If water is encountered while trenching, the water should be filtered to remove any sediments before being pumped back into any waters of the State.
5. All erosion control devices shall be properly maintained during all phases of construction until the completion of all construction activities and all disturbed areas have been stabilized. Additional control devices may be required during construction in order to control erosion and/or silt discharge. All temporary control devices shall be removed once construction is complete and the site is stabilized.
6. The contractor must take necessary action to minimize the tracking of mud onto paved roadway(s) from construction areas and the generation of dust. The contractor shall daily remove mud/trail from pavement, as may be required.
7. Residential subdivisions require erosion control features for infrastructure as well as for individual lot construction. Individual property owners shall follow these plans during construction or obtain approval of an individual plan in accordance with S.C. Reg. 72-300 et seq. and SCR100000.
8. Temporary diversion berms and/or ditches will be provided as needed during construction to protect work areas from uplope runoff and/or to divert sediment-laden water to appropriate traps or stable outlets.
9. Other construction debris, oils, fuels, and building products with significant potential for impact (such as stockpiles of freshly crushed limestone) and construction chemicals that could be exposed to storm water must be protected from becoming a pollutant source in storm water discharges.

PRE DEVELOPMENT LAND USE		
DESCRIPTION	AREA	%
TOTAL LAND AREA	58,544.64 SF	100.00%
IMPERVIOUS AREA	0 SF	0.00%
PERVIOUS AREA	58,544.64 SF	100.00%
BUILDING AREA	0 SF	0.00%
POST DEVELOPMENT LAND USE		
DESCRIPTION	AREA	%
TOTAL LAND AREA	58,544.64 SF	100%
IMPERVIOUS AREA EXCLUDING BUILDING	11,657.78 SF	19.91%
BUILDING AREA	11,950.00 SF	20.41%
TOTAL IMPERVIOUS	23,607.78 SF	40.32%
PERVIOUS AREA	34,936.86 SF	59.68%

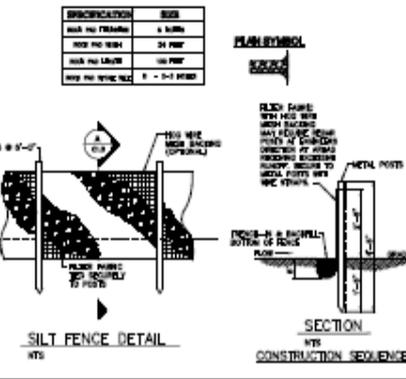
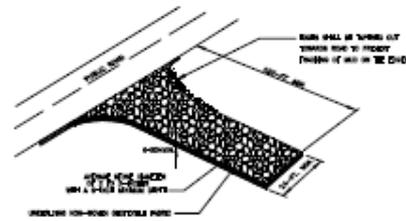


**EROSION CONTROL MEASURES FOR PIPES, CURB INLET, SWALE INLETS AND JUNCTION BOX:**

1. DURING THE INSTALLATION OF PIPES, CONTRACTOR SHALL PLACE SILT FENCE AT THE EXPOSED PIPE ENDS AT THE END OF EACH DAY TO PREVENT SILTATION.
2. FILTER FABRIC SHALL BE PLACED AT ALL JOINTS AS INDICATED ON SHEET C-7.
3. FOLLOWING THE INSTALLATION OF ALL CONCRETE BOX STRUCTURES, SILT FENCE SHALL BE PLACED AROUND THE STRUCTURE TO PREVENT SEDIMENTATION.
4. ALL PIPES SHALL BE GRADED AT THE ENTRANCE AND EXIT TO CONCRETE STRUCTURES AS SOON AS PRACTICABLE.
5. PRIOR TO THE CONCRETE THROAT SECTIONS BEING POURED, THE BOXES SHALL BE PROTECTED FROM SEDIMENTATION BY THE USE OF SILT FENCE.
6. GUTTER BODIES SHALL BE WELDED FOLLOWING THE CONSTRUCTION OF THE THROAT SECTION AND THE CURB AND GUTTER. IT SHALL BE MAINTAINED UNTIL PAVEMENT HAS BEEN PLACED AND STABILIZATION OF THE GRADED AREAS HAS OCCURRED.

**SPECIAL NOTES:**

1. THE PROJECT MUST BE INSPECTED ON A WEEKLY BASIS BY AN APPROVED SWPPP INSPECTOR. WEEKLY REPORTS SHALL BE KEPT IN A FOLDER ON-SITE OUT OF THE ELEMENTS AND EASILY ACCESSIBLE BY INSPECTING AGENCIES.
2. PRIOR TO THE NOTICE OF TERMINATION, AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE CITY OF CHARLESTON FOR REVIEW AND APPROVAL. THE DRAWINGS SHALL MEET THE STANDARDS OF THE CITY OF CHARLESTON SPECIFICATIONS.



SWPPP PLAN  
 CLEMENTS FERRY VEGETARY  
 OWNED BY JCI PROPERTIES, LLC  
 1011 CUMBY MARSH LANE, CHARLESTON, SC 29402  
 THESE 271-04-03-010

**WINDMILL ENGINEERING SOLUTIONS, INC.**  
 1000 WINDMILL LANE, CHARLESTON, SC 29405  
 (803) 799-1111  
 WWW.WINDMILL-ENGINEERING.COM



**SWPPP PLAN**  
SCALE: 1" = 20'





ALL OTHERS IS HEREBY ADVISED THAT THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.

### EXTERIOR COLOR FINISH LEGEND

NOTE	DESCRIPTION	COLOR
ROOF 1	METAL SHINGLE ROOF BY WAMP	---
ROOF 2	SHINGLES 24"X36" BRN	---
CORNER 1	METAL CORNER AND TRIM	---
CORNER 2	METAL CORNER AND TRIM	---
B 1	2" DIA. STIFF METAL ROD	---
FRG 1	METAL BUILDING FRAME TRIM	---
FRG 2	METAL BUILDING FRAME TRIM	---
FRG 3	METAL BUILDING FRAME TRIM	---
FRG 4	METAL BUILDING FRAME TRIM	---
FRG 5	METAL BUILDING FRAME TRIM	---
FRG 6	METAL BUILDING FRAME TRIM	---
FRG 7	METAL BUILDING FRAME TRIM	---
FRG 8	METAL BUILDING FRAME TRIM	---
FRG 9	METAL BUILDING FRAME TRIM	---
FRG 10	METAL BUILDING FRAME TRIM	---
FRG 11	METAL BUILDING FRAME TRIM	---
FRG 12	METAL BUILDING FRAME TRIM	---
FRG 13	METAL BUILDING FRAME TRIM	---
FRG 14	METAL BUILDING FRAME TRIM	---
FRG 15	METAL BUILDING FRAME TRIM	---
FRG 16	METAL BUILDING FRAME TRIM	---
FRG 17	METAL BUILDING FRAME TRIM	---
FRG 18	METAL BUILDING FRAME TRIM	---
FRG 19	METAL BUILDING FRAME TRIM	---
FRG 20	METAL BUILDING FRAME TRIM	---
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FRG 199	METAL BUILDING FRAME TRIM	---
FRG 200	METAL BUILDING FRAME TRIM	---

NOTES:  
 1. DELIVERIES: PROVIDE COLOR TO MATCH ADJACENT MATERIAL.  
 2. CONTRACTOR TO SELECT ALL EXTERIOR MATERIALS FOR REVIEW AND ORDERING.  
 PROVIDE #100000 WITH ALL COLOR MATERIALS FOR REVIEW AND APPROVAL.



1 SOUTHEAST ELEVATION - FRONT  
56' x 110'

GJS ARCHITECTURE

1011 QUIMBY MARSH LN  
 1ST FLOOR  
 CHARLESTON, SC 29402  
 803-799-1111  
 803-799-1111

CORNERSTONE COMPANY of Charleston

Design • Build • Professional

CLEMENTS FERRY VETERINARY

1011 QUIMBY MARSH LN  
 CHARLESTON, SC 29402

REVISIONS

NO.	DATE	DESCRIPTION

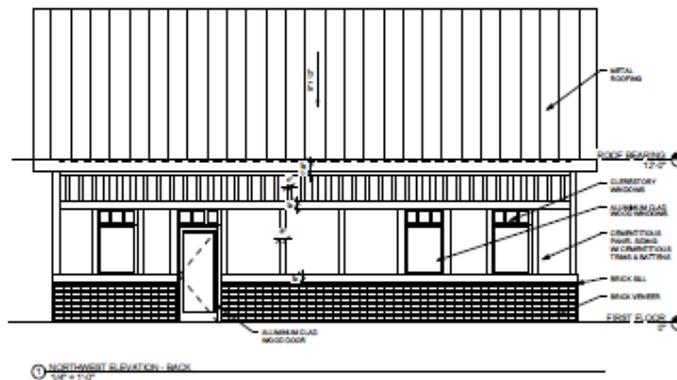
PROJECT NO: 2007-01  
 DATE: 01-18-2017  
 DRAWN BY: JLS  
 CHECKED BY: JLS  
 SCALE: ARCHITECTURAL

BUILDING ELEVATION - SOUTHEAST

A201  
 DWG CONCEPTUAL DESIGN SUBMITTAL



ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED OR NOTED TO BE AS SHOWN. DIMENSIONS IN PARENTHESIS INDICATE TYPICAL DIMENSIONS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



### EXTERIOR COLOR FINISH LEGEND

NOTE	DESCRIPTION	COLOR
ROOF 1	METAL GALVALUME ROOF BY SIAF	---
ROOF 2	BITUMAST 3410 UNDERLAY	---
CEILING 1	METAL DECK AND TRIM	---
CEILING 2	METAL DECK AND TRIM	---
B-1	2\"/>	
TR-1	METAL BUILDING TRUCK TRIM	---
TR-2	METAL BUILDING TRIM	---
GT-1	METAL GUTTER	---
DOOR 1	METAL DOWNPOUT	---
DOOR 2	METAL DOWNPOUT	---
DOOR 3	METAL DOWNPOUT	---
GLASS 1	GROUND FLOOR GLASS (IF WINDOW) - GLASS 3-10	---
EPS 1	ORGANIC EXTERIOR INSULATION AND FINISH SYSTEM	---
EPS 2	ORGANIC EXTERIOR INSULATION AND FINISH SYSTEM	---
TRIM 1	METAL WALL PANEL - TRUCK	---
TRIM 2	METAL WALL PANEL - WINDOW TRIM	---
CT 1	METAL WALL PANEL - CONCRETE TRIM	---
CT 2	METAL WALL PANEL - CONCRETE TRIM	---
GLASS 1	UPPER CLERK GLASS - IMPACT RESISTANT	GLASS
GLASS 2	UPPER CLERK GLASS - IMPACT RESISTANT	GLASS
STAIRFRONT	ALUMINUM STAIRFRONT	---
DOOR 1	METAL WALL PANEL - WINDOW TRIM	---
DOOR 2	METAL WALL PANEL - WINDOW TRIM	---

NOTE:  
 1. ALLANTS: PRIMER COLOR TO MATCH ADJACENT MATERIAL.  
 CONTRACTOR TO SUPPLY ALL EXTERIOR MATERIALS FOR REVIEW PRIOR TO ORDERING.  
 PROVIDE # 48 BACK UP WITH ALL COLOR MATERIALS FOR REVIEW AND APPROVAL.



GJS ARCHITECTURE  
 1511 LINDAWOODS, WEST 14th  
 WILMINGTON, DE 19804  
 302.426.1111  
 302.426.1111



CLEMENTS  
 FERRY  
 VETERINARY

1011 QUIMBY MARSH LN  
 CHARLESTON, SC 29492

REVISION	DATE	DESCRIPTION

PROJECT NO: 2014.017  
 DATE: 01.16.2017  
 DRAWN BY: JGU  
 CHECKED BY: RWB  
 PHASE: ARCHITECTURAL DESIGN

Building Elevation - Northwest

A203  
 DRB CONCEPTUAL DESIGN SUBMITTAL







**Agenda Item 4:**

**Ashley Crossing Lane and Highway 61**

**Request conceptual approval for new construction of a multi-family development.**



CURRENT

CONCEPTUAL DRB SUBMITTAL -January 18, 2017  
CONCEPTUAL DRB MEETING -February 6, 2017

PREVIOUS

CONCEPTUAL DRB MEETING -November 21, 2016  
RESULT- DEFERRED  
CONCEPTUAL DRB MEETING -January 3, 2017  
RESULT- DEFERRED

TITLEBLOCK | DRB-000

ASHLEY CROSSING APARTMENTS

January 18, 2017



# Notes From Previous Conceptual DRB Meeting on November 21 :

## BOARD MOTION

*"Deferral with support of general architectural direction and request to restudy height to verify practicality of parking relative to the flood zone."*

The motion did not take any of the staff comments into the motion.

## OTHER COMMENTS FROM PREVIOUS DRB RESUBMISSION

- Visitor access & lack of front door
- The visibility of garage entrances
- Site grading & ground floor elevation
- Clubhouse facade

⊗ SCALE: 3/64" = 1'-0"

## Design Response

In regards to the site elevation LS3P consulted with Eric Schultz with the City of Charleston, Cypress Civil Engineering and Natural Directions Arborist.

• The results of those meetings was that the lobby and clubhouse would be set at 6.6', the garage at 6.5' and the parking areas would be elevated 1' to approximately 5.5'. Therefore the design team verified the practicality of parking relative to the flood zone.

• These elevations would help mitigate damage from tidal influence

• The average high tide adjacent to this location was 3.81'. The Mean Higher High Water is "the average of the higher high water height of each tidal day observed over the National Tidal Datum Epoch. For stations with shorter series, comparison of simultaneous observations with a control tide station is made in order to derive the equivalent datum of the National Tidal Datum Epoch." In layman's terms it is the average of the highest tide each day across a year. For this site, it was 3.81'.

• Another metric studied was the highest tide recorded at that location for the 1983-2001 tidal window which was 5.11' on 3/9/1989.



# Notes From Previous Conceptual DRB Meeting on January 3:

## BOARD MOTION

"Deferral with staff comments #1,2, and 3 and Board comments regarding site plan and improvement of 5th floor massing."

## STAFF COMMENTS

1. The Board requested the applicant to re-study the building height, but it is still a 5-story building in a neighborhood and general area consisting mainly of elevated 1 story multi-family and 2-story multi-family with flat roofs. Staff continues to feel that this building is out of scale for the height, scale and mass, especially as one large block of a building.

2. They have studied the main entrance and parking entries and exits. The entry lobby looks promising in plan, but the execution of the elevation reads more like a commercial storefront than a residential building entry. The garage entry is still facing the street on a prominent elevation, with no attempt to mask what will appear like a commercial parking garage, especially at night.

3. The 4th floor roof terrace is still poorly located and would be better atop the clubhouse to take advantage of site features.

# Design Response



**FRONT PERSPECTIVE**



**REAR PERSPECTIVE**

DRB OVERVIEW CONT'D | DRB-001B



# ASHLEY CROSSING APARTMENTS

January 18, 2017





1



2



3



4



KEY PLAN

SITE PHOTOS 1 | DRB-003

# ASHLEY CROSSING APARTMENTS

January 18, 2017





1



2



3



4



KEY PLAN

SITE PHOTOS 2 | DRB-004

# ASHLEY CROSSING APARTMENTS

January 18, 2017





GRAND VIEW APARTMENTS



THE ASHLEY



ARBORETUM



SHADY GROVE APARTMENTS



BERKSHIRES AT ASHLEY RIVER



HAWTHORNE WESTSIDE

NEARBY APARTMENT COMPLEXES | DRB-005

## ASHLEY CROSSING APARTMENTS

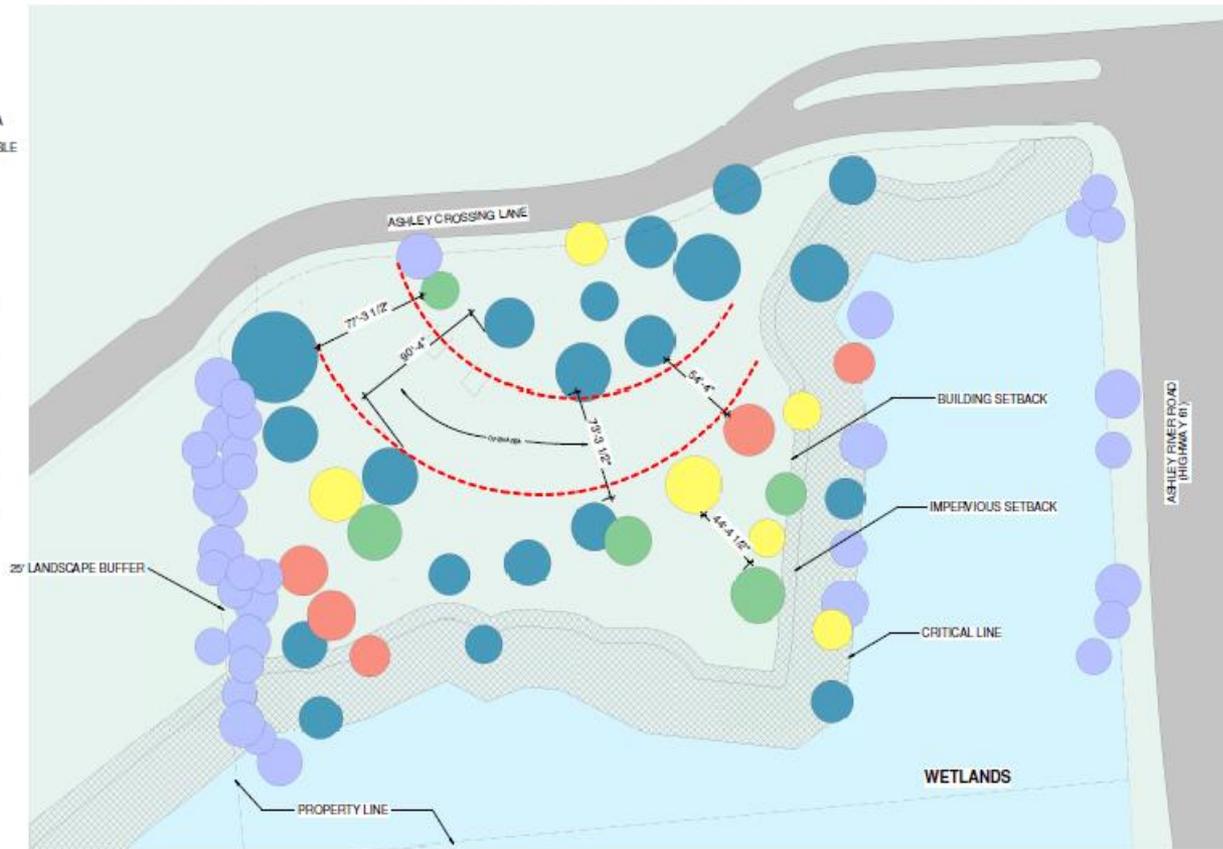
January 18, 2017



**SITE DATA**

SITE AREA - 5.38 ACRES  
 3.42 UPLANDS, 1.96 CRITICAL AREA  
 40' CRITICAL LINE BUFFER - 0.91  
 53% OF PROPERTY UNDEVELOPABLE

TREE LEGEND	
GRADE	COLOR
A	Green
B	Blue
C	Yellow
D,F	Red
NON-GRAND TREES	Purple



⊗ SCALE: 1" = 30'-0"

EXISTING SITE CONSTRAINTS | DRB-010

**ASHLEY CROSSING APARTMENTS**

January 18, 2017





⊗ SCALE: 1" = 40'-0"

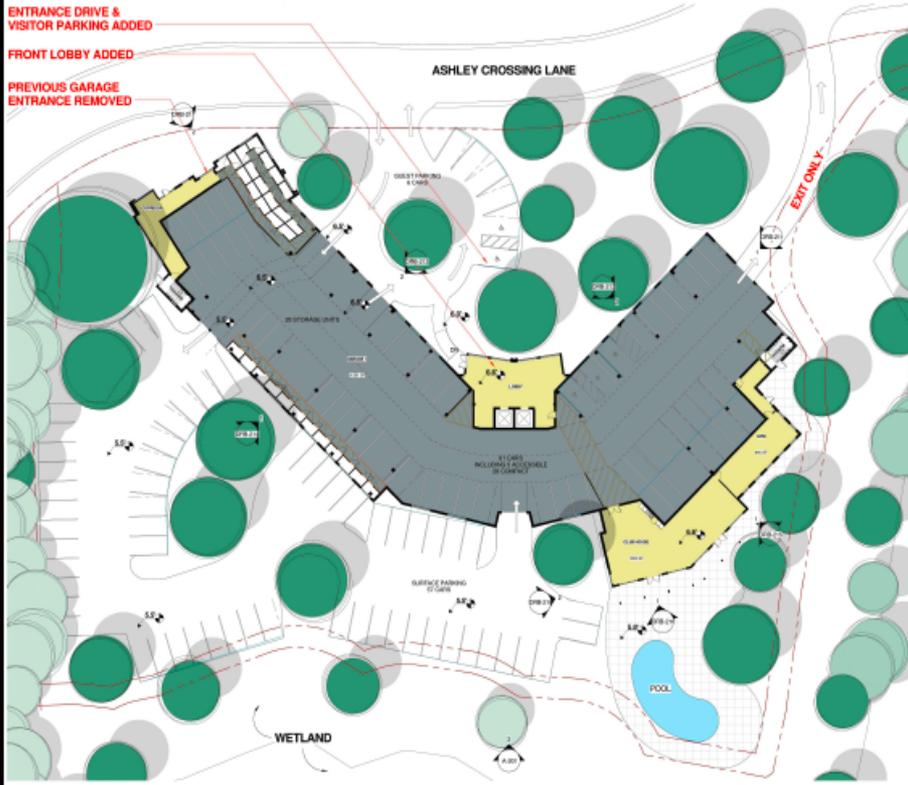
ARCHITECTURAL SITE PLAN | DRB-100

## ASHLEY CROSSING APARTMENTS

January 18, 2017



ENTRANCE DRIVE &  
VISITOR PARKING ADDED  
FRONT LOBBY ADDED  
PREVIOUS GARAGE  
ENTRANCE REMOVED



PREVIOUS DESIGN

⊗ SCALE: 3/64" = 1'-0"



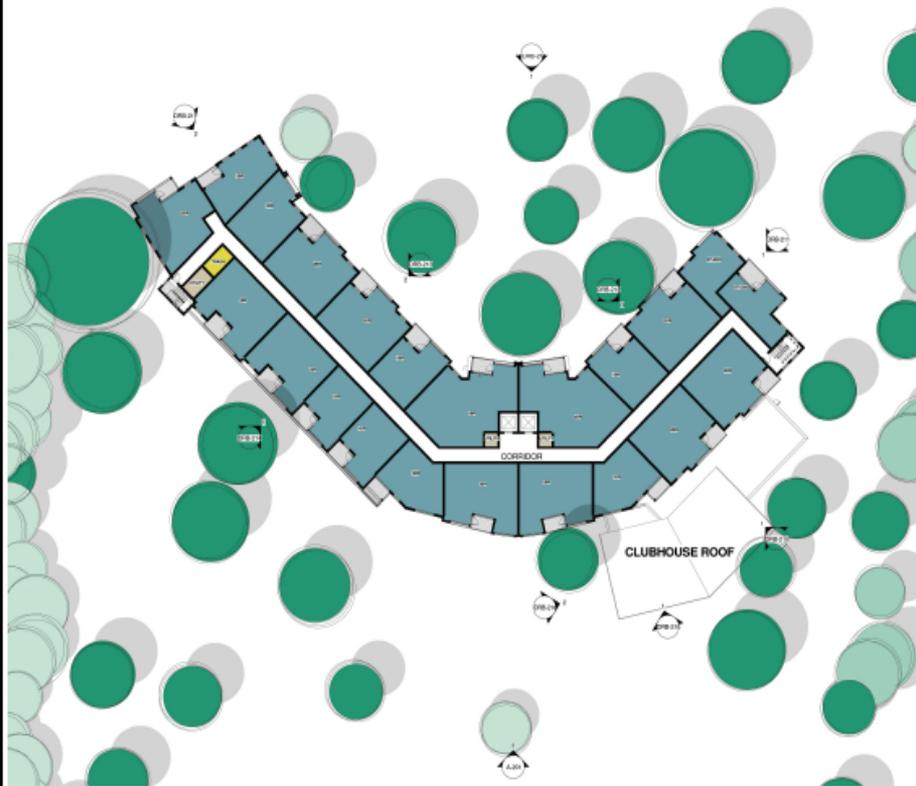
CURRENT DESIGN

1ST FLOOR PLAN | DRB-101

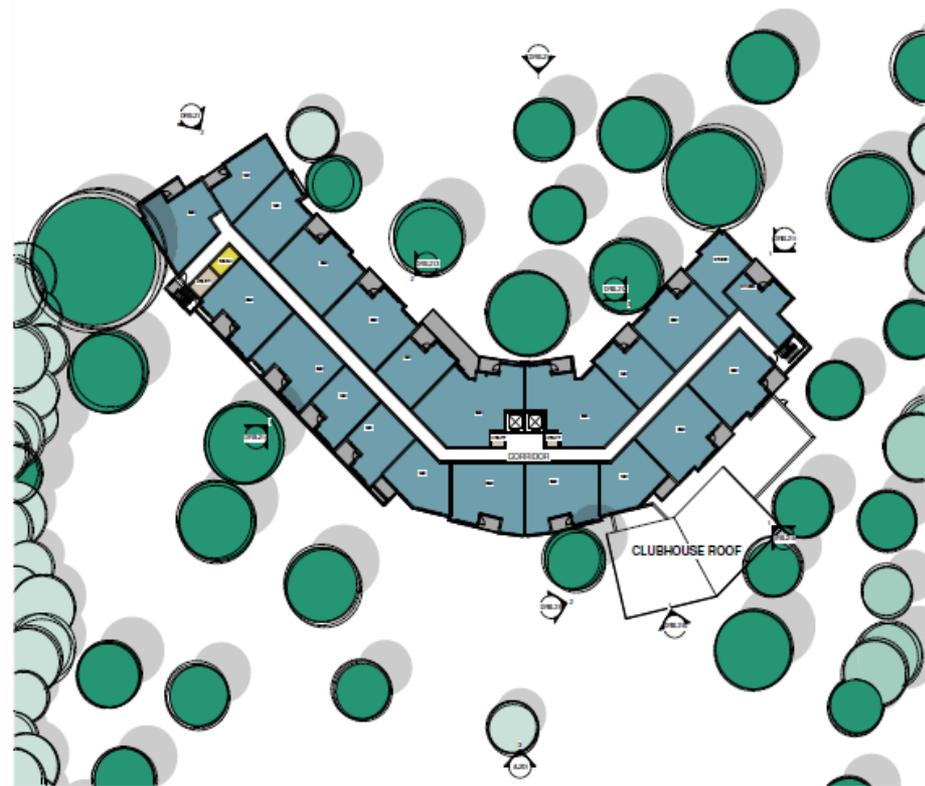
ASHLEY CROSSING APARTMENTS

January 18, 2017





PREVIOUS DESIGN



CURRENT DESIGN

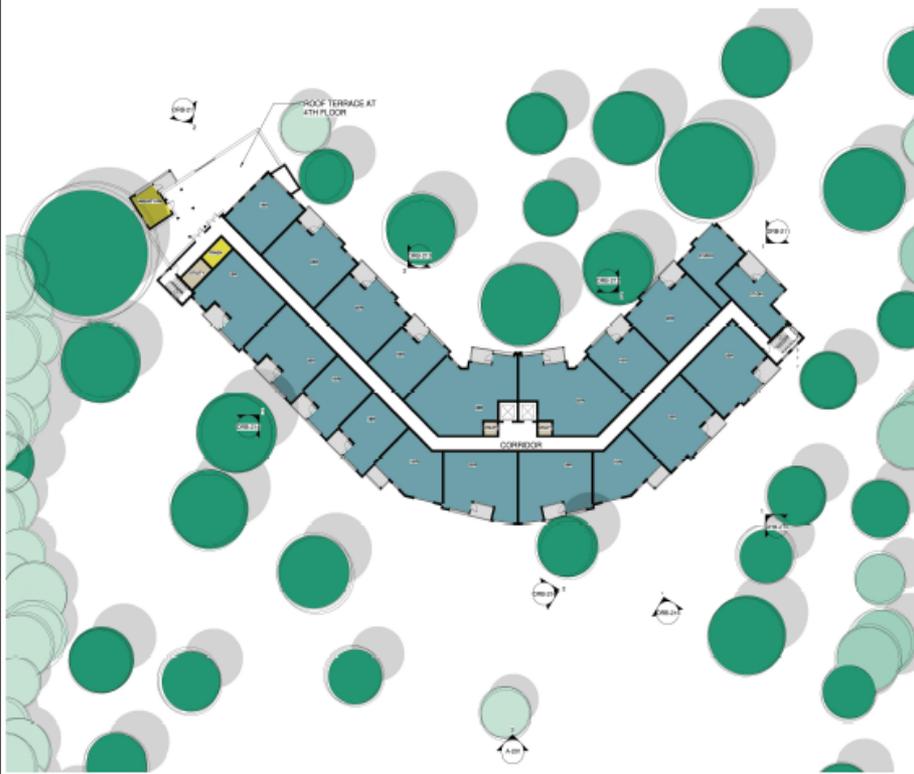
⊗ SCALE: 3/64" = 1'-0"

2ND AND 3RD FLOOR PLAN | DRB-102

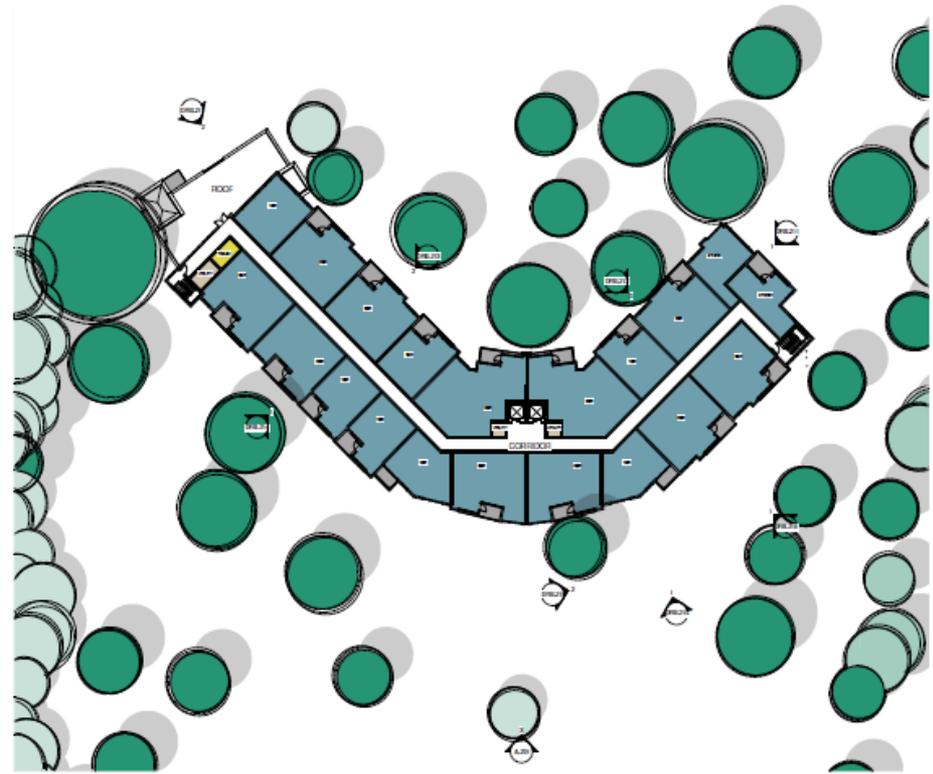
ASHLEY CROSSING APARTMENTS

January 18, 2017





PREVIOUS DESIGN



CURRENT DESIGN

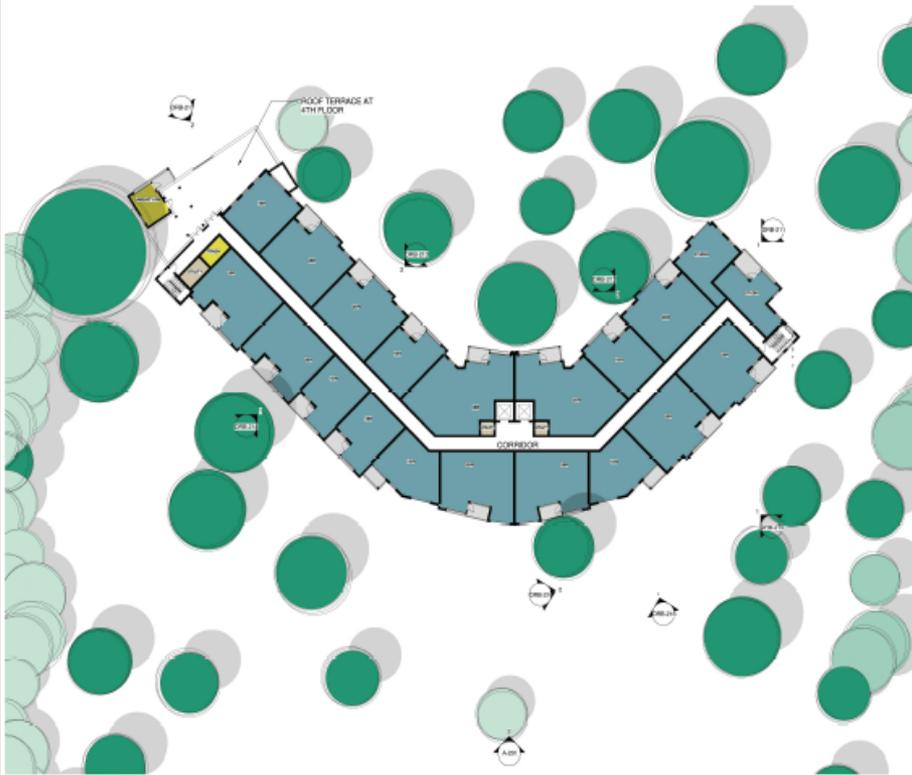
⊗ SCALE: 3/64" = 1'-0"

4TH FLOOR PLAN | DRB-104

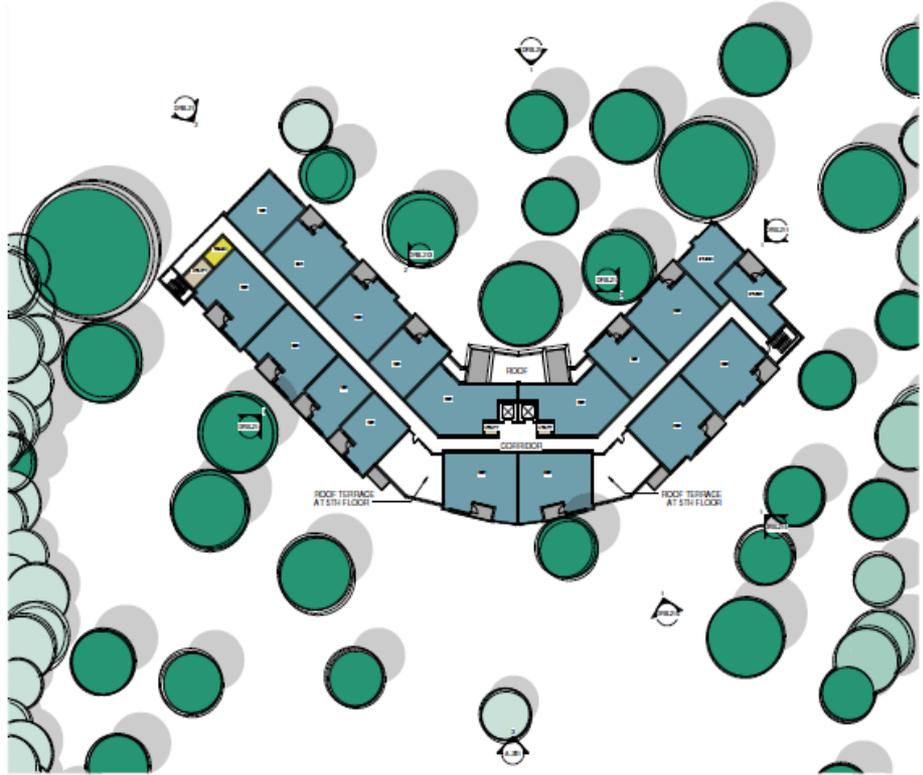
ASHLEY CROSSING APARTMENTS

January 18, 2017





PREVIOUS DESIGN



CURRENT DESIGN

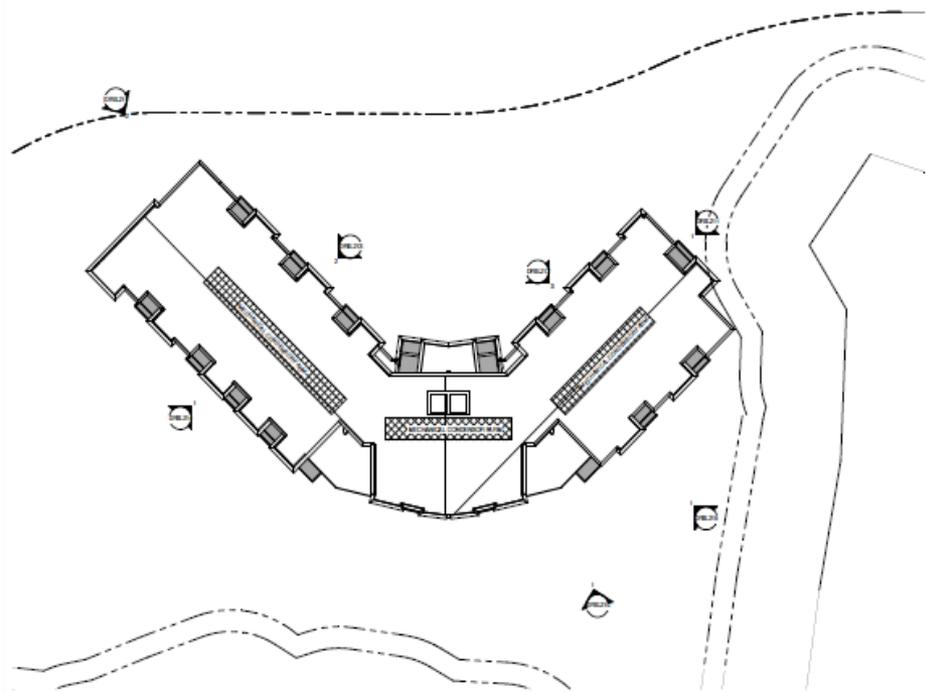
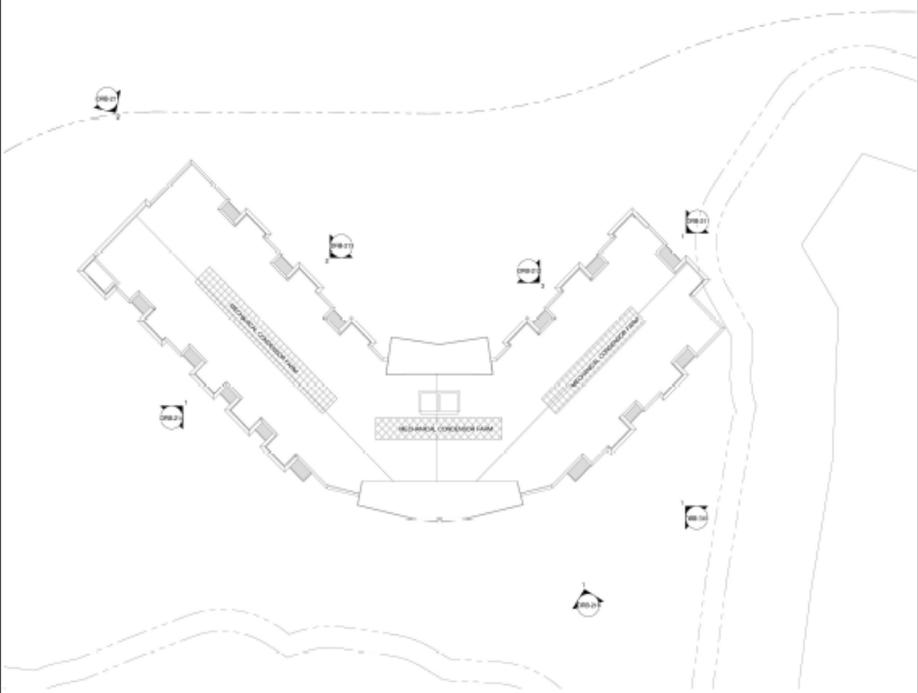
⊗ SCALE: 3/64" = 1'-0"

5TH FLOOR PLAN | DRB-105

ASHLEY CROSSING APARTMENTS

January 18, 2017





CURRENT DESIGN

PREVIOUS DESIGN

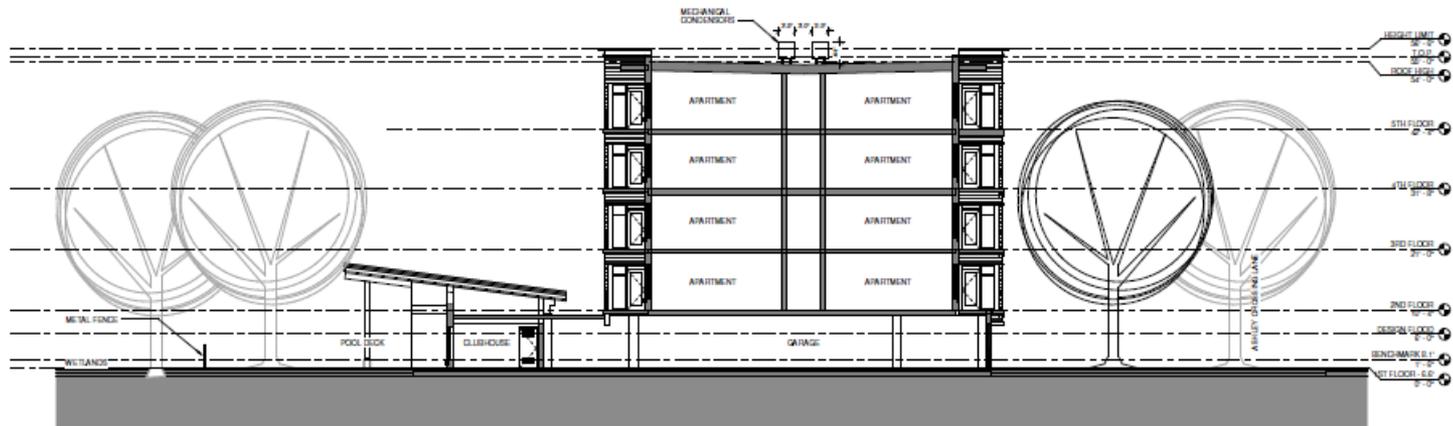
⊗ SCALE: 3/64" = 1'-0"

ROOF PLAN | DRB-106

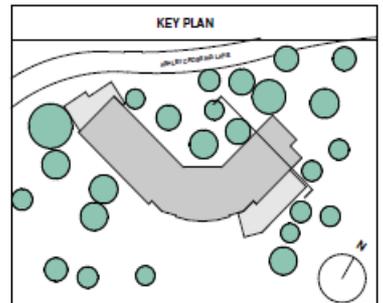
ASHLEY CROSSING APARTMENTS

January 18, 2017





1 DRB - CROSS SECTION - 1  
1/8" = 1'-0"



⊗ SCALE: 1/8" = 1'-0"

BUILDING SECTION | DRB-151

# ASHLEY CROSSING APARTMENTS

January 18, 2017

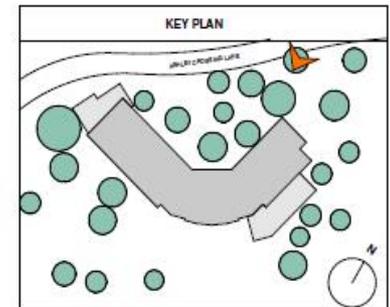




VIEW FROM ASHLEY CROSSING LANE



VIEW FROM ASHLEY CROSSING LANE (TREES HIDDEN)



VIEW FROM ASHLEY CROSSING | DRB-200

## ASHLEY CROSSING APARTMENTS

January 18, 2017





CURRENT DESIGN



PREVIOUS DESIGN

FRONT PERSPECTIVES | DRB-201

ASHLEY CROSSING APARTMENTS

January 18, 2017





CURRENT DESIGN



PREVIOUS DESIGN



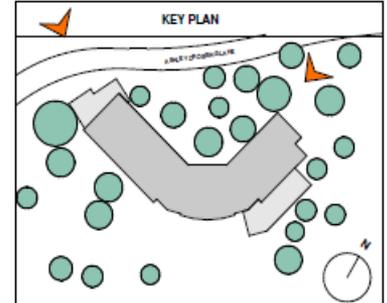
CURRENT DESIGN



PREVIOUS DESIGN



SCALE: As indicated



EAST AND WEST ELEVATIONS | DRB-211

ASHLEY CROSSING APARTMENTS

January 18, 2017





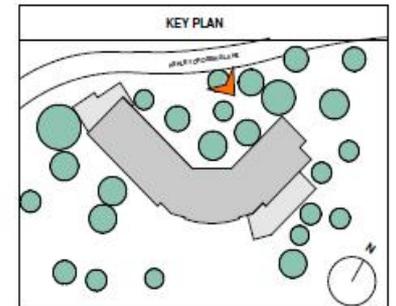
CURRENT DESIGN



PREVIOUS DESIGN



SCALE: As indicated



NORTH ELEVATION 1 | DRB-212

# ASHLEY CROSSING APARTMENTS

January 18, 2017

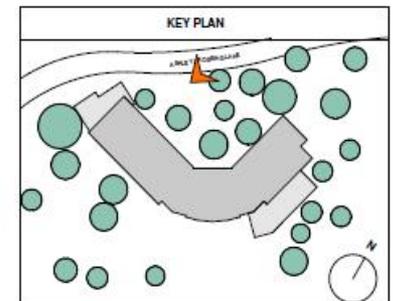




CURRENT DESIGN



PREVIOUS DESIGN



SCALE: As indicated

NORTH ELEVATION 2 | DRB-213

# ASHLEY CROSSING APARTMENTS

January 18, 2017



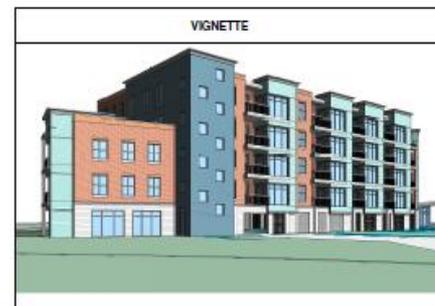


1 SOUTH ELEVATION 1 - DRB  
REV 1/17

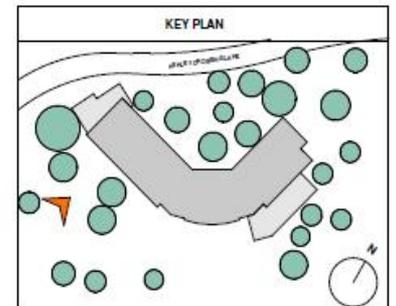
CURRENT DESIGN



PREVIOUS DESIGN



VIGNETTE



KEY PLAN

SCALE: As indicated

SOUTH ELEVATION 1 | DRB-214

ASHLEY CROSSING APARTMENTS

January 18, 2017





① SOUTH ELEVATION 2 - DRB  
DRB-215

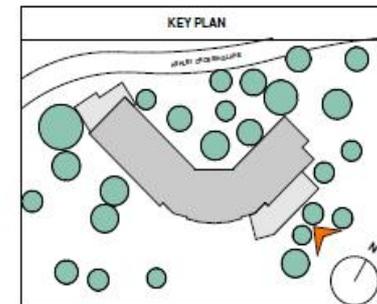
CURRENT DESIGN



PREVIOUS DESIGN



VIGNETTE



KEY PLAN

SCALE: As indicated

SOUTH ELEVATION 2 | DRB-215

ASHLEY CROSSING APARTMENTS

January 18, 2017





2 CLUBHOUSE WEST ELEVATION  
REV. 1.17



1 CLUBHOUSE SOUTH ELEVATION  
REV. 1.17

CURRENT DESIGN



PREVIOUS DESIGN



SCALE: 1/8" = 1'-0"

CLUBHOUSE ELEVATIONS | DRB-216



FIBER CEMENT SIDING



BRICK



BOARD FORMED CONCRETE



METAL CORNICE

METAL CORING

DOUBLE SOLIDER COURSE

FIBER CEMENT SIDING

FIBER CEMENT BALCONY FASCIA

SOLIDER COURSE HEADER

METAL WINDOWS

CAST STONE SILL

REINFORC

BOARD FORMED CONCRETE

METAL LOUVER



**Agenda Item 5:**

**1743 Central Park Road**

**Request conceptual approval for new construction of a multi-family development.**



NO. OF SHEETS - CONCEPT REVIEW	
DRB-01	COVER
DRB-02	GENERAL NOTES
DRB-03	GENERAL NOTES
DRB-04	GENERAL NOTES
DRB-05	GENERAL NOTES
DRB-06	GENERAL NOTES
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Architecture  
Interior  
Planning



**James Island Apartments**  
1743 Central Park Road, Charleston, SC

COVER

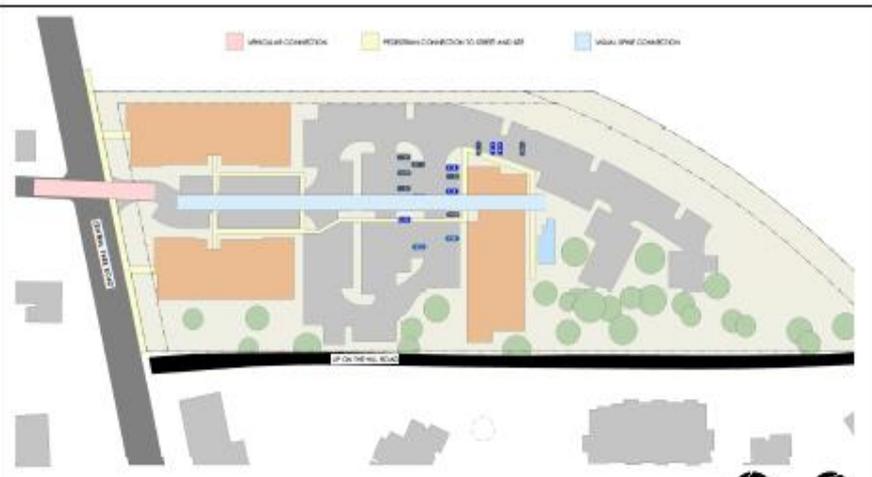
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01/18/2016

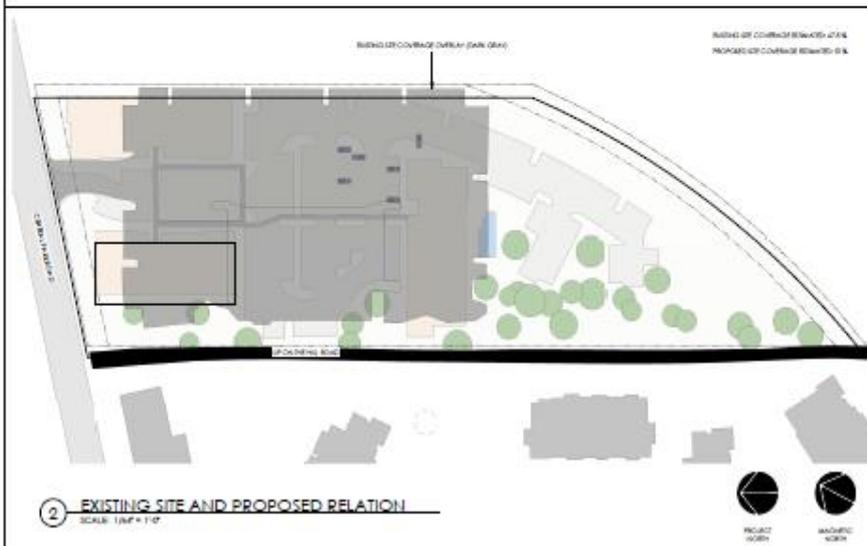




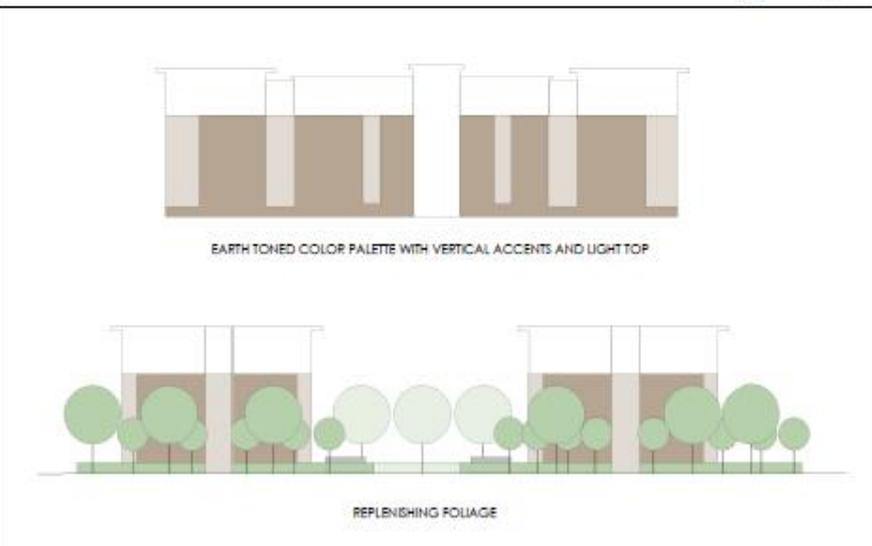
1 CONCEPTUAL SITE PLAN - CONTEXT  
SCALE: 1" = 300'



3 CONCEPTUAL SITE PLAN - CONNECTIVITY  
SCALE: 1/8" = 1'-0"



2 EXISTING SITE AND PROPOSED RELATION  
SCALE: 1/8" = 1'-0"



EARTH TONED COLOR PALETTE WITH VERTICAL ACCENTS AND LIGHT TOP

REFRESHING FOLIAGE

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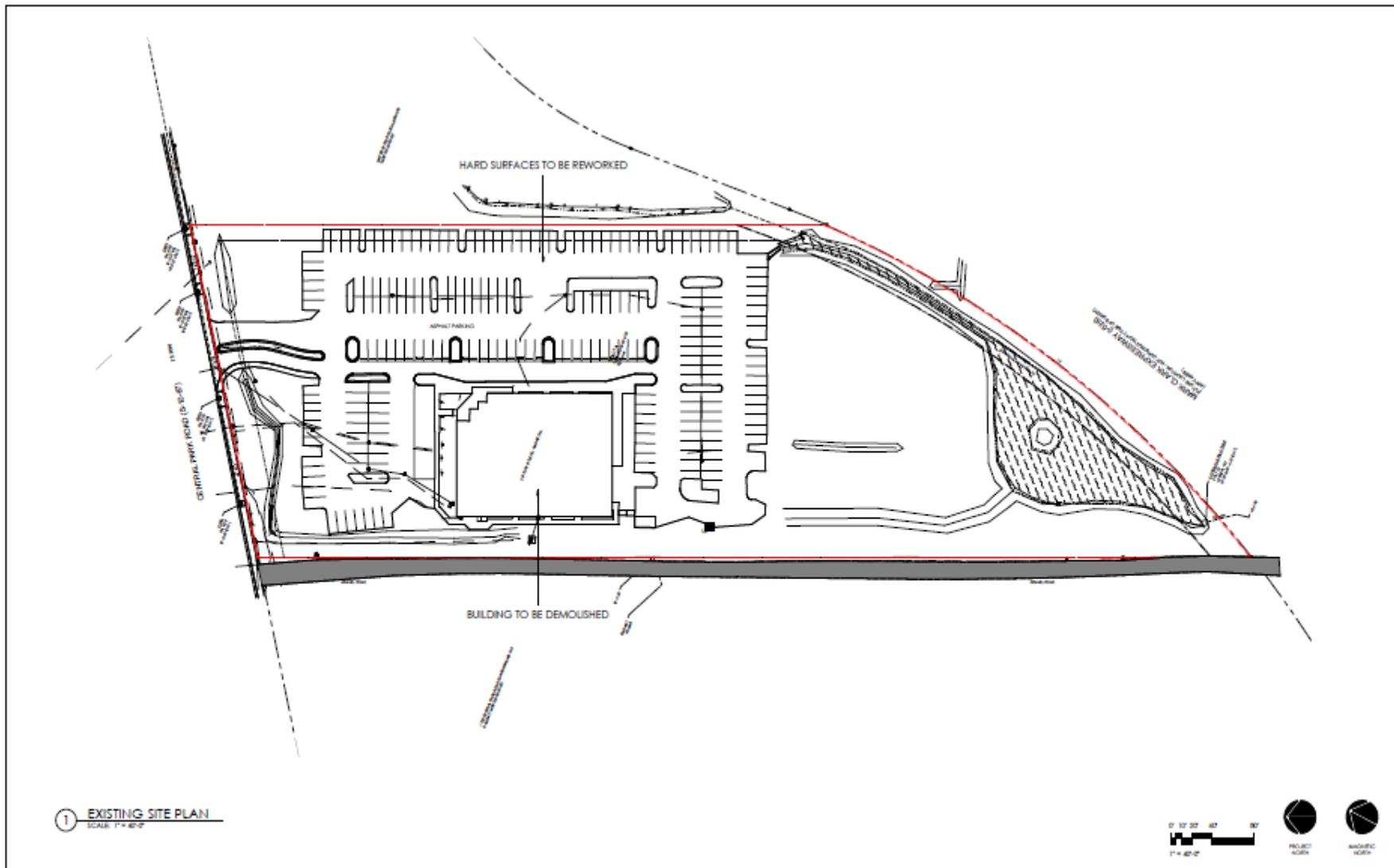
Architect  
Interior  
Planning

**James Island Apartments**  
1743 Central Park Road, Charleston, SC

BASIS OF DESIGN

2 OF 28

01/17/2016



1 EXISTING SITE PLAN  
SCALE: 1" = 40'-0"

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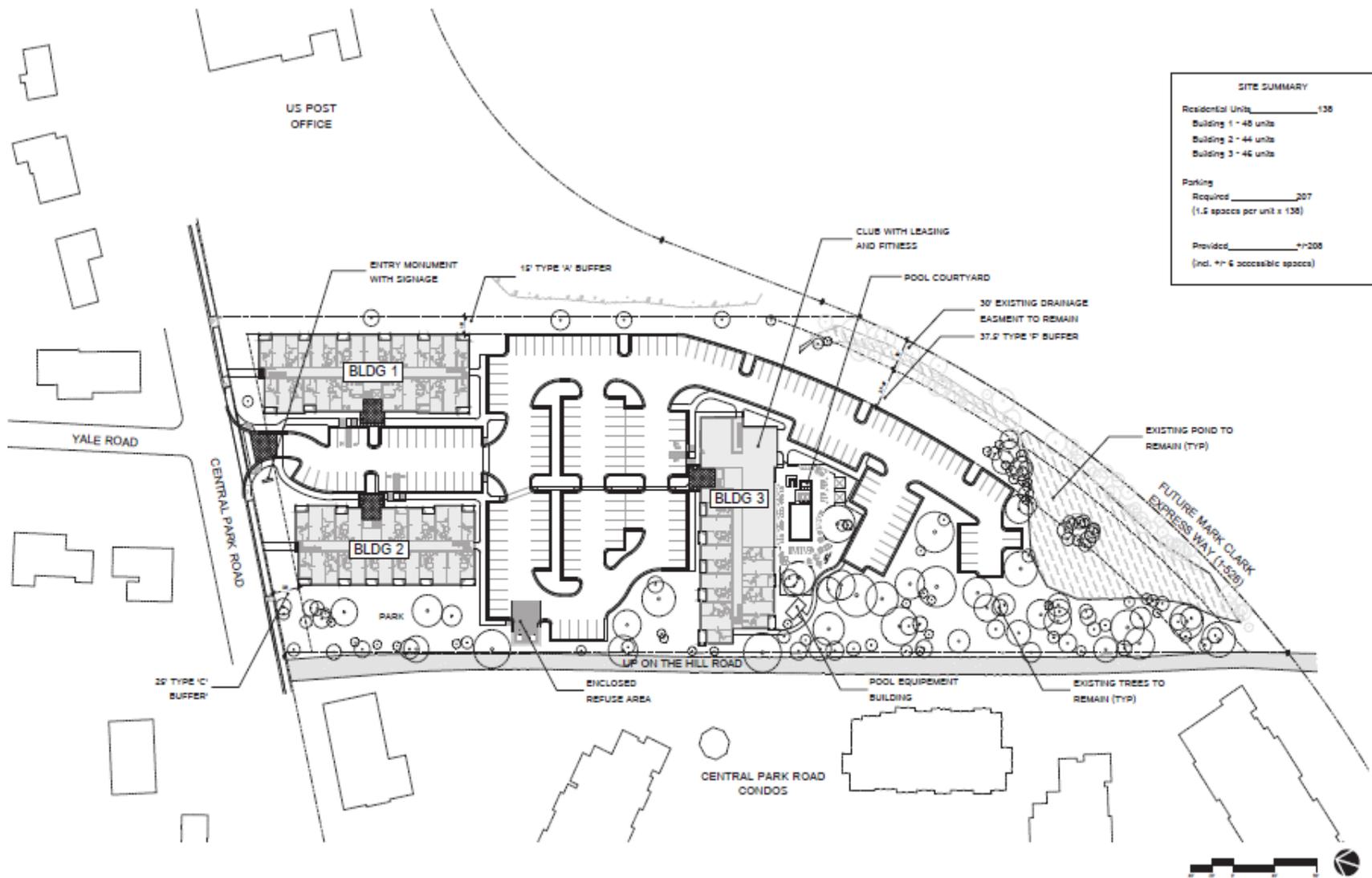
Architectural  
Siteplan  
Planning

**James Island Apartments**  
1743 Central Park Road, Charleston, SC

EXISTING CONDITIONS PLAN -  
DEMOLITION

3 OF 28

01/17/2016



SITE SUMMARY	
Residential Units	138
Building 1 - 48 units	
Building 2 - 44 units	
Building 3 - 46 units	
Parking	
Required	207
(1.5 spaces per unit x 138)	
Provided	208
(incl. 4+ accessible spaces)	



CANOPY TREES  
- DECIDUOUS



Elm Speotec



Red Maple



Live Oak



Laurel Oak



Pictaoh

CANOPY TREES  
- EVERGREEN



Southern Magnolia



Longleaf Pine



Loblolly Pine

UNDERSTORY TREES  
- DECIDUOUS



Flowering Dogwood



Eastern Redbud



Flowering Cherry



Crape Myrtle

UNDERSTORY TREES  
- EVERGREEN



Carolina  
Cherry Laurel



Palmetto Palm



Eastern Red  
Cedar



Nelle Stevens  
Holly



Little Gem  
Magnolia

SHRUBS



Nandina



D. Burford Holly



Abelia



Azalea



Carissa Holly



Hydrangea Speotec



Butterfly Bush



Gardenia



Loropetalum



Rose



Pittosporum



Auuba



Arboretalae



D. Yaupon Holly



Itea

GRASSES AND  
GROUND COVER



Switchgrass



Liriope



Fountain Grass



Muhly Grass



Juniper Speotec



Pachysandra



Mexican Feather Grass



1 BUILDING 1 - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

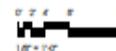


<p>Goff•D'Antonio Associates</p> <p>44 Rutledge Street Charleston, SC 29403 FAX: 803.277.9754 803.277.2163 www.goffdantonio.com</p>	<p>Architect Interior Planning</p>	<p><b>James Island Apartments</b> 1743 Central Park Road, Charleston, SC</p>	<p>BLDG 1 - 1ST FLOOR PLAN</p> <p>7 OF 28</p> <p>01/18/2016</p>
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1/18/2017 11:58:47 AM



① BUILDING 1 - SECOND-FOURTH FLOOR PLANS  
SCALE: 1/8" = 1'-0"



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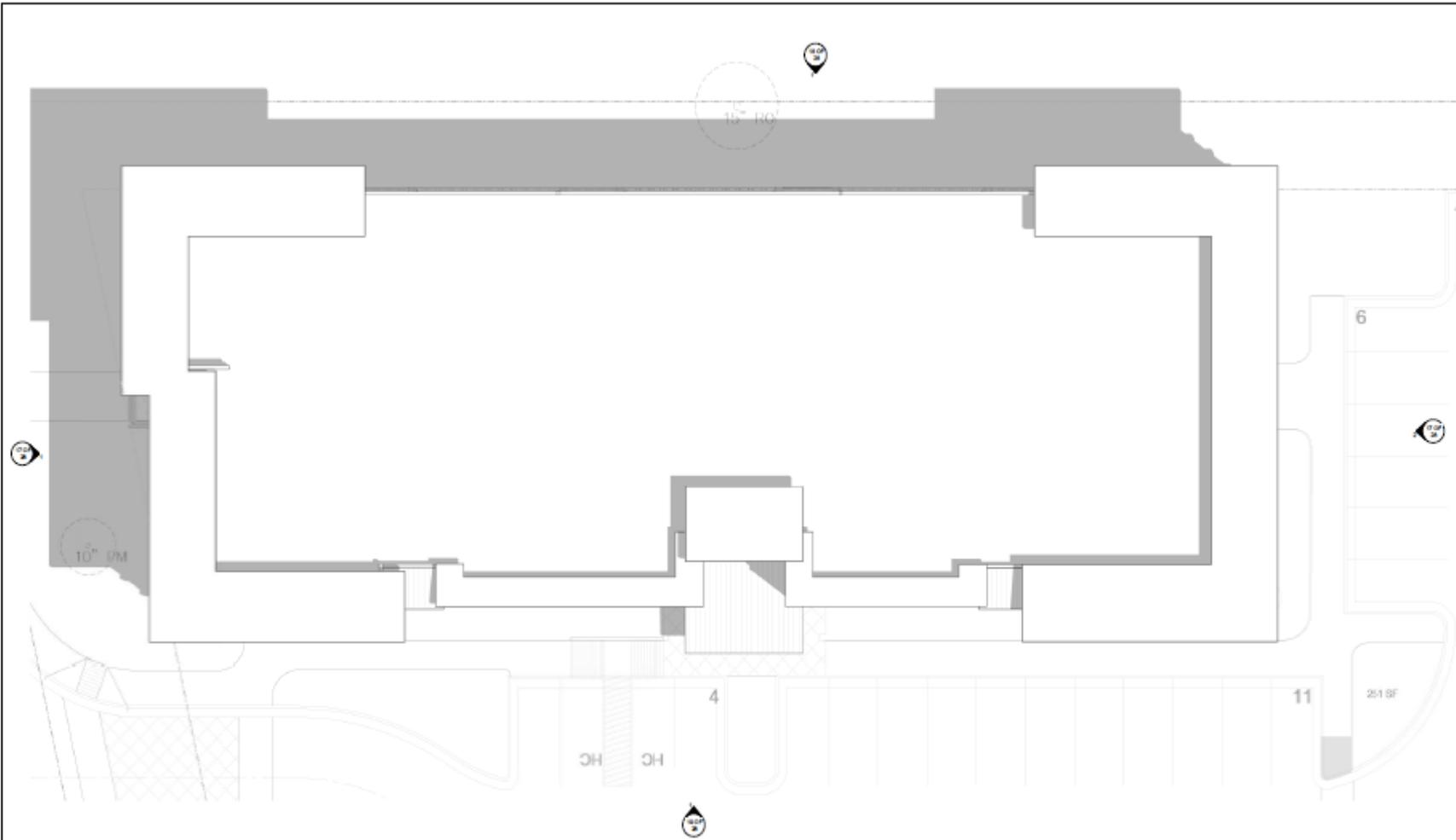
## James Island Apartments

1743 Central Park Road, Charleston, SC

BLDG 1 - 2ND - 4TH FLOOR PLAN

8 OF 28

01/18/2016



1 BUILDING 1 - ROOF PLAN  
SCALE: 1/8" = 1'-0"



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**James Island Apartments**  
1743 Central Park Road, Charleston, SC

BLDG 1 - ROOF PLAN

9 OF 28

01/18/2016



1 BUILDING 2 - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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## James Island Apartments

1743 Central Park Road, Charleston, SC

BLDG 2 - 1ST FLOOR PLAN

10 OF 28

01/18/2016



① BUILDING 2 - SECOND-FOURTH FLOOR PLANS  
SCALE: 1/8" = 1'-0"



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**James Island Apartments**  
 1743 Central Park Road, Charleston, SC

BLDG 2 - 2ND - 4TH FLOOR PLAN
11 OF 28
01/18/2016

1/18/2017 11:02:00 AM



1 BUILDING 2 - ROOF PLAN  
SCALE: 1/8" = 1'-0"



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 Planning

**James Island Apartments**  
 1743 Central Park Road, Charleston, SC

BLDG 2 - ROOF PLAN  
 12 OF 28  
 01/18/2016



1 BUILDING 3 - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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## James Island Apartments

1743 Central Park Road, Charleston, SC

BLDG 3 - 1ST FLOOR PLAN

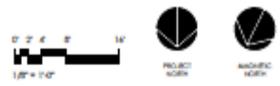
13 OF 28

01/18/2016

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① BUILDING 3 - SECOND-FOURTH FLOOR PLANS  
SCALE: 1/8" = 1'-0"



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Interior  
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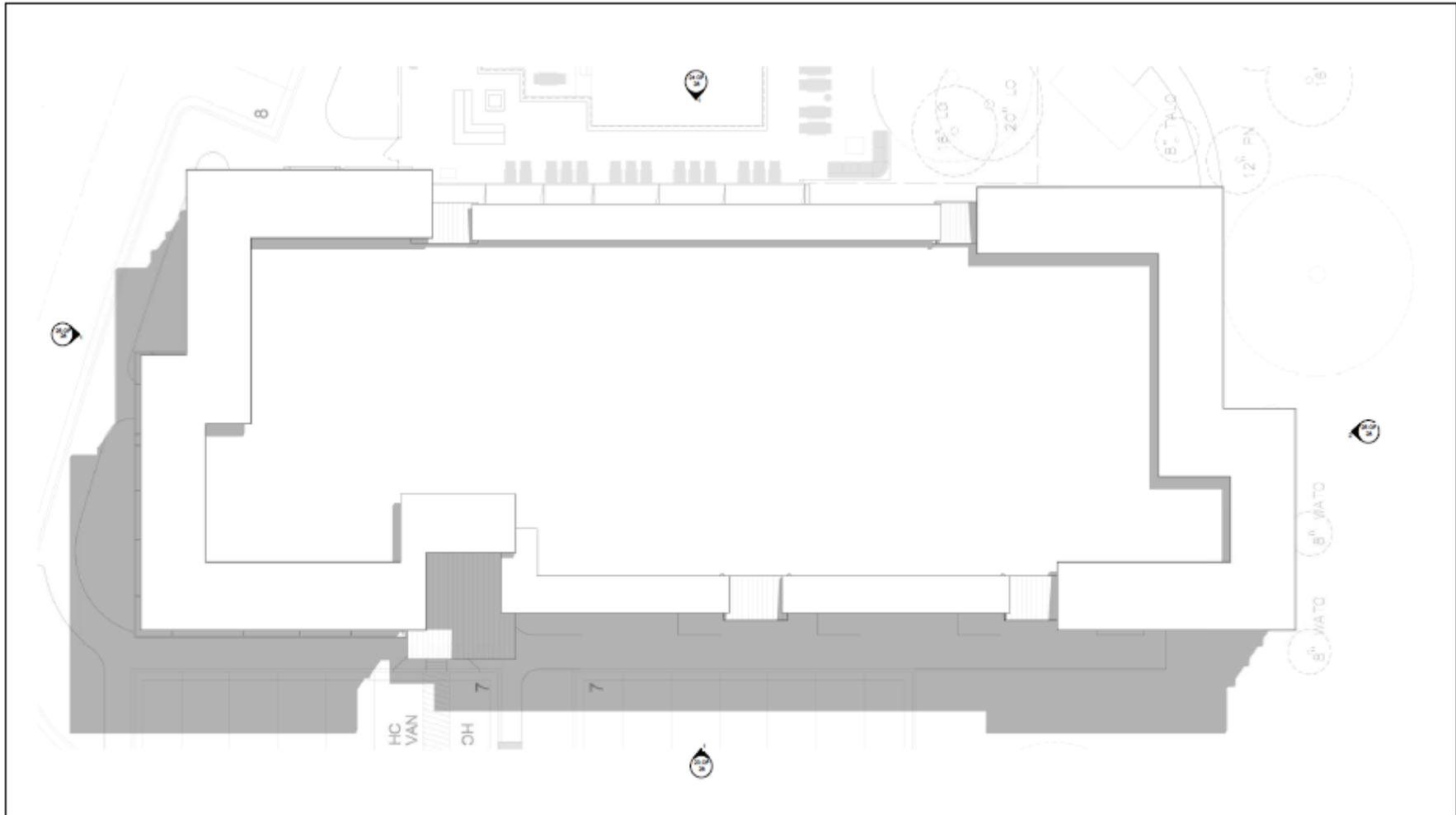
## James Island Apartments

1743 Central Park Road, Charleston, SC

BLDG 3 - 2ND - 4TH FLOOR PLAN

14 OF 28

01/18/2016



1 BUILDING 3 - ROOF PLAN  
SCALE: 1/8" = 1'-0"



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1743 Central Park Road, Charleston, SC

BLDG 3 - ROOF PLAN

15 OF 28

01/18/2016



1 STREETSCAPE NORTH ELEVATION @ CENTRAL PARK RD  
SCALE: 1" = 30'0"



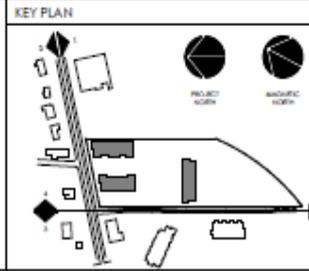
3 STREETSCAPE SOUTH ELEVATION @ CENTRAL PARK RD  
SCALE: 1" = 30'0"



4 STREETSCAPE WEST ELEVATION @ UP ON THE HILL RD  
SCALE: 1" = 30'0"



5 STREETSCAPE EAST ELEVATION @ UP ON THE HILL RD  
SCALE: 1" = 30'0"



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**James Island Apartments**  
 1743 Central Park Road, Charleston, SC



STREETSCAPE ELEVATIONS

16 OF 28

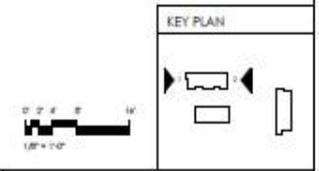
01/18/2016



① BLDG. 1 - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



② BLDG. 1 - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



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Planning

# James Island Apartments

1743 Central Park Road, Charleston, SC

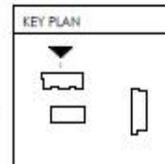
BLDG 1 - NORTH/SOUTH ELEVATIONS

17 OF 28

01/18/2016



1 BLDG. 1 - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



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Planning

# James Island Apartments

1743 Central Park Road, Charleston, SC

BLDG 1 - EAST ELEVATION

18 OF 28

01/18/2016



1 BLDG. 1 - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1/18/2016 11:03 AM







1 BLDG. 2 - WEST ELEVATION  
SCALE: 1/8" = 1'-0"

KEY PLAN

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Architecture  
Interior  
Planning

# James Island Apartments

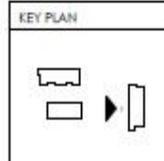
1743 Central Park Road, Charleston, SC

BLDG 2 - WEST ELEVATION
22 OF 28
01/18/2016

15/00017 11-10-08-00



1 BLDG. 3 - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



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1743 Central Park Road, Charleston, SC

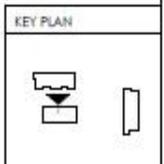
BLDG 3 - NORTH ELEVATION

23 OF 28

01/18/2016



① BLDG. 3 - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



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Planning

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1743 Central Park Road, Charleston, SC

BLDG 3 - SOUTH ELEVATION

24 OF 28

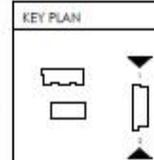
01/18/2016



1 BLDG. 3 - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 BLDG. 3 - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



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**James Island Apartments**  
1743 Central Park Road, Charleston, SC

BLDG 3 - EAST/WEST ELEVATIONS

25 OF 28

01/18/2016



Google Earth

AERIAL VIEW OF BUILDINGS



Google Earth

EXISTING SITE WITHOUT BUILDINGS



Google Earth

AERIAL VIEW OF BUILDINGS AND SURROUNDING AREA



Google Earth

EXISTING SITE WITH BUILDINGS

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Interior  
Planning

## James Island Apartments

1743 Central Park Road, Charleston, SC

AERIAL VIEW

26 OF 28

01/18/2016



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## James Island Apartments

1743 Central Park Road, Charleston, SC

PERSPECTIVES

27 OF 28

01/18/2016



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Planning

## James Island Apartments

1743 Central Park Road, Charleston, SC

PERSPECTIVES

28 OF 28

01/18/2016



**Agenda Item 6:**

**Floyd Drive**

**Request conceptual approval for new construction of a multi-family development.**



## Bees Ferry Road Apartments

YARD #07001, 3U

12.21.16

### BUILDING DATA

Unit Type	Description	Unit Size HSF*	Balcony SF	# of Units	Unit Type % Mix	Total Unit Type % Mix	Total HSF	Total % HSF
A1	1 Bedroom	772	104	35	15%		27,782	13%
A2	1 Bedroom	799	108	33	17%	36%	26,367	12%
A2 mod1	1 Bedroom	667	108	9	6%		7,903	4%
B1	2 Bedroom	1,121	156	21	11%	49%	23,541	11%
B2	2 Bedroom	1,267	89	75	38%		96,525	46%
C1	3 Bedroom	1,444	85	21	11%	11%	30,324	14%
<b>Total</b>				<b>198</b>	<b>100%</b>		<b>212,362</b>	<b>100%</b>
	Avg. Unit Size	1,099						
Parking Provided		254 surface spots + 22 Garage spots + 18 HOV spots					294 spots	
Leasing / Club / Fitness		Includes covered porch					9,400 sf	

Sheet Number	Sheet Name	Comments
A0	COVER SHEET	0
A010	CONTRACT MAP	0
A030	SITE PLAN	0
B010	CONCEPTUAL SITE PLAN	0
B020	CONCEPTUAL LANDSCAPE PLAN	0
B030	CONCEPTUAL LANDSCAPE WALKWAY	0
A1	BLDG A TYPICAL FLOOR PLAN	0
A2	BLDG A TOWER TYPICAL FLOOR PLAN	0
A3	BLDG B TYPICAL FLOOR PLAN	0
A4	BLDG C TYPICAL FLOOR PLAN	0
A5	BLDG D TYPICAL FLOOR PLAN	0
A6	CLUB FLOOR PLAN	0
A7	CLUBHOUSE FLOOR PLAN	0
A8	BLDG A - BALCONY	0
A9	BLDG B - BALCONY	0
A10	BLDG C - TOWER BALCONY	0
A11	BLDG A - TOWER BALCONY	0
A12	BLDG B - BALCONY	0
A13	BLDG C - BALCONY	0
A14	BLDG D - BALCONY	0
A15	BLDG A - BALCONY	0
A16	BLDG B - BALCONY	0
A17	BLDG C - BALCONY	0
A18	BLDG D - BALCONY	0
A19	CLUBHOUSE BALCONY	0
A20	CLUBHOUSE BALCONY	0
A21	CLUBHOUSE BALCONY	0
A22	CLUBHOUSE BALCONY	0
A23	CLUBHOUSE BALCONY	0
A24	CLUBHOUSE BALCONY	0
A25	CLUBHOUSE BALCONY	0
A26	CLUBHOUSE BALCONY	0



CORNER: WEST ASHLEY GARDENS BLVD. & RUE DR.



CERTIFICATE COURT



WALMART SUPER CENTER



BEEES FERRY APARTMENTS



SAGE WAY



BEEES FERRY APARTMENTS - CLUB



THE AVENUES - VERDIER POINTE



PROXIMITY RESIDENCES



AMENITY: CORNER CAROLINA BAY DR. & AMBERHILL WAY



**BEEES FERRY APARTMENTS**  
FLY/D RD.  
WEST ASHLEY, DC

DATE  
12.21.16

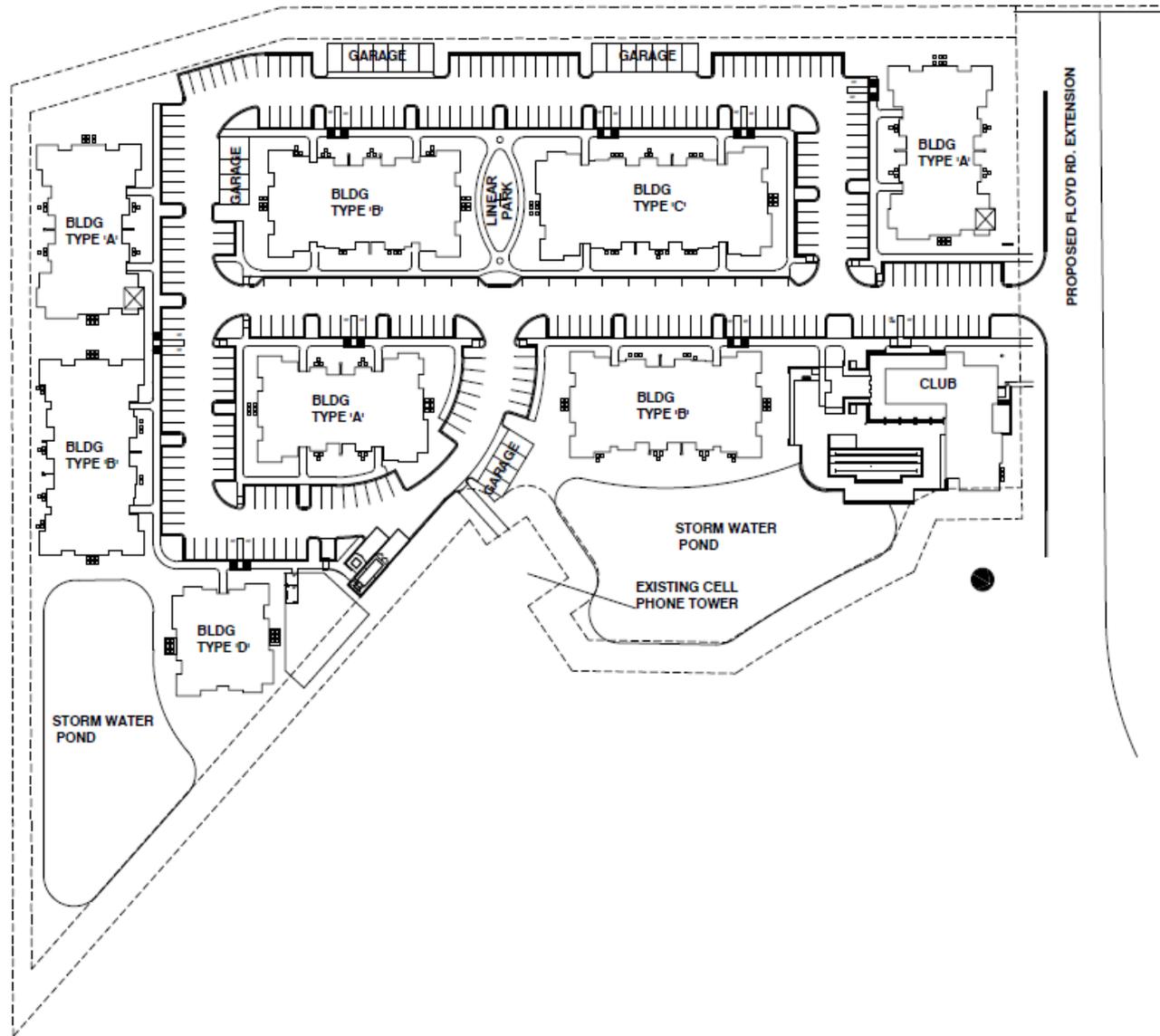
PROJECT #  
216023

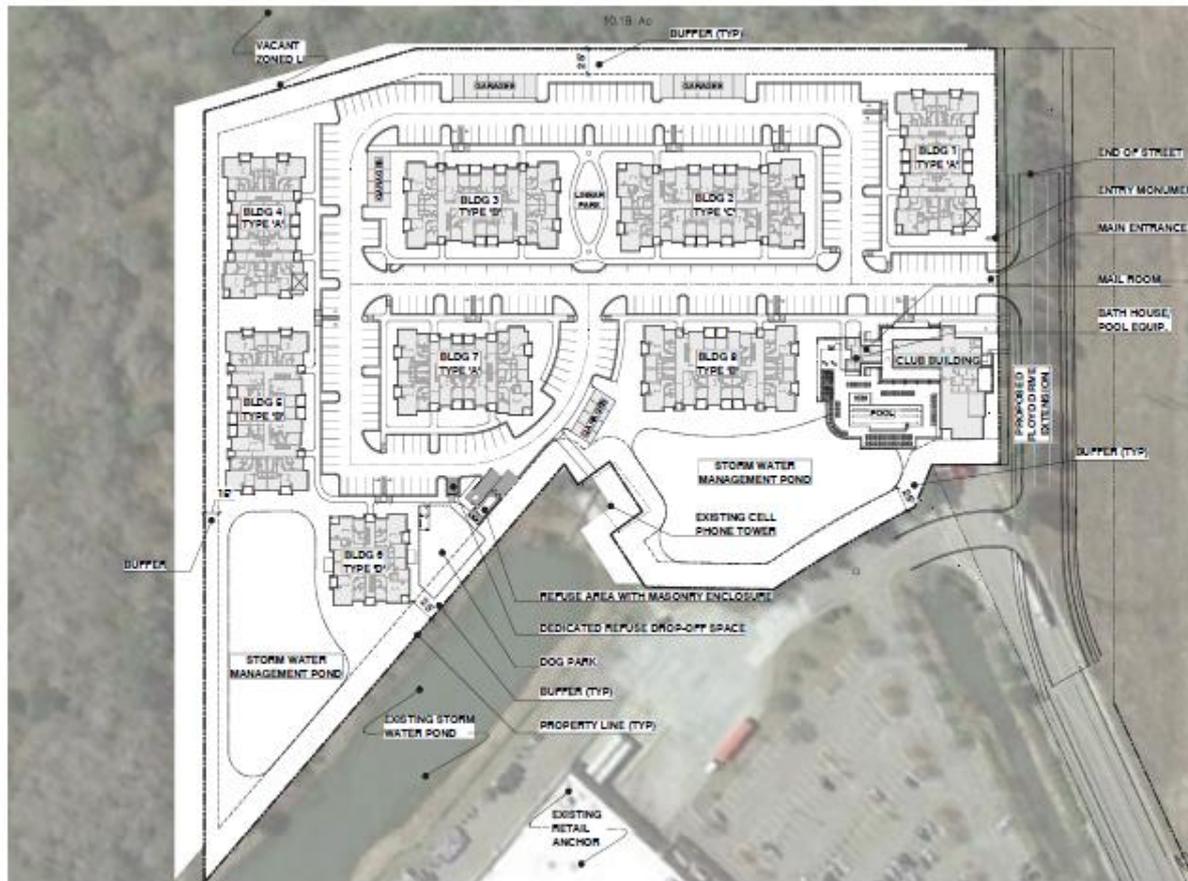
SET  
CONCEPTUAL

SHEET  
CONTEXT MAP

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**A0.10**





SITE SUMMARY	
Residential Units	165
Type A building (2) - 72 units	
Type B building (2) - 61 units	
Type C building (1) - 30 units	
Type D building (1) - 12 units	
Parking	293
Required (1.5 spaces per unit @ 185)	
Parking Provided	293 spaces
(662 +/- 10 accessible spaces)	
Provision	+1284
Surface	+1284
Garages	+103

**BEES FERRY Apartments**  
 FLOYD RD.  
 WEST ASHLEY, SC

12.21.2018

218023

Conceptual Site Plan

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SD-1



CANOPY TREES  
- DECIDUOUS



Elm Specios



Red Maple



Live Oak



Laurel Oak



Pistache

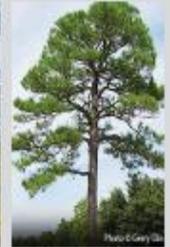
CANOPY TREES  
- EVERGREEN



Southern Magnolia



Longleaf Pine



Loblolly Pine

UNDERSTORY TREES  
- DECIDUOUS



Flowering Dogwood



Eastern Redbud



Flowering Cherry



Grape Myrtle

UNDERSTORY TREES  
- EVERGREEN



Carolina  
Cherry Laurel



Palmetto Palm



Eastern Red  
Cedar



Nelle Stevens  
Holly



Little Gem  
Magnolia

SHRUBS



Nandina



D. Burford Holly



Abelia



Azalea



Carissa Holly



Hydrangea Specios



Butterfly Bush



Gardenia



Loropetalum



Rose



Pittosporum



Auouba



Arborvitae



D. Yaupon Holly



Itea

GRASSES AND  
GROUND COVER



Switchgrass



Liriope



Fountain Grass



Muhly Grass



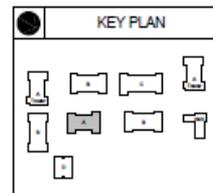
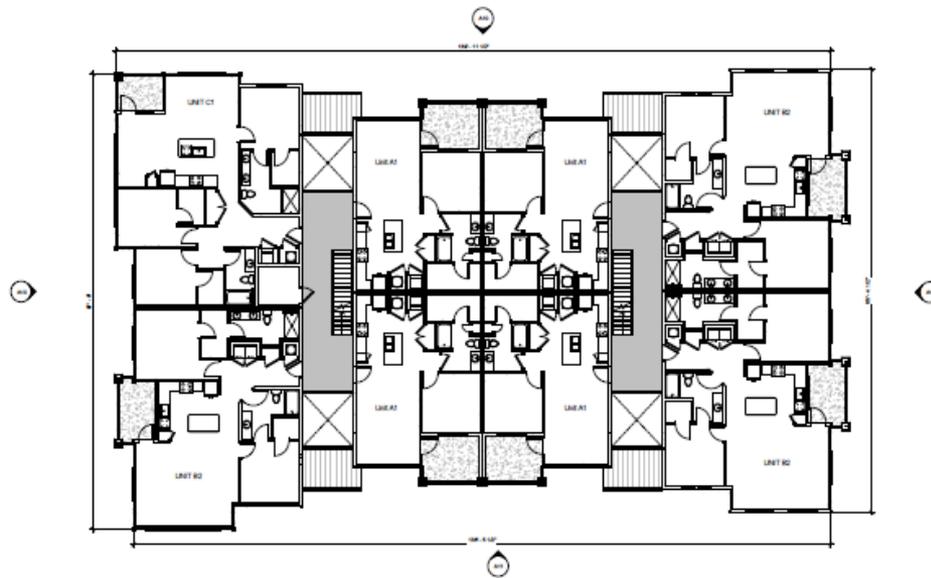
Juniper Specios



Paohycandra



Mexican Feather Grass



**CLINE  
DESIGN**

**BEES FERRY APARTMENTS** DATE  
 FLOYD RD. 12.21.16  
 WEST ASHLEY, SC

PROJECT #  
 216023

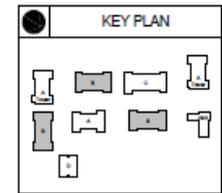
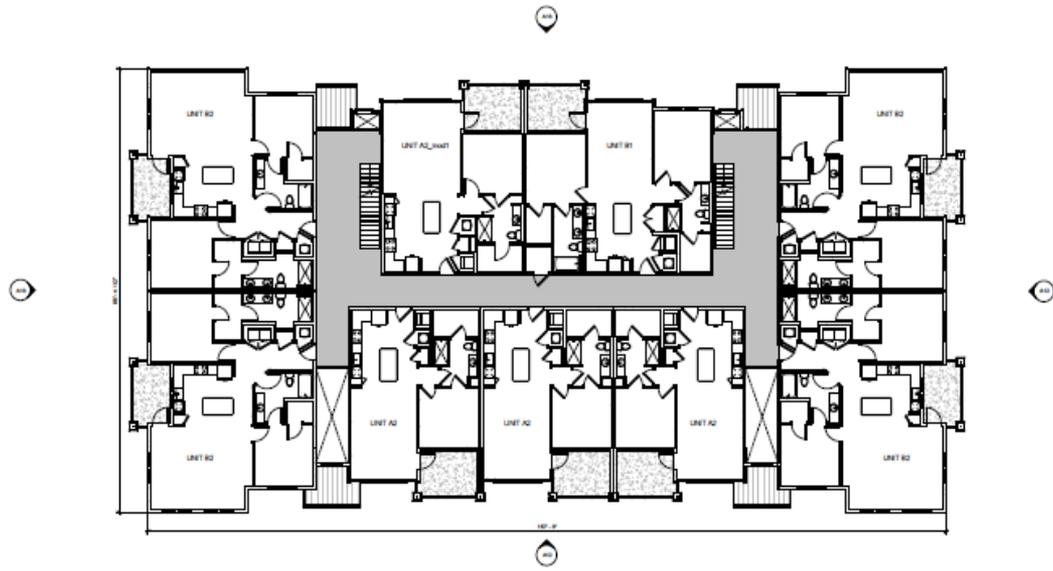
SET  
 CONCEPTUAL

SHEET  
 BLDG A TYPICAL FLOOR PLAN  
 1/8" = 1'-0"

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**A1**





**BEES FERRY APARTMENTS**  
 FLOYD RD.  
 WEST ASHLEY, SC

DATE  
 12.21.16

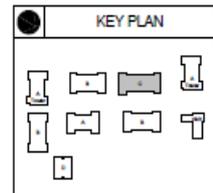
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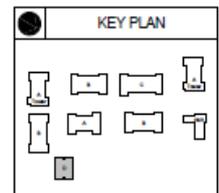
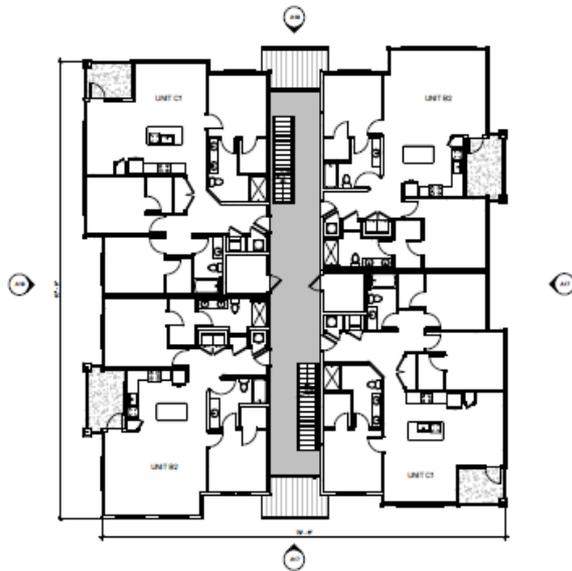
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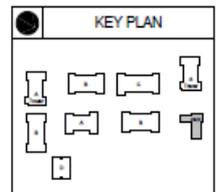
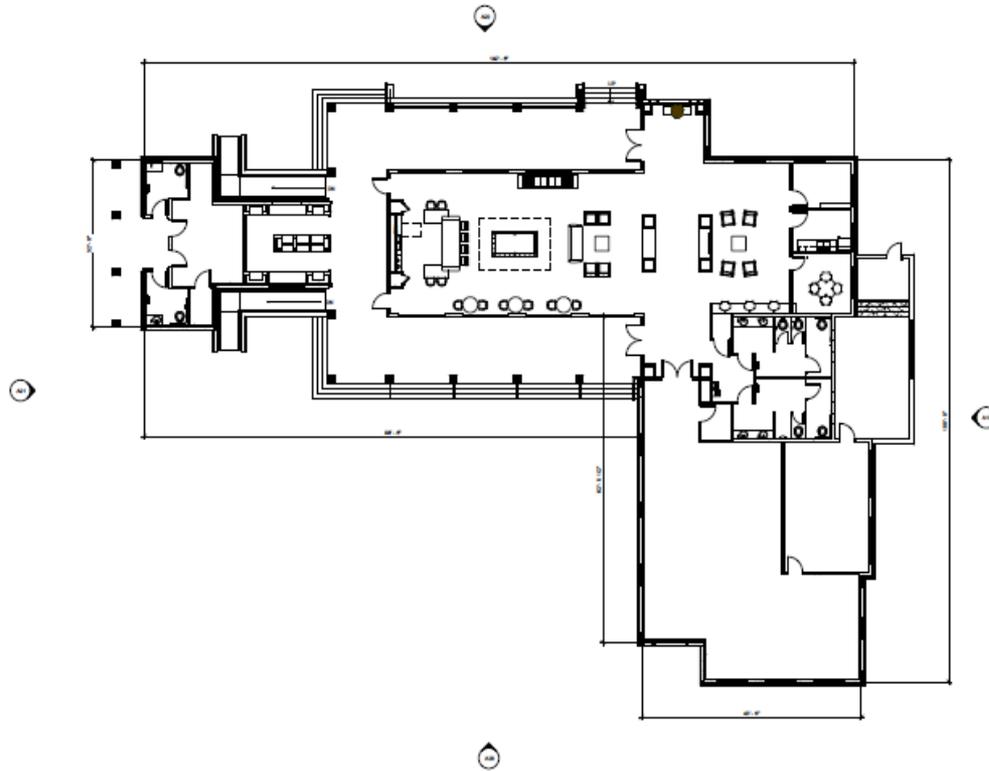
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 1/8" = 1'-0"

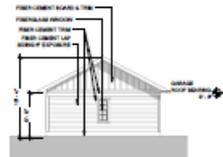
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**A3**









GARAGE - 4 BAY SIDE ELEVATION



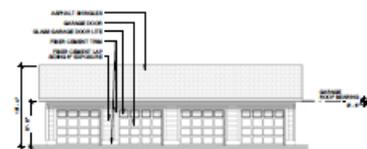
GARAGE - 7 BAY SIDE ELEVATION



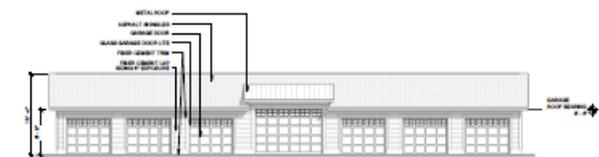
GARAGE - 4 BAY REAR ELEVATION



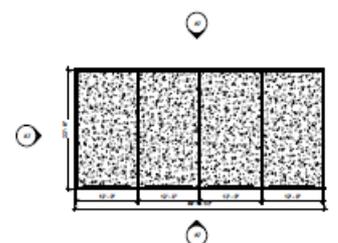
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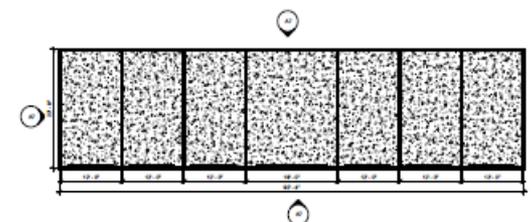
GARAGE - 4 BAY FRONT ELEVATION



GARAGE - 7 BAY FRONT ELEVATION



GARAGE - 4 BAY FLOOR PLAN



GARAGE - 7 BAY FLOOR PLAN



BEES FERRY APARTMENTS  
 FLOYD RD.  
 WEST ASHLEY, DC

DATE  
 12.21.16

PROJECT #  
 214023

SET  
 CONCEPTUAL

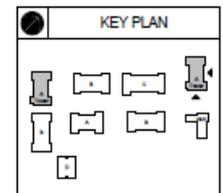
SHEET  
 GARAGE PLANS & ELEVATIONS  
 1/8" = 1'-0"  
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NORTH ELEVATION



EAST ELEVATION

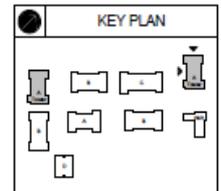




SOUTH ELEVATION



WEST ELEVATION

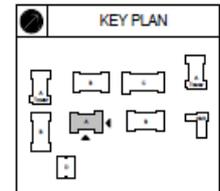




NORTH ELEVATION



EAST ELEVATION

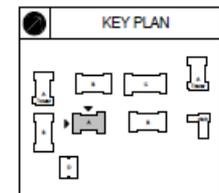




SOUTH ELEVATION



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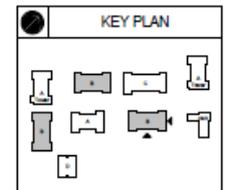




NORTH ELEVATION



EAST ELEVATION

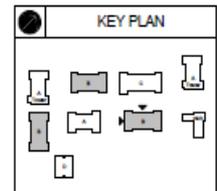




SOUTH ELEVATION



WEST ELEVATION

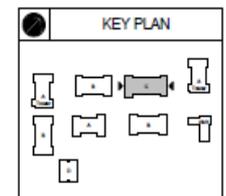




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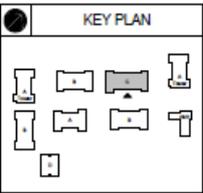


SOUTH ELEVATION





EAST ELEVATION



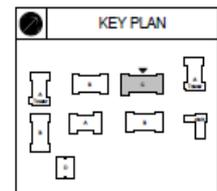
**BEES FERRY APARTMENTS** DATE 12.21.16  
 FLOYD RD.  
 WEST ASHLEY, SC

PROJECT # 214023

SET CONCEPTUAL

SHEET BLDG C ELEVATIONS  
 1/8" = 1'-0"

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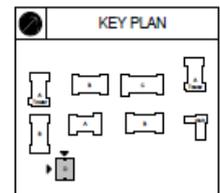


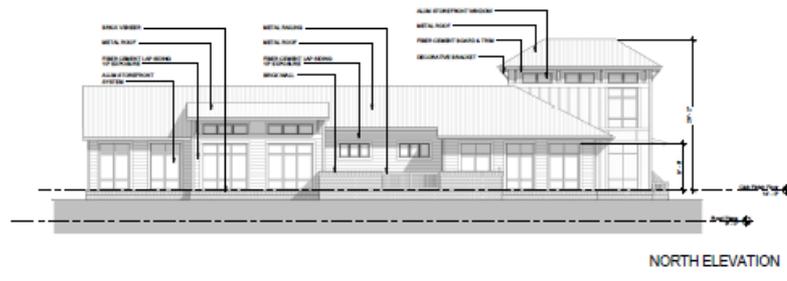


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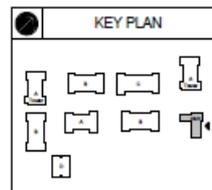


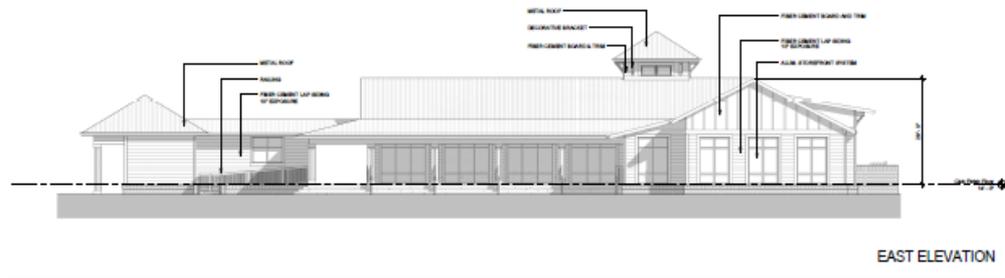
WEST ELEVATION



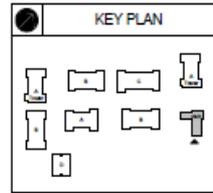


NORTH ELEVATION





EAST ELEVATION



**BEES FERRY APARTMENTS**  
 FLOYD RD.  
 WEST ASHLEY, SC

DATE  
 12.21.16

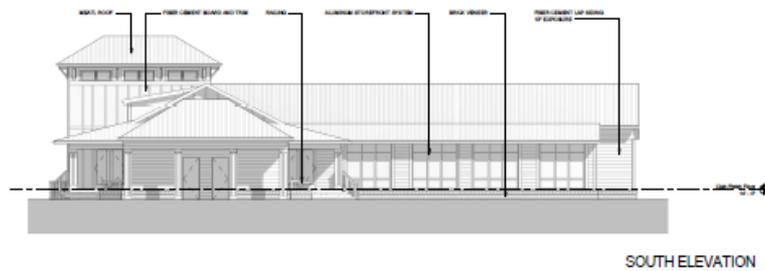
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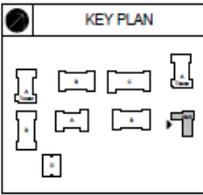
SHEET  
 CLUS ELEVATIONS  
 1/8" = 1'-0"

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**A20**



SOUTH ELEVATION



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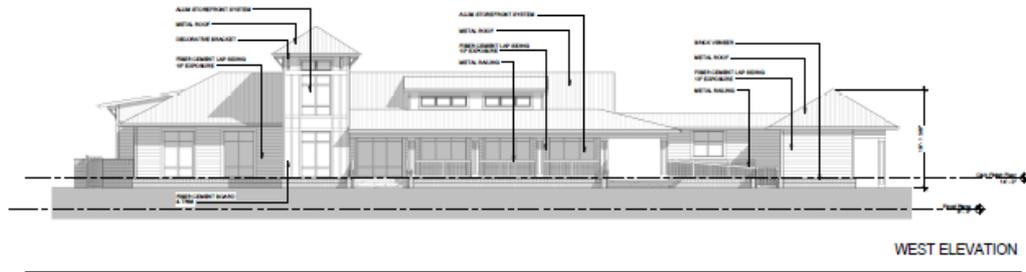
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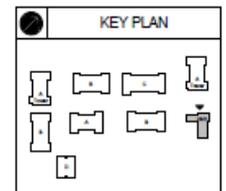
SHEET  
 CLUB ELEVATIONS  
 1/8" = 1'-0"

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**A21**



WEST ELEVATION





TYPICAL COLORED ELEVATION



CLUB VIEW 4



CLUB VIEW 3



CLUB VIEW 2



CLUB VIEW 1



STREETSCAPE 2



STREETSCAPE 1