



City of Charleston

BOARD OF ZONING APPEALS-ZONING

January 20, 2026

5:15 PM

DEPARTMENT OF PLANNING & PRESERVATION

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City of Charleston

BOARD OF ZONING APPEALS-ZONING

Your Board of Zoning Appeals-Zoning Members are:

Allison Grass

Bill Goodwin, Jr.

Chappy McKay

Robben Richards

Jeffrey Tibbals

Your City of Charleston Staff are:

Robert Summerfield, P&P Director

Chris Swalhah, Senior Planner

DEPARTMENT OF PLANNING & PRESERVATION

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Meeting Protocol

Order on Each Application:

- Chair announces each application
- Staff presents application and City's recommendation. Staff will control slide presentation
- If recommendation is favorable and no one objects to the application, the Board may approve it
- For all applications, the Board reserves the right to ask questions of the staff, applicant, or others in attendance prior to rendering a decision
- If there is an objection, applicant and anyone else in favor will be allowed to speak on the application. Each speaker must be sworn in before speaking. Each speaker should state their name and address for the record
- Next, opponents, after being sworn in, can speak followed by a short rebuttal from the applicant
- The Chair then closes the public hearing on the application and opens discussion for Board Members
- The Board may vote to approve, approve with conditions, deny or defer the application

Board of Zoning Appeals-Zoning

The Board of Zoning Appeals-Zoning has the authority to do three things:

1. Hear appeals to decisions of the Zoning Administrator;
2. Grant special exceptions, a fact-finding function of the Board; and
3. Grant variances to the Zoning Ordinance if the application meets the hardship test outlined in Section 54-924 of the ordinance.

The Board may deliberate and make a final decision on a matter by a majority vote of members present at the hearing and qualified to vote; provided that not less than a quorum is present and qualified to vote. However, an affirmative vote of two-thirds (2/3) of the Board members present and voting shall be required before a use variance may be granted.

Board of Zoning Appeals-Zoning

Requirements for Granting a Variance

A variance may be granted by the Board of Zoning Appeals in an individual case of unnecessary hardship if the Board makes the following findings:

- a. there are extraordinary and exceptional conditions pertaining to the particular piece of property;
- b. these conditions do not generally apply to other property in the vicinity;
- c. because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- d. the authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

Agenda Item #A-1

Approval of December 16, 2025 BZA-Z Meeting Minutes

<https://charleston-sc.gov/AgendaCenter/ViewFile/Agenda/12162025-10562>

Agenda Item #A-2

216 & 218 King St.

(Harleston Village)

TMS # 457-08-02-023

Request Special Exception under Sec. 54-220.b.1 to allow the establishment of an Accommodation Use on the parcel.

Zoned: GB





Workspaces v



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: December 14, 2025

Property Address 216 & 218 King Street Charleston, SC TMS # 457-08-02-023 and 457-08-02-024

Property Owner Highland Park II LLC, a Georgia limited liability company Daytime Phone 843-329-3186

Applicant William R. Stroud, Esq., on behalf of Owner Daytime Phone 843-579-7080

Applicant's Mailing Address 78 Wentworth Street Charleston, SC 29401 (Attn: William R. Stroud

E-mail Address williamstroud@mvalaw.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Legal Representative

Zoning of property General Business (GB); Accommodations Overlay

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☒ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant William Stroud Date 11/14/2025

For office use only

Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Accommodations Use - Section 54-220(b)(1). See attached memorandum.

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

MEMORANDUM

TO: Chairman Jeffrey S. Tibbals and Board Administrator,
City of Charleston Board of Zoning Appeals - Zoning

FROM: William R. Stroud, on Behalf of Highland Park II LLC

DATE: November 14, 2025

RE: *Application for Special Exception Use – Memorandum in Support of Accommodations Use for 216-218 King Street*

Moore & Van Allen PLLC
Attorneys at Law

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I. BACKGROUND INFORMATION

Highland Park II LLC (“**Owner**”) owns property located at 216 King Street, bearing TMS No.: 457-08-02-023, and 218 King Street, bearing TMS No.: 457-08-02-024, Charleston, SC (collectively, the “**Property**”). The Property is shown on that certain plat recorded on June 6, 2025 in the Register of Deeds Office for Charleston County in Plat Book L25 at Page 0222, a copy of which is attached hereto as Exhibit A. Owner submits this memorandum in support of its request to the City of Charleston Board of Zoning Appeals - Zoning (the “**Board**” or the “**BZA-Z**”) for the purpose of receiving a special exception under Section 54-220(b)(1) of the City of Charleston zoning ordinance (the “**Ordinance**”), so that the second and third floors of the existing buildings and the New Building (hereinafter defined) on the Property may be utilized as an “**Accommodations Use**” and offered to the general public for durational occupancy not to exceed twenty-nine (29) consecutive days. Plans for Owner’s proposed Accommodations Use are attached hereto as Exhibit B (the “**Proposed Plans**”).

As shown on the Proposed Plans, there are two existing buildings presently on the Property. Owner proposes to upfit and reconfigure portions of the interior layout of the existing buildings to better accommodate short-term occupancies by the general public while maintaining the commercial retail character of the ground floor. The ground floors of both existing buildings on the Property will continue to operate as retail spaces, with the existing tenants, 120% Lino (216 King Street) and LoveShackFancy (218 King Street), each retaining their current storefronts facing King Street. The only modifications to the ground floor of either building would occur within the 216 King Street building, where a lobby area serving the proposed Accommodations Use, along with related service and support spaces, would be constructed to the rear of the existing retail suite. This modification will not reduce, alter, or otherwise affect the retail footprint, which will remain in place along the full King Street frontage.

The Proposed Plans include constructing of a new building (the “**New Building**”) to the rear of the existing 216 King Street building. The New Building would include (i) retail space on the ground floor; (ii) a storage and back-of-house area, mechanical room, and approximately 605 square feet of meeting and conference space on the second floor; and (iii) three (3) sleeping units on the third floor. The New Building would be reviewed and entitled through the standard zoning and permitting processes (to occur separate from this special exception request).

Upon completion of the work outlined in the Proposed Plans, the Property would contain a total of thirteen (13) sleeping units, consisting of four (4) sleeping units on the second floor of the 218 King Street building, four (4) sleeping units on the second floor of the 216 King Street building, two (2) sleeping units on the third floor of the 216 King Street building, and three (3) sleeping units on the third floor of the New Building.

II. SECTION 54-220(B)(1) STANDARDS

1. Section 54-220(b)(1)(a): No Net Loss of Dwelling Units

STANDARD: *the accommodations use will not result in a net loss of dwelling units that have been occupied within five years of the date of application for the exception; provided however, the BZA-Z may approve the alteration or replacement of such existing dwelling units on the same site as the accommodations use, or within a radius of one quarter (¼) mile from the site if the proposed off site location does not result in an over concentration of low income households, as defined by the U.S. Department of Housing and Urban Development, as adjusted by the Department of Housing and Community Development; and provided further, the BZA-Z shall require any such alteration or replacement to include dwelling units of substantially the same size and type of those being altered or replaced and shall require that no certificate of occupancy shall be issued for the accommodations uses until either a certificate of occupancy has been issued for all dwelling units being altered or replaced or irrevocable bonds or letters of credit in favor of the City in amounts equivalent to one hundred twenty-five (125%) percent of the costs to complete construction or renovation of the dwelling units, as determined by the Chief Building Inspector, has been filed with the City.*

RESPONSE: The third floor of the 216 King Street building presently contains one (1) dwelling unit, which was last used for long-term residential tenancy in 2023 and has remained unoccupied since that time. No other dwelling units are located on the Property. Accordingly, the proposed Accommodations Use will not result in a net loss of dwelling units that have been occupied within five (5) years of this application. The Proposed Plans also include the addition of one (1) new dwelling unit on the third floor of the 218 King Street building, which would be leased to long-term residential tenant(s).

2. Section 54-220(b)(1)(b): Minimize Displacement of Office Space.

STANDARD: *the accommodations use, if located in the Accommodations Overlay on the peninsula, will not reduce or displace more than 25% of office space that has been used for such purpose within five years of the application for the exception;*

RESPONSE: The proposed Accommodation Use on the Property does not reduce or displace any office space, as no portion of the Property has been continuously used for office purposes within the last five (5) years.

3. Section 54-220(b)(1)(c): Minimize Displacement of Existing Retail Space.

STANDARD: *the accommodations use, if located in the Accommodations Overlay on the peninsula, will not reduce or displace more than 25% of the linear frontage of existing ground floor storefront retail space on the property.*

RESPONSE: The proposed Accommodations Use would not reduce or displace any portion of the existing ground floor storefront retail linear frontage along King Street. As shown on the Proposed Plans, Owner would not alter or modify the linear frontage of the existing retail spaces on the ground floors of either existing building on the Property, which is approximately forty-six feet (46’) on King Street. The ground floor layout of each building would continue to support active retail use consistent with the current tenants and existing streetscape character. As shown on the Proposed Plans, the future lobby, public restroom, and office area within the 216 King Street building would be located entirely to the rear of the existing retail suite and would not diminish, relocate, or otherwise impact the ground floor retail footprint or its linear frontage along King Street. The Proposed Plans would, in fact, expand retail opportunities on the Property, as the New Building, which would be constructed to the rear of 216 King Street, would include additional retail space on its ground floor, further enhancing the Property’s overall mixed-use character.

4. **Section 54-220(b)(1)(d): Traffic Impacts on Residential Streets.**

STANDARD: *the location of the accommodations use will not significantly increase automobile traffic on streets within residential districts*

RESPONSE: The proposed Accommodations Use would not result in any material increase in automobile traffic within residential districts. The Property's location along King Street, within the City's established commercial corridor, ensures that vehicular activity associated with the proposed Accommodations Use would be absorbed into existing traffic patterns. With only thirteen (13) sleeping units, the expected volume of guest arrivals and departures would be limited and is not anticipated to generate measurable traffic impacts. Guests would be expected to rely primarily on rideshare services and pedestrian access, consistent with existing visitor behavior in this portion of the City. Owner believes this represents a compatible and appropriately scaled addition to the surrounding urban context and would not alter or intensify traffic circulation in the area.

5. **Section 54-220(b)(1)(e): Contribute to Diverse Mixed-Use District.**

STANDARD: *the location of the accommodations use will contribute to the maintenance, or creation, of a diverse mixed-use district*

RESPONSE: The proposed Accommodations Use includes the two (2) existing buildings on the Property that front King Street, both of which maintain active retail façades that contribute to the area's established mixed-use character. These buildings have long featured ground-floor retail, with the second and third floors accommodating a range of uses over time, including storage, residential units, spa services, a hair salon, and retail space. The proposed Accommodations Use preserves and enhances this mixed-use tradition by maintaining active retail at the street level and introducing thirteen (13) sleeping units on the upper floors. This approach supports both local commerce and visitor activity while remaining fully consistent with the surrounding urban context. The Property's direct frontage on King Street will further encourage pedestrian movement and patronage of neighboring businesses, contributing to the economic activity within a diverse mixed-use district. In addition, the New Building would provide new ground-floor retail space, strengthening the Property's contribution to the district's mixed-use character.

6. **Section 54-220(b)(1)(f): Limitation on Restaurant and Bar Space.**

STANDARD: *the total square footage of interior and exterior floor area for restaurant and bar space in the proposed accommodations use, including restaurant/bar patron use areas, bar areas, kitchen, storage, and bathroom facilities, shall not exceed 12 percent of the total interior, conditioned floor area in the accommodations use, except that each accommodations use shall be permitted to exempt from the calculation of total restaurant floor area one interior, ground floor restaurant tenant space if the total tenant space does not exceed 2,000 square feet, the restaurant tenant does not serve alcoholic beverages, and the exempt restaurant tenant space is clearly labeled with these restrictions on the floor plans submitted with the application for this zoning special exception*

RESPONSE: Section 54-220(b)(1)(f) is not applicable because Owner does not propose or intend to include any restaurant or bar component within the Accommodations Use.

7. **Section 54-220(b)(1)(g): Location of Guest Drop-off and Pick-up.**

STANDARD: *the accommodations use proposed guest drop off and pick up area(s) is located outside the public right-of-way and on the property utilized for the accommodations use if the accommodations use contains more than 50 sleeping units, and if 50 sleeping units or less, the proposed guest drop off and pick up area(s) are located outside the public right-of-way if feasible, and the location and design of the guest drop-off and pick-up area(s) has been reviewed by the Department of Traffic and Transportation and determined to be safe and not be an impediment to traffic and that every effort has been made to minimize traffic impacts;*

RESPONSE: The proposed Accommodations Use would consist of thirteen (13) sleeping units, which is below the fifty (50) unit threshold that would strictly require guest drop-off and pick-up areas to be located outside the public right-of-way.

Because the existing buildings on the Property occupy the full lot frontage along King Street and the Property would not have vehicular access from the sides, it is not feasible to provide an on-site guest drop-off or pick-up area outside of the public right-of-way. Additionally, once fully constructed, the approved Four Seasons development (located at 155 Meeting Street) will eliminate any feasible vehicular access from the rear of the Property.

As depicted on [Exhibit C](#), guest drop-off and pick-up would occur at existing City-designated loading zones located along King Street, with the nearest loading zone located at 201 King Street. These loading zones are already used for short-term loading and unloading by nearby commercial uses and are situated to accommodate temporary stopping without unreasonably disrupting through traffic. Owner has engaged with James Wallace of the Department of Traffic and Transportation ("T&T") and will continue coordinating with T&T to obtain confirmation that the proposed use of these loading zones is safe, does not constitute an impediment to traffic, and demonstrates that every reasonable effort has been made to minimize traffic impacts associated with the proposed Accommodations Use.

In addition, consistent with Section 54-512 of the Ordinance (*see Exhibit E*), which authorizes the Board to grant relief from strict off-street loading requirements where the character of a lot and surrounding development render compliance impracticable, Owner remains open to exploring feasible off-street loading alternatives should the Board determine that such accommodations are appropriate or necessary. Given the Property's urban configuration and its location within one of the City's most intensely developed commercial corridors, the creation of off-street loading space would present significant physical constraints; however, Owner is committed to working collaboratively with the Board and T&T to evaluate any reasonable solutions that may further enhance safety and operational efficiency.

8. **Section 54-220(b)(1)(h): Minimum Number of Sleeping Units.**

STANDARD: *the total number of sleeping units within the buildings or structures on the lot or parcel in which the accommodations use is located is equal to or exceeds ten (10) sleeping units.*

RESPONSE: The Proposed Plans contemplate a total of thirteen (13) sleeping units, exceeding the minimum requirement of ten (10) sleeping units.

9. **Section 54-220(b)(1)(i): Maximum Number of Sleeping Units.**

STANDARD: *within areas of the accommodations overlay zone designated as "A-1", "A-2", "A-3", "A-4", "A-5", "A-6", or "A-7" on the zoning map, the number of sleeping units within the buildings or structures on the lot or parcel in which the accommodations use is located shall not exceed 50 in areas designated "A-1"; 180 in areas designated "A-2"; 225 in areas designated "A-3"; 100 in areas designated "A-4"; 150 in areas designated "A-5"; 69 in areas designated "A-6"; and 175 in areas designated "A-7"; provided, however, that within the portion of the area designated "A-1" bounded by King Street on the west, Meeting Street on the east, Mary Street on the south and Line Street on the north (the "Full-Service Corridor"), the number of sleeping units within the buildings or structures on the lot or parcel in which the accommodations use is located may exceed 50, but shall not exceed 250, if the accommodations use qualifies as a Full-Service Hotel, meaning that the accommodations use provides 20,000 or more square feet of meeting, conference and banquet space of which 15,000 square feet thereof is contiguous, an on-site restaurant that serves breakfast, lunch and dinner seven days a week and other services such as a concierge, a spa/health club, laundry, turndown service, newspaper delivery, security personnel and airport shuttle; and in no event shall any accommodations use on the peninsula exceed 250 sleeping units;*

RESPONSE: Owner's proposal meets the standard in Section 54-220(b)(1)(i) because the number of sleeping units proposed for the Property is thirteen (13), well below the thresholds which would trigger implication of this Section. Further, the Property is not intended to be, nor does it qualify as, a "Full-Service Hotel" as defined in this Section and Owner is not seeking such classification from the Board.

10. **Section 54-220(b)(1)(j): Restriction on Shared Facilities.**

STANDARD: *the proposed accommodations use will not share any of its buildings, structures, facilities, or operations with another accommodations use;*

RESPONSE: The proposed Accommodations Use will not share any of its buildings, structures, facilities, or operations with another accommodations use. The proposed Accommodations Use would operate and exist independently of any other existing accommodations use.

11. **Section 54-220(b)(1)(k): Meeting and Conference Space.**

STANDARD: *(1) The proposed accommodations use, if located in the accommodations overlay on the peninsula, incorporates meeting and conference space at a ratio of 400 square feet per 10 sleeping units, or fraction thereof, with respect to the first 150 sleeping units, and incorporates meeting and conference space at a ratio of 1000 square feet for every 10 sleeping units, or fraction thereof, exceeding 150 sleeping units. In either case, at least 75% of the meeting and conference space shall be contiguous; (2) Notwithstanding subsection k(1) hereof, if the accommodations use contains more than 50 sleeping units and is located in the Full-Service Corridor, the provisions of subsection (i) hereof shall govern the square footage of required meeting and conference space.*

RESPONSE:

As to (b)(1)(k)(1): The Proposed Plans (Exhibit B) include a total of six hundred five (605) square feet of meeting and conference space, exceeding the required ratio of four hundred (400) square feet per ten (10) sleeping units. All of the meeting and conference space is to be contiguous and located on the third floor of the New Building, meeting the requirements of Section (b)(1)(k)(1).

As to (b)(1)(k)(2): This Subsection is not applicable to Owner's proposed Accommodations Use, as the proposal only includes thirteen (13) sleeping units.

12. **Section 54-220(b)(1)(l): Restriction on Number of Full-Service Hotels on the Peninsula.**

STANDARD: *the proposed accommodations use will not result in there being more than eight (8) Full-Service Hotels on the peninsula, inclusive of those Full-Service Hotels existing on the peninsula and those with approved special exceptions as of the effective date of the ordinance from which this section derives; for purposes of this subsection (l) only, a Full-Service Hotel means a Full-Service Hotel as defined in subsection (i) having in excess of 150 sleeping units*

RESPONSE: The proposed Accommodations Use would not constitute a "Full-Service Hotel" as defined in Section 54-220(b)(1)(i); as a result, Section 54-220(b)(1)(l) is not applicable.

13. **Section 54-220(b)(1)(m): Commitment for Affordable/Workforce Housing Contribution.**

STANDARD: *to assist in providing affordable housing opportunities for its employees, the applicant for the accommodations use commits to contribute to the City of Charleston Affordable/Workforce Housing Account a fee payable upon the issuance of a Certificate of Occupancy, calculated as follows: \$5.10 per square foot of area used for sleeping units and the hallways adjacent to sleeping units, stairwells and elevators*

RESPONSE: Owner fully commits to contribute to the City of Charleston Affordable/Workplace Housing Account a fee payable upon the issuance of a Certificate of Occupancy, based upon total square footage of sleeping units, hallways, stairwells and elevators, as shown on the Proposed Plans (Exhibit B).

III. **SECTION 54-220(C) APPLICATION REQUIREMENTS.**

1. **Section 54-220(c)(1): Impact to Dwelling Units on the Property.**

REQUIREMENT: *The number of existing dwelling units on the property, including units on the property that were occupied as dwelling units within five years of the date of the application for the exception, the type of unit (rental or owner-occupied; one-family detached; one-family attached; two-family or multi-family; occupied or unoccupied), by income range of the most recent occupant(s), the rental price for rental units and market price for owner occupied units relative to the area median income figures that are determined annually by the U.S. Department of Housing and Urban Development and adjusted by the City of Charleston Department of Housing and Community Development, or its successor, the physical condition of the units (sound, deficient, deteriorated or dilapidated), the square footage and number of bedrooms in each unit, and if the units are proposed to be physically altered or replaced, a description and plan showing the square footage and number of bedrooms in the altered or replaced units, and their location;*

RESPONSE: The Property currently contains one (1) dwelling unit, located on the third floor of the existing 216 King Street building. The dwelling unit is a one-family dwelling in sound physical condition, consisting of approximately eight hundred forty (840) square feet and one (1) bedroom. The dwelling unit was last occupied by a residential tenant in 2023 and has been vacant since that time. No other dwelling units presently exist on the Property, nor have any been occupied within the five-year lookback period preceding this application.

The proposed Accommodations Use would not alter or eliminate any existing dwelling units. To the contrary, the Proposed Plans include the creation of one (1) new long-term residential dwelling unit on the third floor of the existing 218 King Street building. This unit would be a one-family rental unit, comparable in size and layout to the existing dwelling unit at 216 King Street, and would be leased to long-term residential tenant(s) at prevailing market rates consistent with area median income levels determined by the U.S. Department of Housing and Urban Development and adjusted by the City of Charleston Department of Housing and Community Development.

2. **Section 54-220(c)(2): Impact to Housing Stock.**

REQUIREMENT: *The effect of the physical alteration or replacement or relocation of dwelling units on the housing stock of a particular type on the property and whether a condition should be attached to a special exception approval for the accommodations use requiring a minimum percentage of the dwelling units on the property or replaced off-site to remain affordable based on the annually updated median area income values;*

RESPONSE: No existing dwelling unit on the Property is being significantly altered, replaced, or relocated. Thus, Section 54-220(c)(2) is not applicable to the proposed Accommodations Use.

3. **Section 54-220(c)(3): Presence of Office Space.**

REQUIREMENT: *The presence of office space on the property, or the presence of spaces on the property that were occupied as office spaces within five years of the date of application for the exception;*

RESPONSE: Based on available records, no portion of the Property has been used for office purposes for any continuous period of time during the past five (5) years.

4. **Section 54-220(c)(4): Linear Frontage.**

REQUIREMENT: *The linear frontage of existing ground floor storefront retail space on the property;*

RESPONSE: The Property contains a total of approximately forty-six feet (46') of linear frontage of existing ground floor storefront retail along King Street.

5. **Section 54-220(c)(5): Guest Drop Off and Pick Up.**

REQUIREMENT: The location and design of guest drop off and pick up areas for the accommodations use;

RESPONSE: See Exhibit C.

6. **Section 54-220(c)(6): Traffic Impact.**

REQUIREMENT: The cumulative number of vehicle trips generated by the proposed accommodations use and other accommodations uses that are either existing or approved within an area identified by the Department of Traffic and Transportation, the traffic circulation pattern serving the accommodations use and efforts made to minimize traffic impacts;

RESPONSE: Owner believes that the proposed Accommodations Use will not create undue traffic burdens based on the Trip Generation Analysis below, which was performed by Design Resource Group utilizing the Trip Generation Manual (Institute of Transportation Engineers, Eleventh Edition, 2021).

Land Use (ITE Code)	Daily	AM Peak Hour			PM Peak Hour			
		Enter	Exit	Total	Enter	Exit	Total	
Existing Development								
Apparel Store [876]	1,078 SF	67	1	0	1	2	4	
Apparel Store [876]	1,928 SF	128	2	0	2	4	8	
Low-Rise Residential w/ Ground Floor Commercial [230]	1 DU/s	3	0	0	0	0	0	
Total Existing Development Trips		198	3	0	3	6	12	
Proposed Development								
All Suites Hotel [311]*	13 DUs	57	2	2	4	2	3	5

**All Suites Hotels typically include small amounts of meeting space.

7. **Section 54-220(c)(7): Distance to Arterial or Collector Road.**

REQUIREMENT: The distance of the main entrance and parking entrance of the accommodations use from a road classified as an arterial or collector road;

RESPONSE: The main entrance of the proposed Accommodations Use is located directly on King Street, there is no parking entrance. Additionally, the approved Four Seasons development will eliminate any feasible vehicular access from the rear of the Property.

8. **Section 54-220(c)(8): Neighboring Land Uses.**

REQUIREMENT: The land uses within five hundred feet (500') of the accommodations use, to include the location, square footage, and number of rooms in existing accommodations uses and accommodations uses that have been approved;

RESPONSE: Because the land uses within five hundred feet (500') of the Property consist of ground-floor retail and commercial establishments consistent with the mixed-use character of the King Street corridor. Upper floors throughout this area are utilized for residential and office purposes. The graphical depiction on the following page illustrates the retail and office uses located within approximately five hundred feet (500') of the Property This determination was made utilizing maps and applications developed by the City of Charleston's King Street Profile GIS platform (available at <https://charleston-sc.gov/3077/King-Street-Profile>).



Existing accommodations uses within approximately five hundred feet (500') of the Property include Kings Courtyard Inn (198 King Street; 41 guest rooms), Fulton Lane Inn (202 King Street; 45 guest rooms), The Charleston Place (205 Meeting Street; 434 guest rooms), Planters Inn (112 North Market Street; 64 guest rooms), and Meeting Street Inn (173–174 Meeting Street; 56 guest rooms). In addition, 155 Meeting Street (TMS Nos.: 457-08-02-011, -012, -111, and -112) was approved by the Board of Architectural Review – Large (Application No. BAR2023-001112) on May 8, 2024, for the Four Seasons Hotel and Private Residences Charleston development. This development will include 139 guest rooms, 36 private residences (ranging from approximately 2,000 to 3,700 square feet each), and approximately 7,000 square feet of event space. The development is expected to open in 2028.

9. **Section 54-220(c)(9): Proximity of Residential Districts.**

REQUIREMENT: The proximity of residential districts to the accommodations use;

RESPONSE: The Property is at least five hundred feet (500') away from the nearest residential district (zoning district classification DR-1F). The immediate surrounding area is currently zoned General Business (GB). Most of these surrounding properties consist of retail stores, restaurants, office space and other mixed-use buildings along King Street or within close proximity to King Street. On the following page is a graphical depiction showing the surrounding zoning districts relative to the Property.



10. **Section 54-220(c)(10): Accessory Uses.**

REQUIREMENT: *The accessory uses proposed for the accommodations use, such as restaurants, spas, bars, pools and the like, in terms of their location, size, impact on parking, traffic generation, noise or odors in or to a residential district;*

RESPONSE: There are no accessory uses, such as bars, restaurants, spas, or pools planned for the proposed Accommodations Use.

11. **Section 54-220(c)(11): Off-Street Parking.**

REQUIREMENT: *The demonstrated provision of off-street parking at the rate of two spaces that meet the design requirements of section 54-318 for each three sleeping units, provided however, the utilization of mechanical or other means of parking that meet the ratio of two spaces for each three sleeping units shall be allowed;*

RESPONSE: The Property is located within the Special Parking District (“SPD”) Overlay Zone, as established under Sections 54-202(n) and 54-511(c) of the Ordinance (see SPD Overlay Zone Map, attached hereto as **Exhibit D** and Article 5, Part 4 of the Ordinance, attached hereto as **Exhibit E**). Pursuant to Section 54-511(c)(2), buildings located within the SPD Overlay Zone that existed as of November 30, 2020 are exempt from the minimum off-street parking requirements otherwise applicable under Section 54-220.

The existing buildings at 216 and 218 King Street both qualify for this exemption, as they were constructed and occupied well before November 30, 2020. Accordingly, no off-street parking is required for the proposed Accommodations Use within the existing buildings.

The New Building proposed to the rear of 216 King Street constitutes an expansion of the Property after December 1, 2020, and therefore is not automatically exempt from the minimum off-street parking requirements under Section 54-220(c)(11).

However, strict application of the parking ratio set forth in Section 54-220(c)(11) would be infeasible due to the Property’s configuration, which occupies the full lot frontage along King Street with no rear or side vehicular access.

The Board is authorized under Section 54-511(a) to approve an exception to the off-street parking requirements upon determining that enforcement of such requirements would prevent reasonable use of the lot.

In this case, the existing urban conditions of the Property, the lack of vehicular access, and the surrounding pedestrian-oriented context of Lower King Street collectively make provision of off-street parking impracticable. Additionally, the approved Four Seasons development will eliminate any feasible vehicular access from the rear of the Property. The Owner has evaluated alternative options, including off-site parking within nearby public and private garages, and will continue to pursue coordination with T&T to mitigate any potential parking impacts.

12. **Section 54-220(c)(12): Presence of Industrial or Other Uses Which Produce Excessive Hazardous Materials.**

REQUIREMENT: *The presence of industrial uses and uses which use, store, or produce toxic or hazardous materials in quantities in excess of those specified by the EPA listing of toxic and hazardous materials, within five hundred feet (500’) of the accommodations use;*

RESPONSE: There are no known industrial uses or facilities within five hundred feet (500’) of the proposed Accommodations Use that store, use, or produce toxic or hazardous materials in excess of the limits specified by the EPA. The surrounding area is made up of commercial and mixed-use buildings, including retail, restaurant, and office uses, none of which involve activities that would create environmental or safety concerns related to hazardous materials.

13. **Section 54-220(c)(13): Commitment to Environmental Sustainability.**

REQUIREMENT: *The commitment to environmental sustainability and recycling;*

RESPONSE: The proposed Accommodations Use would include separate containers for general waste and recyclables in order to encourage guests to properly dispose of materials.

14. **Section 54-220(c)(14): Distance from Major Tourist Attractions.**

REQUIREMENT: *The distance of the accommodations use from major tourist attractions;*

RESPONSE: The proposed Accommodations Use is located at 216–218 King Street, in the center of Charleston’s historic commercial corridor. Guests will have immediate access to King Street’s shopping, dining, and cultural destinations.

The Property is approximately 0.2 miles (about a 5-minute walk) from the Charleston City Market on Market Street, approximately 0.3 miles (a 6- to 7-minute walk) from Marion Square, and roughly 0.5 miles (about a 10-minute walk) from Waterfront Park. The Property’s central location provides convenient pedestrian access to many of the City’s primary tourist attractions without creating reliance on vehicular travel.

15. **Section 54-220(c)(15): Distance from Planned Transit Facilities.**

REQUIREMENT: *The distance of the accommodations use from existing or planned transit facilities;*

RESPONSE: The Property is conveniently located within walking distance of multiple Charleston Area Regional Transportation Authority (“**CARTA**”) transit stops. The nearest is the Meeting/King DASH stop located at 231 King Street (Stop Code 551), located approximately two hundred (200) feet from the Property, or about a one-minute walk. A second CARTA stop is located at 149 King Street (Stop Code 548), approximately 0.2 miles from the Property, or a four-minute walk. Both stops are part of the City’s Downtown Area Shuttle (DASH) circulator system and provide direct connections to major visitor destinations, commercial areas, and regional transit lines. This proximity ensures that guests will have ready access to reliable public transportation, further reducing reliance on private vehicles and supporting the City’s mobility and sustainability goals.

16. **Section 54-220(c)(16): Employee Parking.**

REQUIREMENT: *The long term provision of on- or off-site parking for employees who drive vehicles to work, including an estimate of the number of employees that will drive to work during the maximum shift and the location of parking spaces to be provided, and the demonstrated provision of free transit passes or other incentives to encourage employee use of public transportation;*

RESPONSE: The proposed Accommodations Use would employ two (2) staff members during the maximum shift, consisting of one (1) front desk attendant and one (1) cleaning staff member. Off-street parking for employees who drive to work will be provided through arrangements with nearby parking garages or private lots located within walking distance of the Property. Given the Property's central location along King Street and its immediate proximity to multiple CARTA transit stops, employees will also have convenient access to public transportation. Owner will encourage employee use of public transit and shared transportation consistent with the City's mobility and sustainability objectives, while maintaining reliable off-street parking options through secured off-site agreements (as may be required).

17. **Section 54-220(c)(17): Proposed Sleeping Units.**

REQUIREMENT: *The number of sleeping units proposed as part of the accommodations use;*

RESPONSE: The proposed Accommodations Use includes thirteen (13) sleeping units.

18. **Section 54-220(c)(18): Provision of Shuttle Services.**

REQUIREMENT: *The provision of shuttle bus services to and from the Historic Districts by accommodations uses with more than 50 sleeping units located outside the area designated "A-1" through "A-6" on the zoning map;*

RESPONSE: The proposed Accommodations Use would include thirteen (13) sleeping units. Because the Property contains fewer than fifty (50) sleeping units, the shuttle service requirement of Section 54-220(c)(18) does not apply.

19. **Section 54-220(c)(19): Commitment to Opportunities for MBEs and WBEs.**

REQUIREMENT: *The commitment to make affirmative, good faith efforts to see that construction and procurement opportunities are available to MBEs (minority business enterprises) and WBEs (women business enterprises) as outlined in section 2-268 (e)(1), (2), and (3) of the Code of the City of Charleston;*

RESPONSE: Owner will take proactive, good-faith steps to include MBEs and WBEs in construction and procurement related to the proposed Accommodations Use, in accordance with the objectives set forth in Section 2-268(e)(1)–(3) of the Code of the City of Charleston.

20. **Section 54-220(c)(20): Commitment to Hire Personnel Representative of the Population of Charleston Community.**

REQUIREMENT: *The commitment to make affirmative, good faith efforts to hire personnel, representative of the population of the Charleston community, at all employment levels.*

RESPONSE: Owner will make good-faith efforts to recruit and hire personnel whose composition reflects the population of the Charleston community across all levels of employment associated with the proposed Accommodations Use.

IV. CONCLUSION

The proposed Accommodations Use at 216–218 King Street satisfies the requirements of Sections 54-220(b) and (c) of the Ordinance. The proposal preserves existing retail activity along King Street, introduces a modest number of upper-floor sleeping units, and maintains the Property's mixed-use character consistent with the surrounding urban context. Owner respectfully requests approval of the Special Exception as the proposed use meets all applicable standards and promotes the continued vitality of Charleston's historic commercial district.

Exhibit A
Recorded Plat

[DOCUMENT FOLLOWS]

NOTES

- 1) TMS # 457-08-02 PARCELS 023, 024, & 114.
- 2) THE PROPERTY IS OWNED BY HIGHLAND PARK, S.L.C.
- 3) THE TOTAL AREA OF THE NEW PARCEL = 0.177 ACRES.
- 4) ACCORDING TO FIRM FLOOD INSURANCE RATE MAP ISSUED DECEMBER 4 DATED JANUARY 28, 2021 THIS PROPERTY LIES IN ZONE SHAD-1 X.
- 5) THE HORIZONTAL DATUM IS REFERENCED TO NORTH AMERICAN DATUM 1983 (NAD 83).
- 6) THIS SURVEY RELIES ON OLD PLATS AND DEEDS, PROPERTY RECORD CARDS AT THE CHARLESTON COUNTY RSD OFFICE, EVIDENCE FOUND ON THE GROUND, AND LINES OF OCCUPATION OF LONG DURATION, ANY DISCREPANCIES OR UNDISCOVERED BY RECORDS NOT SHOWN ON THE REFERENCES MAY NOT BE SHOWN ON THIS SURVEY.
- 7) NO IMPROVEMENTS OTHER THAN BUILDINGS ARE SHOWN ON THIS SURVEY.

REFERENCES

- 1) THE FOLLOWING PLATS RECORDED IN THE CHARLESTON COUNTY RSD OFFICE:
 - a. JOSEPH NEEDLE AUGUST 11, 1943 P-101
 - a. JOSEPH NEEDLE NOVEMBER 3, 1943 P-121
 - a. JOSEPH NEEDLE OCTOBER 4, 1945 P-125
 - a. HAROLD J. CLAMOND JULY 5, 1947 W-80
 - a. JOSEPH NEEDLE MAY 13, 1948 Y-24
 - a. JOSEPH NEEDLE SEPTEMBER 11, 1948 Y-55
 - a. JOSEPH NEEDLE SEPTEMBER 13, 1948 Y-57
 - a. R.L. BALLARD OCTOBER 24, 1947 A-112
 - a. W.L. COLLARD OCTOBER 27, 1947 P-103
 - a. THOMAS V. WENDERT, JR. NOVEMBER 10, 1947 B-130
 - a. J. STEVEN JOHNSON JULY 11, 1949 B-181
 - a. THOMAS V. WENDERT, JR. JULY 23, 1949 C-13
 - a. THOMAS V. WENDERT, JR. APRIL 1, 1951 C-138
 - a. MARK E. BUTTS APRIL 22, 2001 C-107
 - a. LAWRENCE L. ROBERTS, JR. MARCH 27, 2019 S19-0107
 - a. JEFFREY S. COOPER MARCH 4, 2024 L24-0124

LEGEND

- BC - BUILDING CORNER
WVF - WALL NAIL FOUND
CPT - COMPLETED POINT (PULLS ON WALL)
WVS - WALL NAIL SET
RS - 5/8" REBAR SET

LINE LEGEND

- PROPERTY LINE
--- ADJACENT PROPERTY LINE
- - - RIGHT OF WAY LINE
- - - ABANDONED PROPERTY LINE



VICINITY MAP
NOT TO SCALE



PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
11	N84°15'00"E	2.88'

PLANNING USE ONLY

ENGINEERING DIVISION
CITY OF CHARLESTON

DATE: 5/14/24

APPROVED BY: [Signature]

APPROVED BY: [Signature]

FOR CITY ENGINEER

RECORDED

DATE: 5/14/24 TIME: 12:10:00 PM

Book/Page: L24 0224

Office/Plat: Large Plat

Source: [Signature]

Project: [Signature]

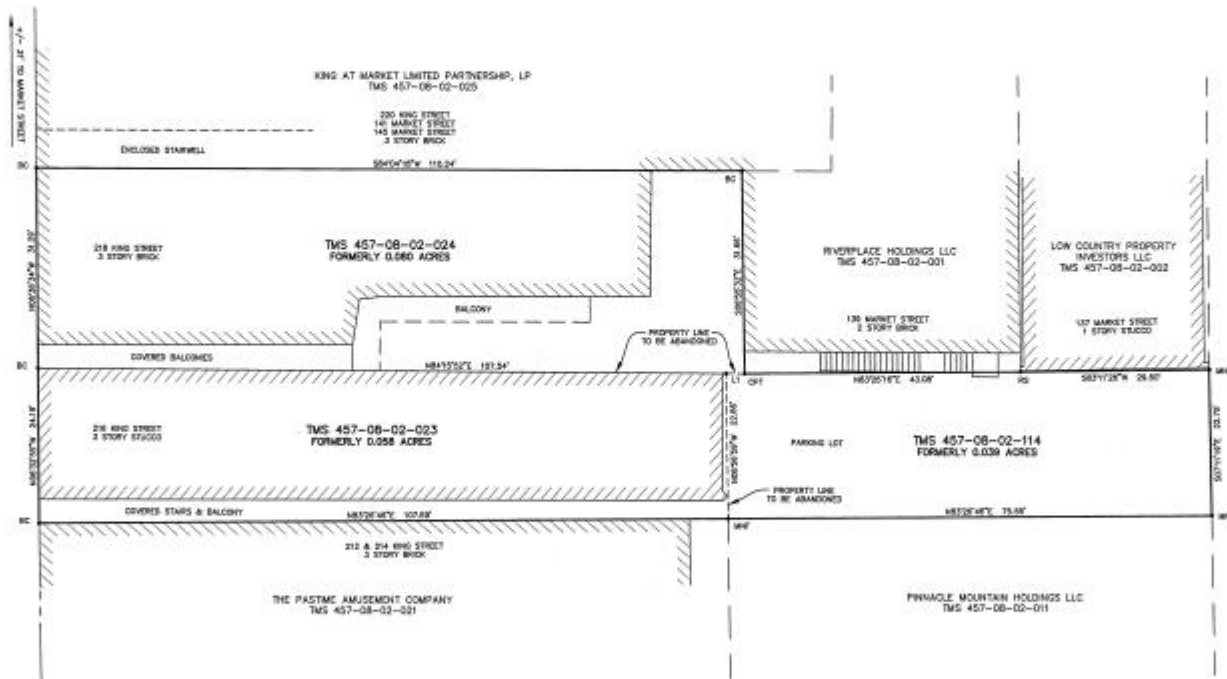
Form: [Signature]

Other: [Signature]

Mark: [Signature]

LOCATION: KING ST

KING STREET (S-10-104) R/W VARIES



CITY OF CHARLESTON
TMS 457-08-02-003

GRAPHIC SCALE



PROPERTY LINE ABANDONMENT PLAT
TMS #457-08-02 PARCELS 023, 024, & 114
CREATING A NEW 0.177 ACRE PARCEL
CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA



JEFFREY S. COOPER

DATE: MAY 2, 2025

DRAWN/CHECKED: JSC/LSM

LAST REVISION: MAY 12, 2025

APPROVED: JSC

SCALE: 1" = 10'

PROJECT NO.: 0000-3

SHEET NUMBER: 1

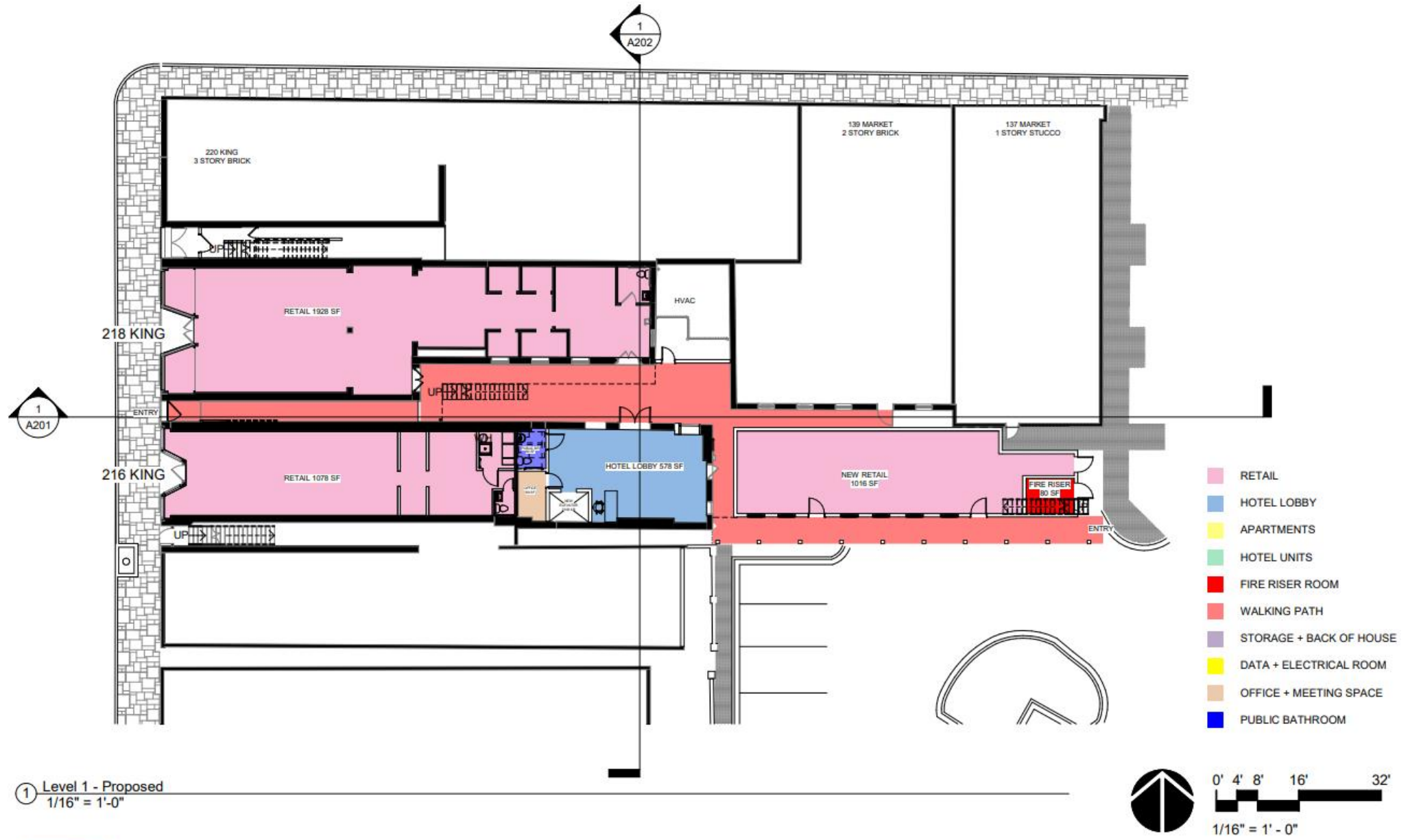
OF 1

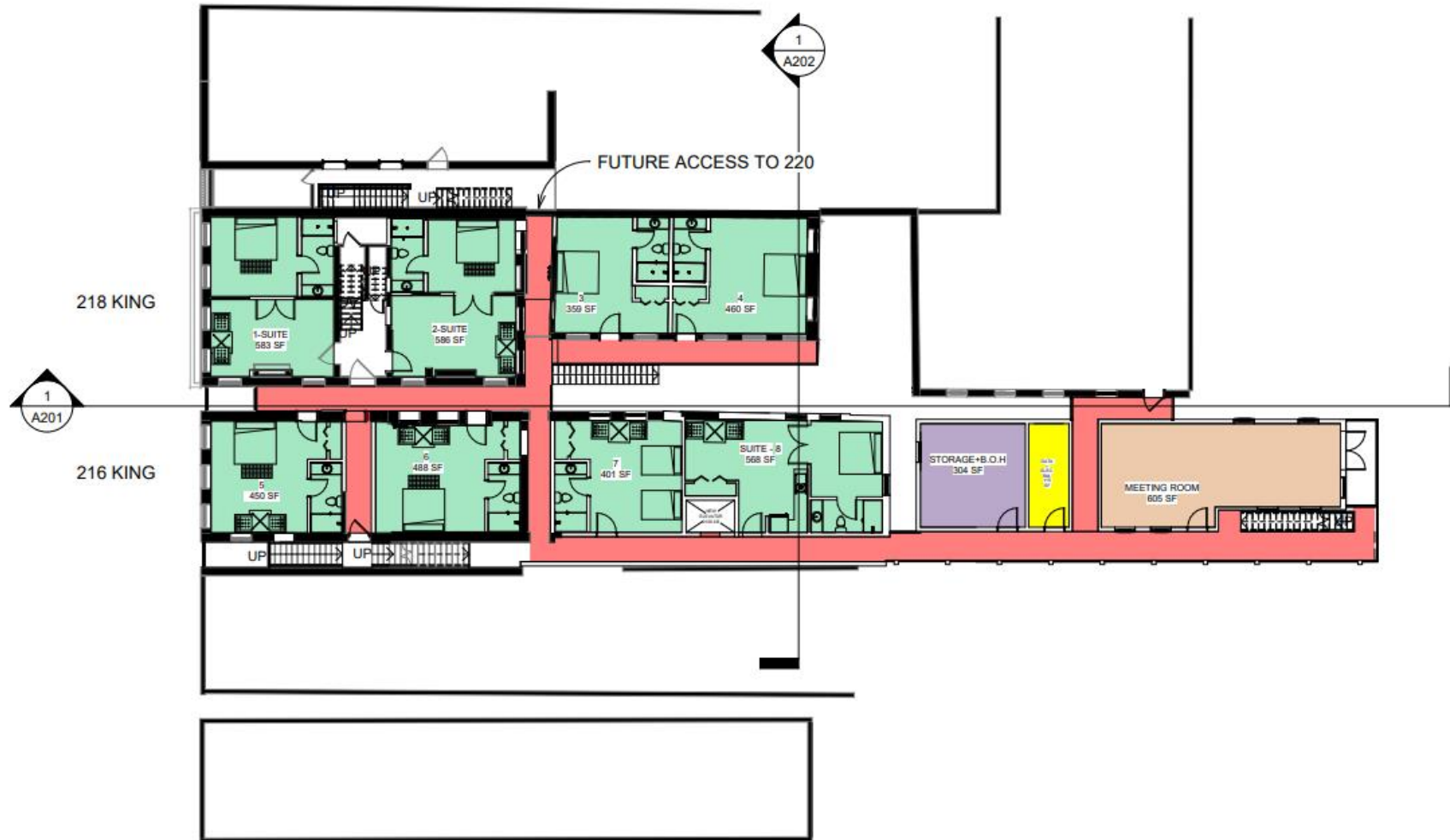
I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

JEFFREY S. COOPER, E.C. PLS #0318

Exhibit B
Proposed Plans

[DOCUMENT FOLLOWS]





- RETAIL
- HOTEL LOBBY
- APARTMENTS
- HOTEL UNITS
- FIRE RISER ROOM
- WALKING PATH
- STORAGE + BACK OF HOUSE
- DATA + ELECTRICAL ROOM
- OFFICE + MEETING SPACE
- PUBLIC BATHROOM

② Level 2 - Proposed
1/16" = 1'-0"



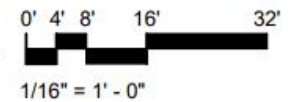
Goff D'Antonio Associates
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216-218 King Street

Project Status
Charleston, SC 29401

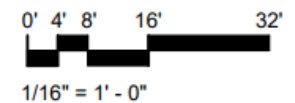
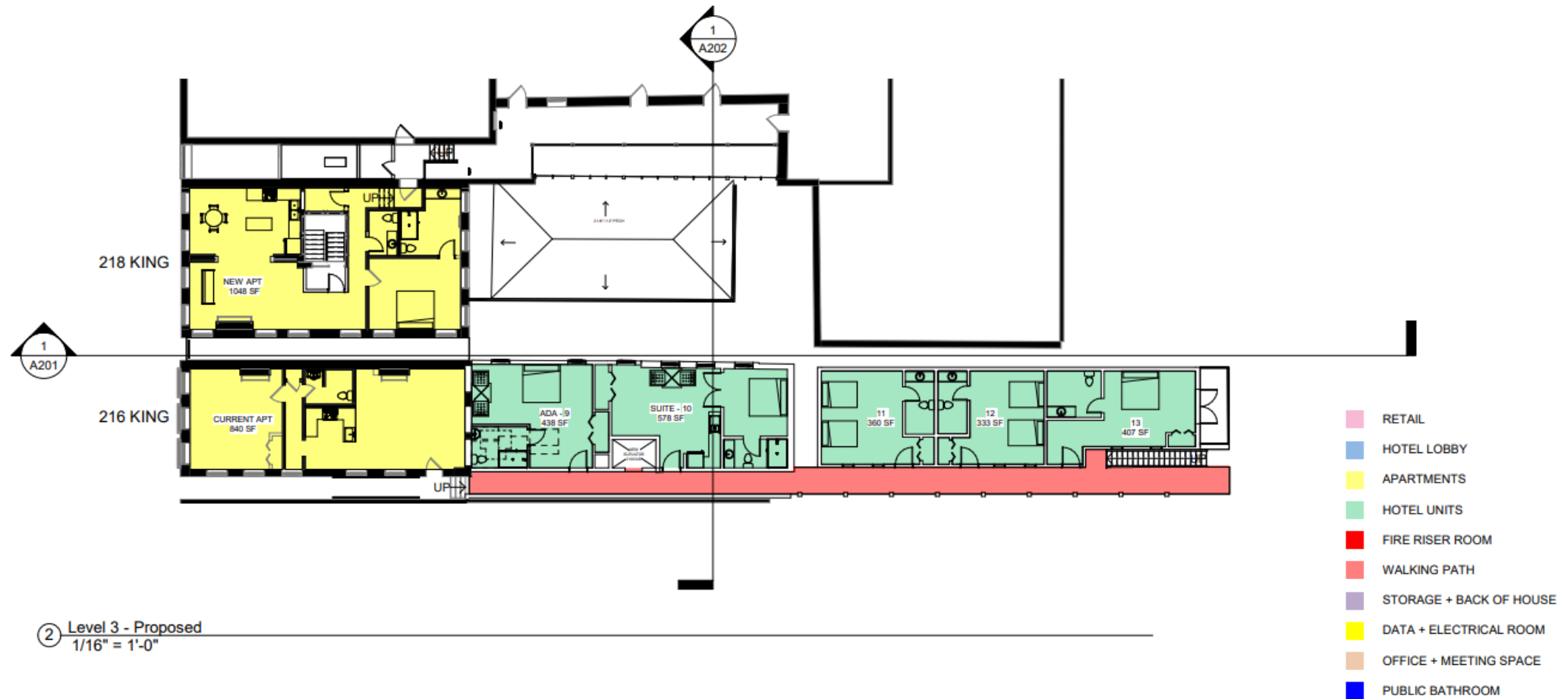


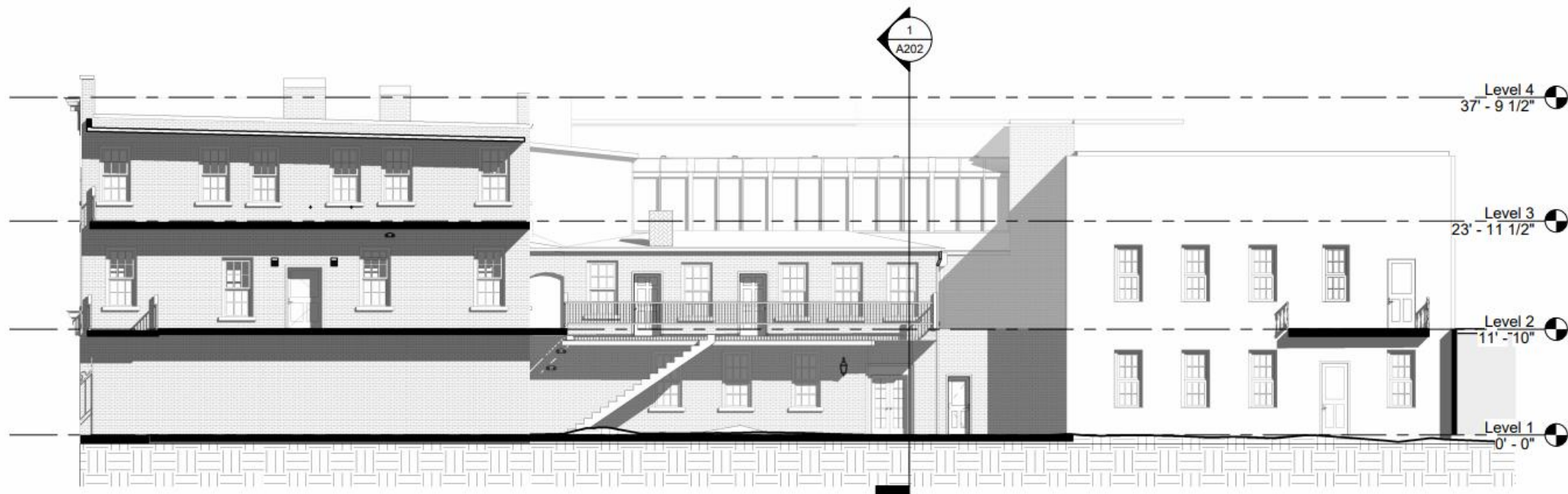
MAGNETIC
NORTH



A107
LVL 02

SEPTEMBER 21, 2023





① Section 11
1" = 10'-0"



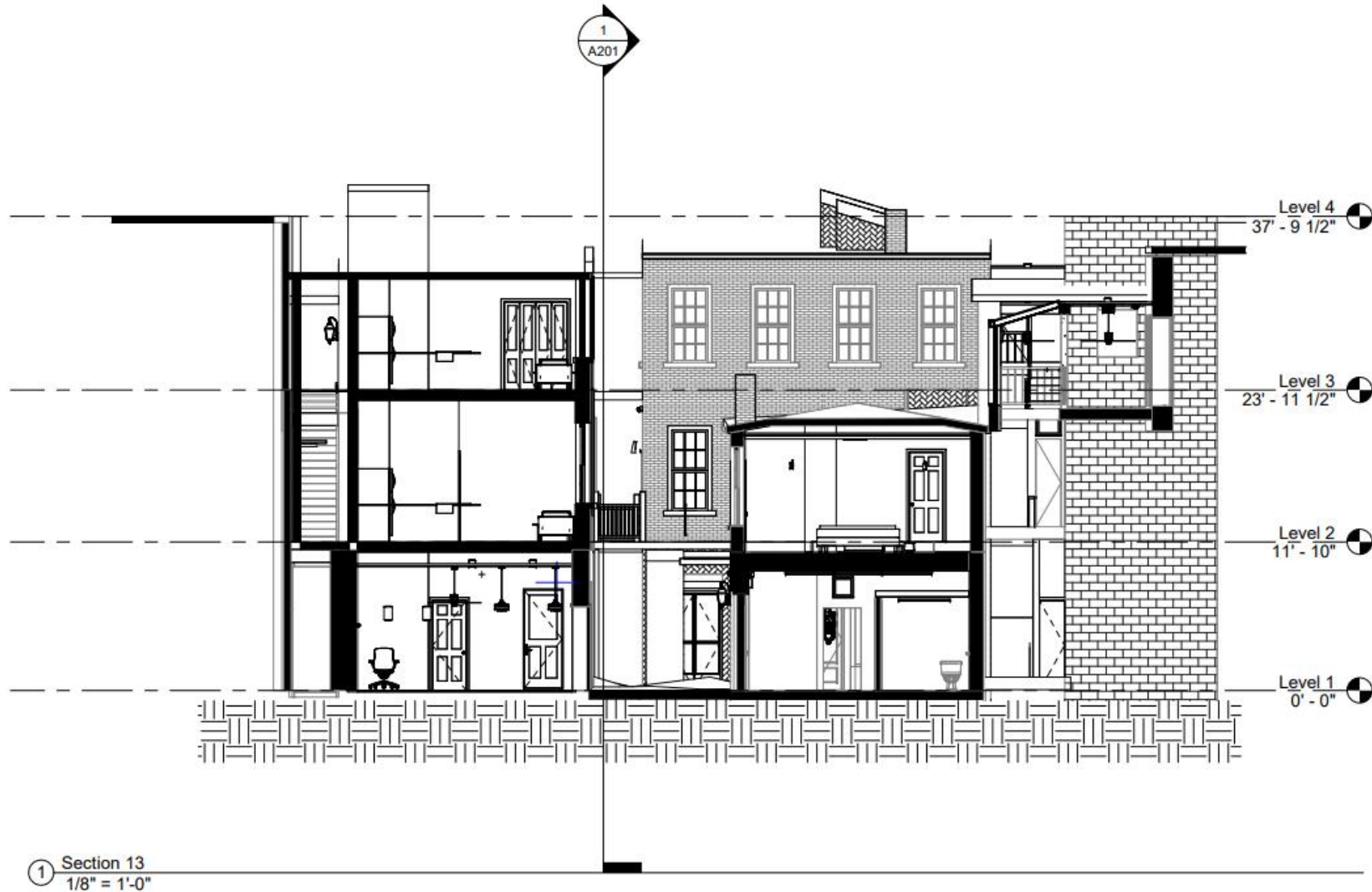
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216-218 King Street

Project Status
Charleston, SC 29401

A201

Building Section 01
SEPTEMBER 21, 2023



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216-218 King Street

Project Status
Charleston, SC 29401

A202

Building Section 02
SEPTEMBER 21, 2023



① 3D - Aerial Perspective



② 3D View - Street View



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216-218 King Street

Project Status
Charleston, SC 29401

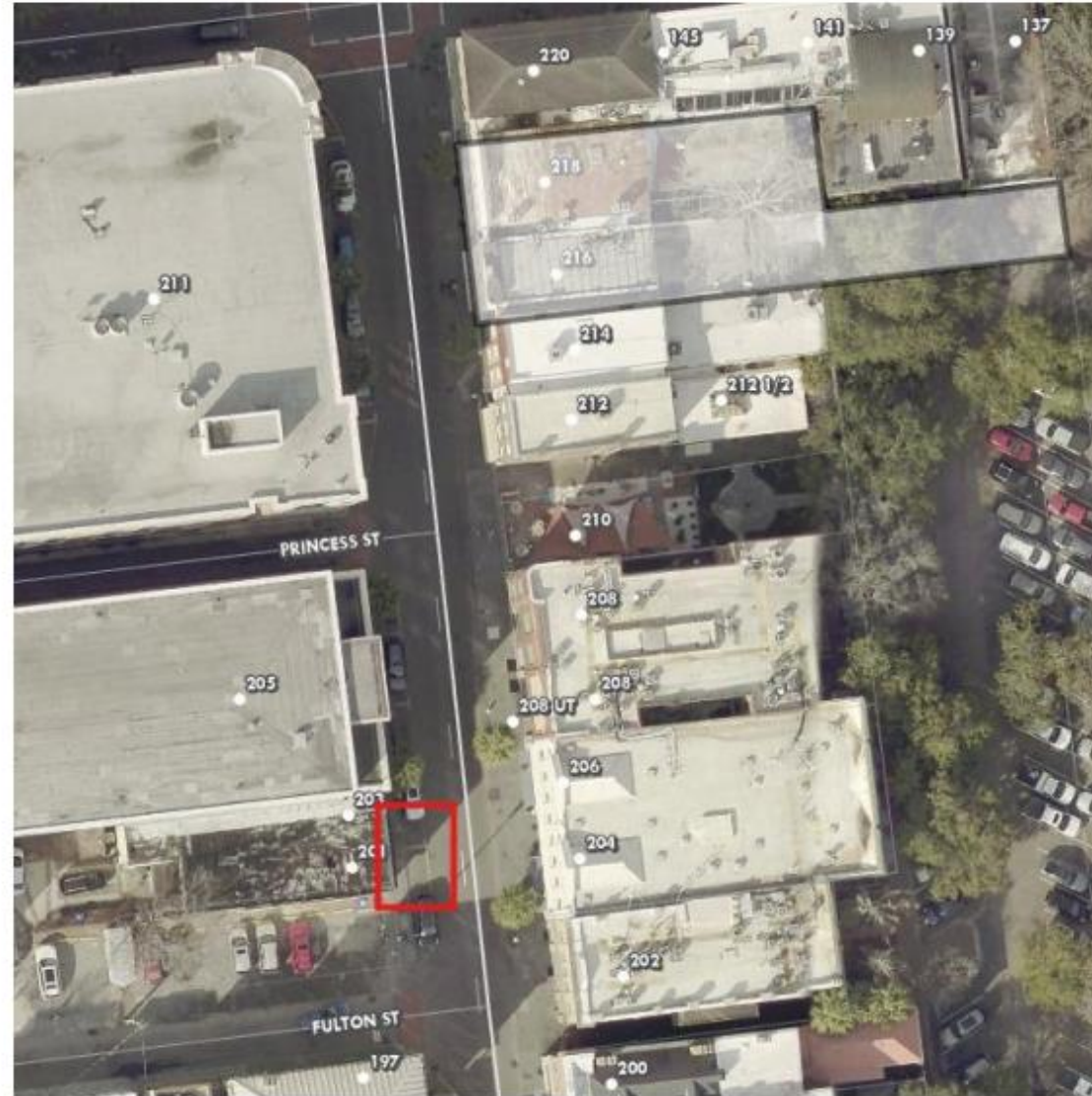
A203
216-219 Perspectives
SEPTEMBER 21, 2023

Exhibit D

Drop-off/Pick-up Location

[DOCUMENT FOLLOWS]

Aerial of 216 & 218 King Street



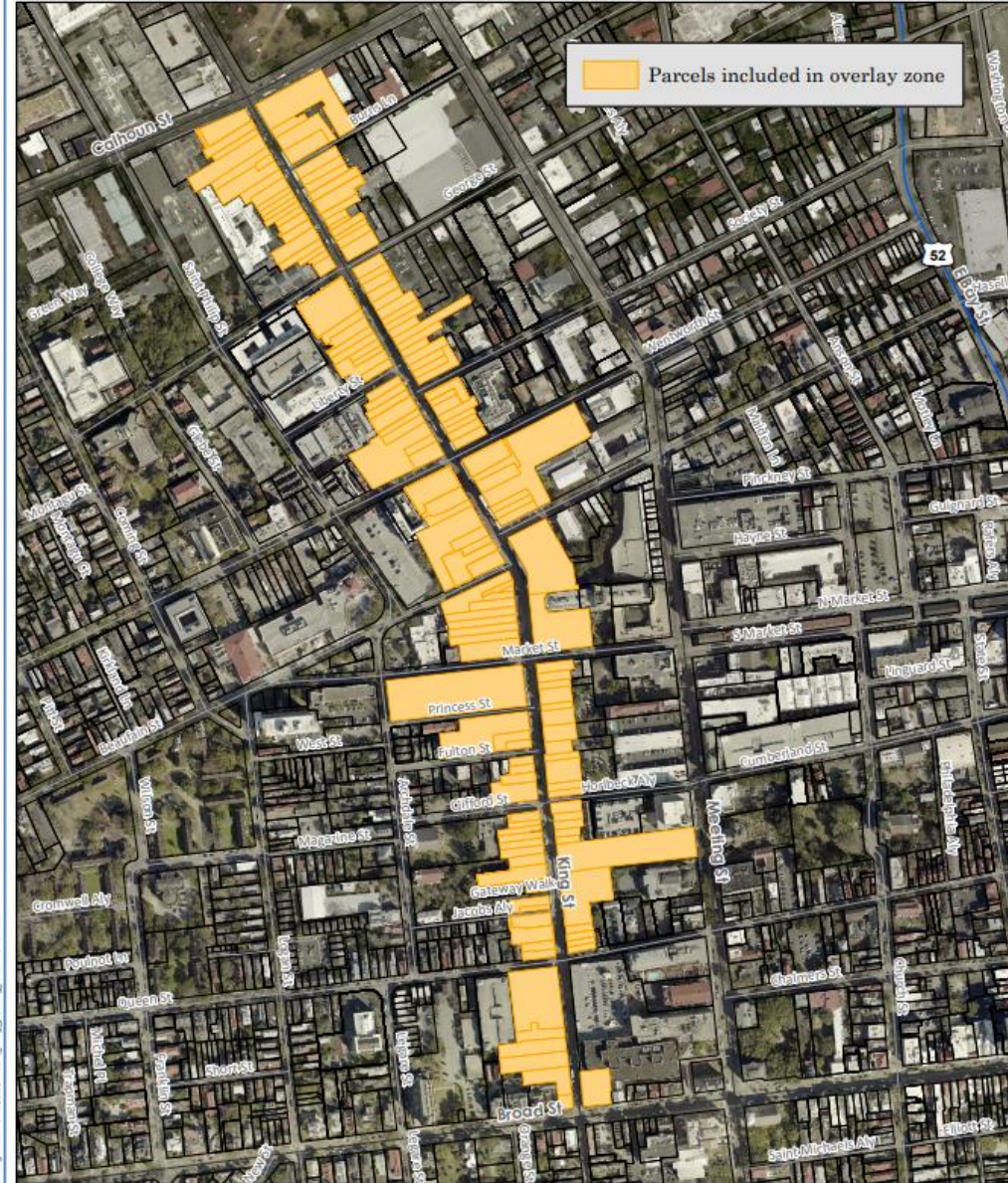
Loading Zone Located at 201 King Street



Exhibit E
SPD Overlay Zone

[DOCUMENT FOLLOWS]

PROPOSED SPECIAL PARKING DISTRICT OVERLAY



Template: PlmMkMap_King Parking Minimums (GIS) 11/16/2020 King parking minimums.mxd



City of Charleston
Dept. of Planning, Preservation &
Sustainability
Planning Division
2 George St, Third Floor
Charleston, SC 29401

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Date: 5/17/2021

Important Disclaimer Notice

The City of Charleston makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any information provided herein or derived from the mapping data for any reason. The City of Charleston explicitly disclaims any representations and warranties, including, without limitation, the implied warranties of merchantability and fitness for a particular purpose. The user knowingly waives any and all claims for damages against any and all of the entities comprising the City of Charleston that may arise from the mapping data.

Exhibit D

Article 5, Part 4 of the Ordinance

[DOCUMENT FOLLOWS]

PART 4 EXCEPTIONS TO PARKING AND LOADING REQUIREMENTS

Sec. 54-511. Exceptions to off-street parking requirements.

- a. The number of off-street parking spaces required by this chapter shall not be reduced except with the approval of the Board of Zoning Appeals upon a determination by the Board of Zoning Appeals that the enforcement of the required number of spaces would prevent reasonable use of a lot. In making the determination, the Board of Zoning Appeals shall consider each of the following:
 1. Whether the proposed use is an allowed use in the applicable zoning district;
 2. Whether the existing building(s) as configured on the lot, or the existing building(s) as configured on adjoining lots, make it feasible to provide off-street parking;
 3. Whether street frontage of an existing lot is so limited that a driveway for access to a parking area would unreasonably or impracticably reduce the area available for occupancy by structures;
 4. Whether grant of the special exception will adversely affect neighboring properties;
 5. Whether the applicant has pursued good faith efforts to provide off-street parking.
- b. The type of paving required for parking areas shall not be changed or eliminated except with the approval of the Board of Zoning Appeals, upon a determination by the Board of Zoning Appeals that the requirement for the paving type is unreasonable given the temporary nature of the parking area, the volume of traffic using the parking area, or the lack of adequate stormwater drainage in the area. In making a determination of what type of paving would be suitable, the Board of Zoning Appeals shall consider the type of vehicles which will typically use the parking lot, the anticipated amount of daily or weekly traffic, the drainage conditions of the site and surrounding area, and the character of the property, historic or otherwise, and the surrounding neighborhood.
- c.
 1. Intent. A new parking overlay zone, to be known as the Special Parking District, SPD Overlay Zone is hereby established to facilitate the occupancy of buildings existing as of November 30, 2020, within the district.
 2. Exempt properties. Except as set forth in section. 54-511.c.3, buildings on properties located in the Special Parking District Overlay Zone, as shown on the City's zone map, shall be exempt from the minimum off-street parking requirements set forth in section 54-208.1, section 54-220, section 54-317.a and Table 3-3 (Off-Street Parking Requirements).
 3. Exceptions. Notwithstanding Sec. 54-511.c.(2), any building or structure, or any extension or expansion of an existing building or structure, constructed on or after December 1, 2020 shall not be exempt from the minimum off-street parking requirements.

(Ord. No. 1999-54, § 4, 4-27-99; Ord. No. 2021-092, § 1, 7-20-21)

Sec. 54-512. Exceptions to off-street loading requirements.

No designated off-street loading space shall be encroached upon by another use nor shall the number of loading spaces be reduced except upon a finding of the Board of Zoning Appeals that the character of an existing lot and the character of intensely developed surrounding properties renders the strict application of the regulations impossible without denying a reasonable use of a particular lot.

(Ord. No. 1999-54, § 4, 4-27-99)

Agenda Item #A-3

4 Henrietta St.
(Garden District)
TMS # 459-13-02-078

Request a variance from Sec. 54-301 to build an addition with a 4' 4" west side setback (7' required).

Zoned: DR-2F





© 2025 Eagleview



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 12/16/2025

Property Address 4 Henrietta Street TMS # 459-13-03-078

Property Owner SC Reno Partners LLC Daytime Phone 843-847-0200

Applicant Coastal Creek Design - Joel Adrian Daytime Phone 843-819-8947

Applicant's Mailing Address 501 Bramson CT. Suite 100

E-mail Address joel@coastalcreekdesign.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Designer

Zoning of property DR-2F

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES** or ☐ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Joel Date 11/14/2025

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Receipt # _____
Fee \$ _____	

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

See attached.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

November 14, 2025

City of Charleston Zoning
Summerfieldr@Charleston-sc.gov

Re. 4 Henrietta St. – Side setback Variance

We are requesting a variance from the 7' required west side setback, 2'-8", for a small portion of the wall, 9'-2" in length for 53 sqft or 2.2% of the lot area. This lot is zoned DR-2F and is only 2,367 sqft of land which is undersized since the base zoning requires a min. of 2,500 sqft for a single dwelling. This lot is also only 24'-6" wide and the side yard setbacks are 3' & 7' for a total of 10' leaving only 14'-6" of buildable width to design within.

1. This property is undeveloped. Several of the existing homes in this area are on narrow lots, still wider than 24', and do not comply with the setbacks for the current base zoning. The house at 2 Henrietta is 1'-8" off the shared property line. Without the variance our proposed home would be only 14'-6" in width which is unreasonable even for a Charleston Single house design.
2. As mentioned above, several homes in this area are on undersized lots, but none of them conform to all the required property setbacks.
3. If the variance is not granted this lot is not buildable, a house only 14'-6" wide is not realistic, and would look out of character with the other homes which are wider.
4. The design complies with all other zoning requirements, rear, east side & front setbacks, we are providing 2 off street parking spaces, overall height has been limited, and the front door is facing the street.

Additionally, this design is in response to our meeting with the neighbors held on 11/6/25 at the main City Library on Calhoun Street. We are proposing a 6' privacy wall between 4 & 6 Henrietta as requested by the owner of #6. The HVAC stand does not encroach into the west side setback and window locations have been modified.

Please contact me if you have any questions.

Sincerely,



Joel Adrian
Coastal Creek Design
843-819-8947

4 HENRIETTA STREET
CHARLESTON, SC
TMS NO. 459-13-03-077



INDEX

- T1 - TITLE SHEET
- C - SURVEY
- C1 - PROPOSED SITE PLAN
- A1 - HOUSE PLANS AND SECTION
- A2 - FRONT AND REAR ELEVATIONS
- A3 - RIGHT AND LEFT ELEVATIONS
- A4 - STREET ELEVATIONS
- A5 - AERIAL
- A6 - LOTS SETBACKS



COASTAL CREEK DESIGN
201 BARBERS PT. S.W. 180
Ft. Lauderdale, FL 33316
813.471.4796

Project
NEW CONSTRUCTION
4 HENRIETTA STREET, CHARLESTON, SC

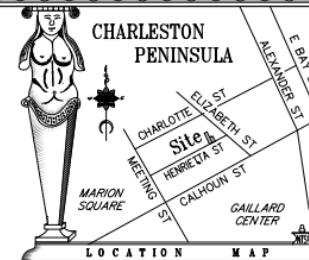
Sheet T1
TITLE SHEET

Date Drawn
11/20/2020
Drawn for Permit
[Signature]
Revised
[Signature]
[Signature]
[Signature]

T1

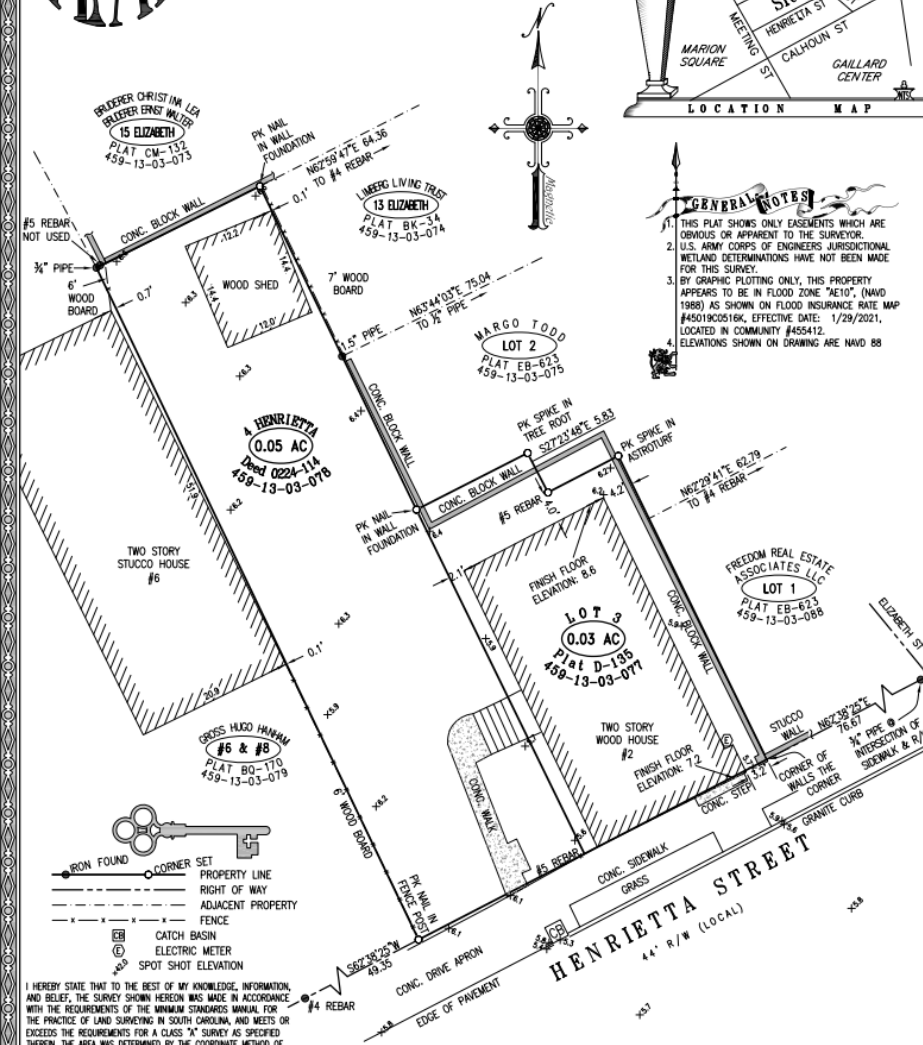
PLAT

of #4 Henrietta St., TMS#459-13-03-078, a 0.05 Acre Lot, Property of the Life Estate of George Jenkins & #2 Henrietta St. (Lot 3), TMS#459-13-03-077, a 0.03 Acre Lot, Property of George Joseph Jenkins Jr., located in The City of Charleston, Charleston County, South Carolina.
Surveyed at the Request of Shane Langdale - Nov. 2024

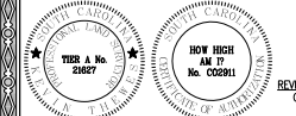


GENERAL NOTES

1. THIS PLAT SHOWS ONLY EASEMENTS WHICH ARE OBVIOUS OR APPARENT TO THE SURVEYOR.
2. U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLAND DETERMINATIONS HAVE NOT BEEN MADE FOR THIS SURVEY.
3. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "AE10", (NAVD 1988) AS SHOWN ON FLOOD INSURANCE RATE MAP #4501902516K, EFFECTIVE DATE: 1/29/2021, LOCATED IN COMMUNITY #455412.
4. ELEVATIONS SHOWN ON DRAWING ARE NAVD 88



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. THE AREA WAS DETERMINED BY THE COORDINATE METHOD OF AREA DETERMINATION. THE PRECISION OF THE UNADJUSTED FIELD SURVEY WAS GREATER THAN 1:10,000.

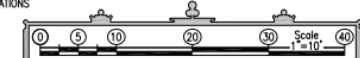


REFERENCE DOCUMENTS

NO.	NAME	DATE	BOOK & PAGE
1.	F. Steven Johnson	March 7, 1988	BQ-170
2.	Jeffrey S. Cooper	Oct. 27, 1992	CM-132
3.	Robert L. Frank	Sept. 5, 1986	BK-34
4.	D. C. Barbot	April 8, 1911	D-135
5.	Thomas V. Bessent	Dec. 17, 1996	EB-623

REVISED: 20FEB25 TO ADD GROUND ELEVATIONS

Date 20 Nov 24
Job NO. 24-143b



How High Am I?
671 Clearview Drive
James Island, SC 29412
843-834-0688
KThewes@HowHighAmI.org

Kevin Thewes

PROPOSED COVERAGE

TOTAL LOT AREA	2,367 SQFT
MAX. COVERAGE 50%	1,184 SQFT
1ST FLOOR	1,002 SQFT
PORCHES & STAIRS	92 SQFT
HVAC	10 SQFT
TOTAL COVERAGE	1,104 SQFT
TOTAL COVERAGE %	46.64%

PROPERTY INFORMATION FROM ZONING CITY OF CHARLESTON

DIVERSE RESIDENTIAL ZONING DR-2F

OVERLAY LAYER= OLD CITY HEIGHT DISTRICTS, AMUSEMENT AND RECREATION OVERLAY, RESIDENTIAL SHORT TERM RENTAL CATEGORY (SR CAT 1), OLD AND HISTORIC DISTRICT SUBDIVISION= MAZYCK-WRAGGBOROUGH

SETBACKS= FRONT=25' REAR= 3' SIDE-SOUTH OR WEST=7' SIDE-NORTH OR EAST= 3'

MAXIMUM BUILDING COVERAGE=50%

MAXIMUM LOT OCCUPANCY OF BUILDING = 65%

BUILDING HEIGHT=50/3 STORY HENRIETTA R/W 44'

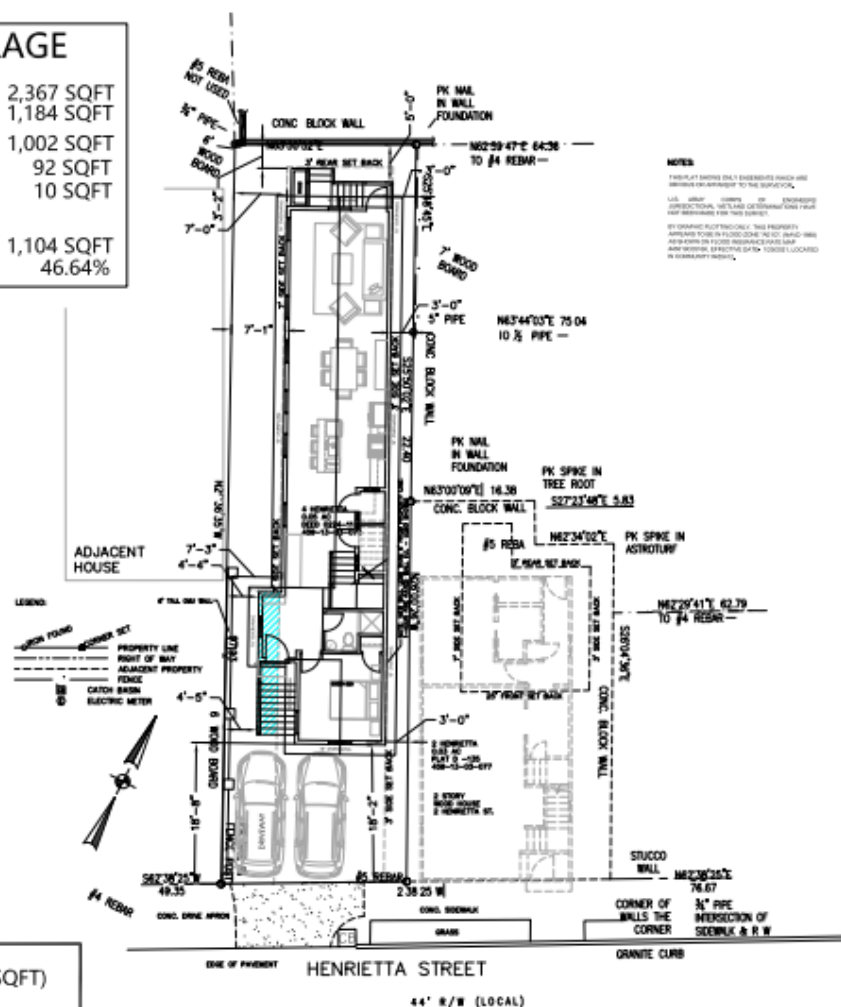
FLOOD ZONE = AE10

PROPOSED SITE PLAN

SCALE 1"=8'



BZA-Z VARIANCE REQUEST (53 SQFT)
2.2% OF TOTAL LOT AREA



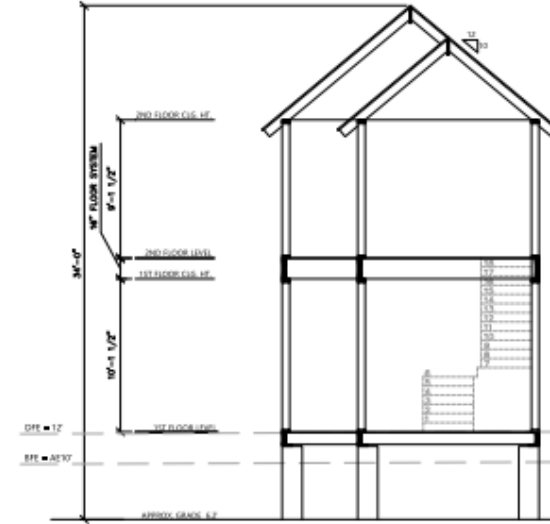
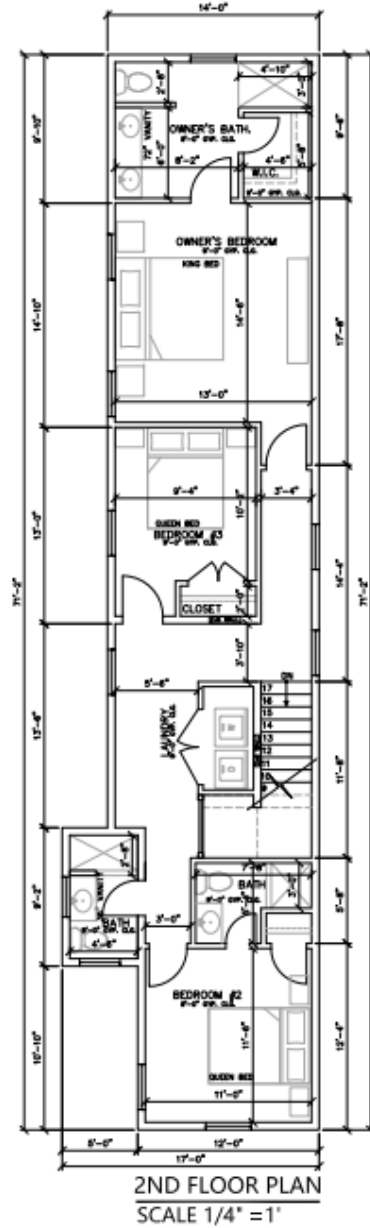
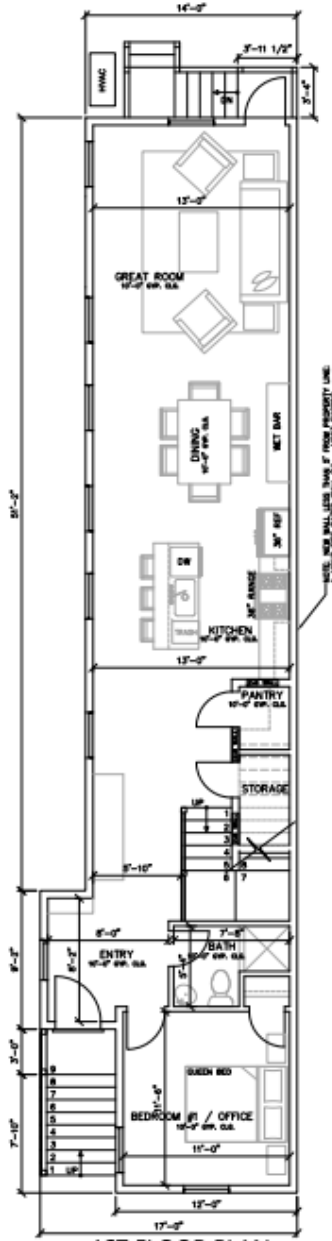
COASTAL CREEK DESIGN
101 BANGOR CIRCLE, SUITE 100
CHARLESTON, SC 29405
843.417.1100

COASTAL CREEK DESIGN
101 BANGOR CIRCLE, SUITE 100
CHARLESTON, SC 29405
843.417.1100

Project:
NEW CONSTRUCTION
4 HENRIETTA STREET, CHARLESTON, SC
Sheet 1 of 1
PROPOSED SITE PLAN

Date Drawn:
11/10/2020
Drawn by:
[Signature]
Checked by:
[Signature]
Reviewed by:
[Signature]

C1



1ST FLOOR AREA	1,002 SQFT
2ND FLOOR AREA	948 SQFT
TOTAL HEATED AREA	1,950 SQFT
PORCHES & STAIRS AREA	92 SQFT



DESIGNED AND DRAWN BY
COASTAL CREEK DESIGN
301 BANGOR CIRCLE, SUITE 100
NORTH CHARLESTON, SC 29405
803.799.1178

COASTAL CREEK DESIGN
301 BANGOR CIRCLE, SUITE 100
NORTH CHARLESTON, SC 29405
803.799.1178

Project:
NEW CONSTRUCTION
4 HENRIETTA STREET, CHARLESTON, SC
Sheet 10A
HOUSE PLANS AND SECTION

Date Drawn:
11/03/2025
Issued for Permit:
[]
Revisions:
[]
[]
[]

A1



COASTAL CREEK DESIGN
— CHARLESTON, SC —

COASTAL CREEK DESIGN
301 BANGORVILLE, SUITE 100
CHARLESTON, SC 29405
843.414.1708

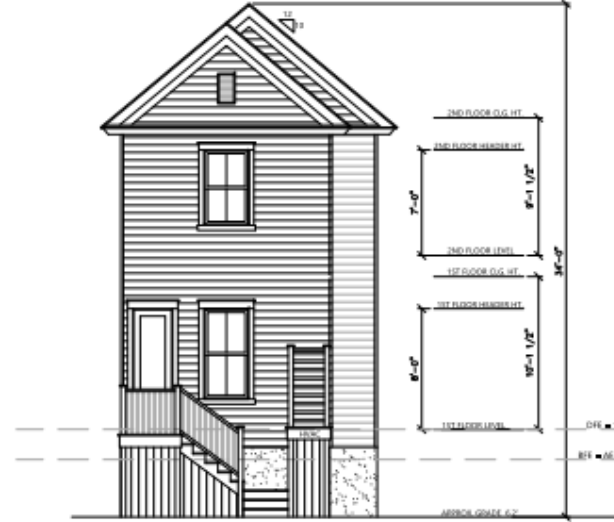
Project
NEW CONSTRUCTION
4 HENRIETTA STREET, CHARLESTON, SC
Sheet 10A
FRONT AND REAR ELEVATIONS

Date Drawn
11/20/2020
Issued for Permit
SA
Revisions
1/1
2/1
3/1
4/1
5/1
6/1
7/1
8/1
9/1
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11/1
12/1
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100/1

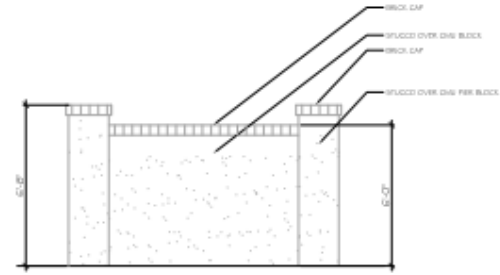
A2



FRONT ELEVATION
SCALE 1/4" = 1'



REAR ELEVATION
SCALE 1/4" = 1'



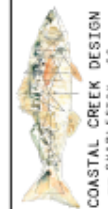
TYP. DETAIL OF LOW STUCCO WALL



LEFT ELEVATION
SCALE 1/4" = 1'



RIGHT ELEVATION
SCALE 1/4" = 1'



COASTAL CREEK DESIGN
401 HENRIETTA STREET, CHARLESTON, SC 29405
803.799.1111

COASTAL CREEK DESIGN
401 HENRIETTA STREET, CHARLESTON, SC 29405
803.799.1111

Project:
NEW CONSTRUCTION
4 HENRIETTA STREET, CHARLESTON, SC
Sheet Title:
LEFT AND RIGHT ELEVATIONS

Date Drawn:
11/10/2020
Drawn for Permit:
[Signature]
Reviewed by:
[Signature]

A3



Project: 4010 NEW CONSTRUCTION
 4 HENRIETTA STREET, CHARLESTON, SC
 29405
 Date: 11/02/2025
 Drawn by: [Name]
 Checked by: [Name]

COASTAL CREEK DESIGN
 501 BANGOR CT, SUITE 100
 CHARLESTON, SC 29405
 803.724.1700

Project:
 NEW CONSTRUCTION
 4 HENRIETTA STREET, CHARLESTON, SC
 29405
 Sheet 10A
 STREET ELEVATIONS

Date Drawn:
 11/02/2025
 Drawn for Project:
 [Name]
 Checked by:
 [Name]

A4



4 HENRIETTA STREET, CHARLESTON, SC
ARIEL VIEW
NTS



SETBACKS SHOWN FOR ZONE R-2

FRONT = 25'

REAR = 3'

SIDE - SOUTH OR WEST = 7'

SIDE - NORTH OR EAST = 3'

MAXIMUM BUILDING COVERAGE 50%

NOTE:

SETBACKS ARE APPROXIMATE USING INFORMATION

FOR ZONE R-2 FROM ZONING CITY OF CHARLESTON.

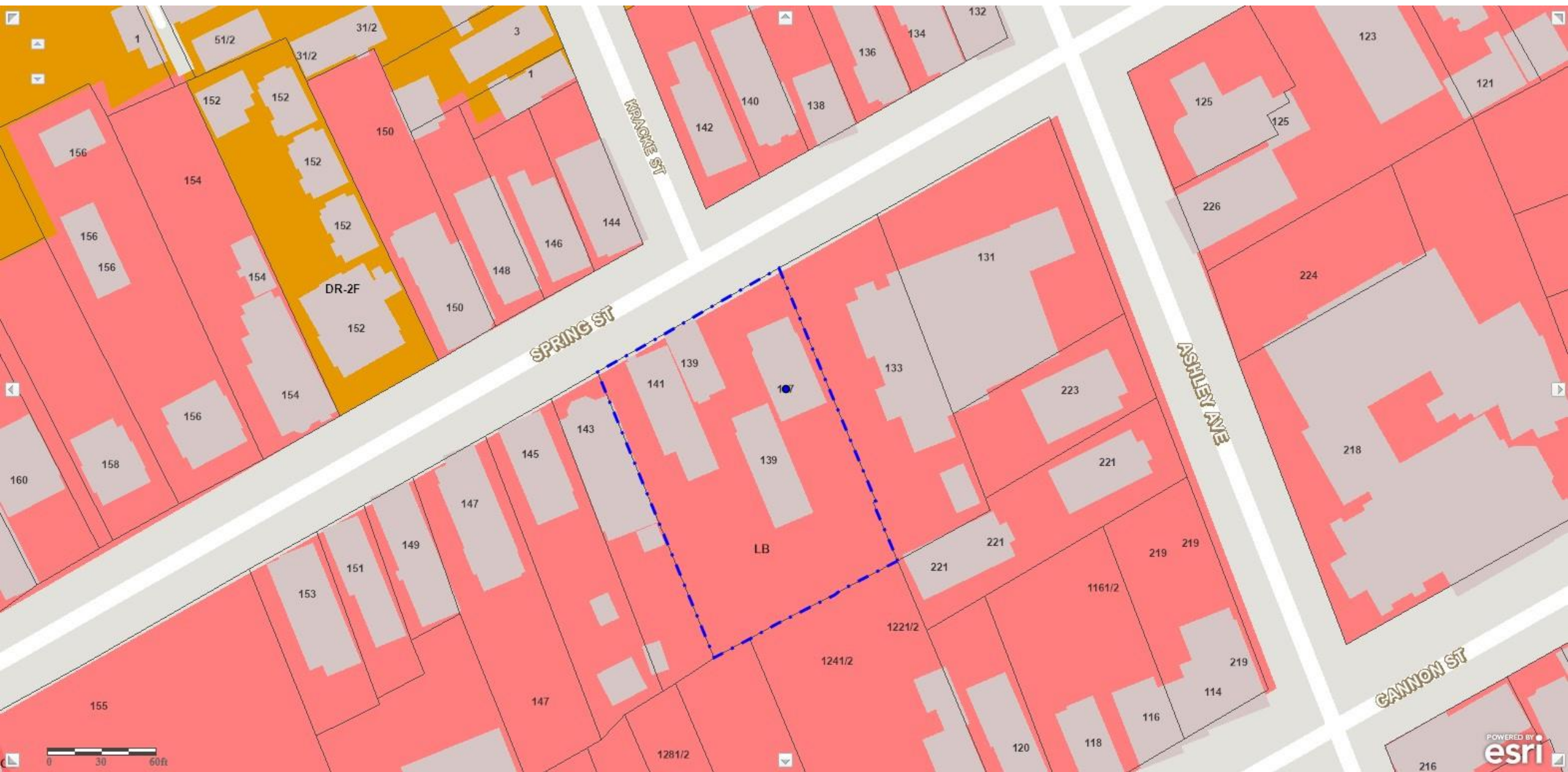
NTS

Agenda Item #A-4

137 & 141 Spring St.
(Harleston Village)
TMS # 457-08-02-023

Request variance from Sec. 54-317 to provide 12 off-street residential parking spaces and 0 off-street commercial parking spaces (14 spaces required). Zoned LB.

Zoned: LB









City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 12/18/2025

Property Address 137.141 Spring Street Development TMS # 460-11-04-085

Property Owner Spring Street Project LLC Daytime Phone _____

Applicant Cline Engineering, Inc. Daytime Phone 843-991-7239

Applicant's Mailing Address PO Box 21204 Charleston, SC 29413

E-mail Address matt@clineeng.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Engineering representative

Zoning of property LB

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☒ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or** ☒ **NO -** Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Matthew Cline Date 10/15/2025

For office use only
 Date application received _____ Time application received _____
 Staffperson _____ Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

A variance is requested for off street parking requirement Sec. 54-317. The requirement for the commercial unit is two spaces and requesting variance for both spaces. There are 12 required spaces for the proposed residential development and 12 spaces provided for the residential.

1. There are historic properties on this site that cannot be removed or adjusted which make the geometry for parking difficult on the site. During the first re-development of the site, we asked if we could move the structures closer to the street and they denied that request. It would have allowed for additional heated square foot & parking in the rear.
2. The surrounding sites may or may not have historic properties that challenge the geometry. Other sites in the area have been allowed commercial parking variances.
3. In the downtown area, it is very common for commercial users to have parking variances. Restricting this would limit the site by not allowing the density allowed by zoning.
4. Allowing the commercial variance should not change the current conditions as the tenant for the commercial space is the same as the developer for the project.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

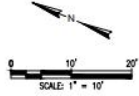
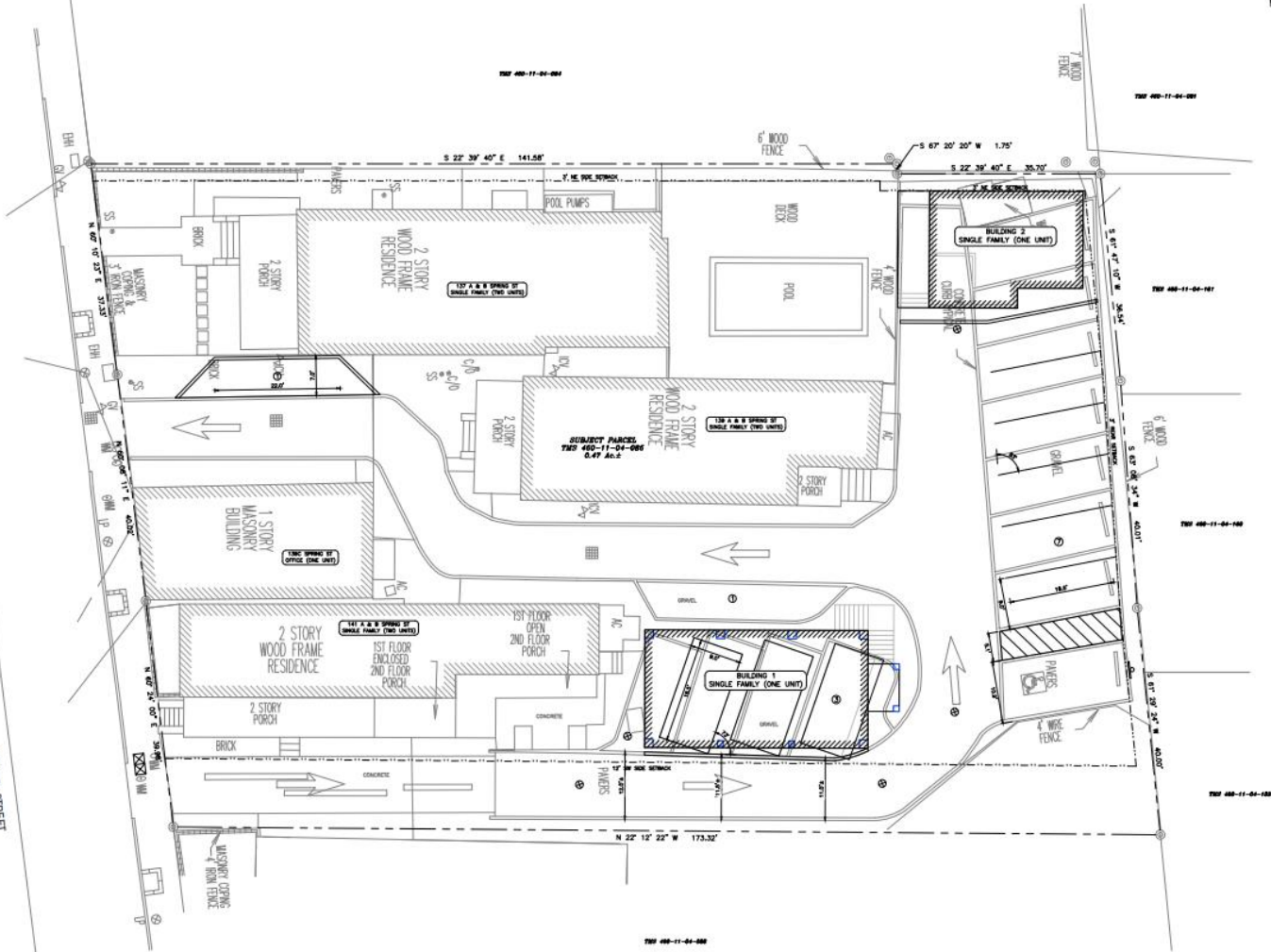
In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

SITE DATA TABLE	
TAX MAP INFORMATION	400-11-04-000
SUBJECT PARCEL(S) ZONING	140 BARRIED RESIDENCE PARKWAY DISTRICTS OLD CITY HEIGHT DISTRICTS: S-3 AMUSEMENT & RECREATION OVERLAY STR (RESIDENTIAL, DANCY, TOWN, RESIDENTIAL) OLD CITY DISTRICT
SUBJECT PARCEL(S) AREA	SUBJECT PARCEL: 0.47 AC
BUILDING AREA - EXISTING	107 A & B SPRING ST + 1000 SF A FOOT PRINT 100 A & B SPRING ST + 1000 SF A FOOT PRINT 100 C SPRING ST + 1000 SF A FOOT PRINT 107 A & B SPRING ST + 1000 SF A FOOT PRINT
BUILDING AREA - PROPOSED	107 A & B SPRING ST + 1000 SF A FOOT PRINT (EXISTING) 100 A & B SPRING ST + 1000 SF A FOOT PRINT (EXISTING) 100 C SPRING ST + 1000 SF A FOOT PRINT (EXISTING) 107 A & B SPRING ST + 1000 SF A FOOT PRINT (EXISTING) BUILDING 1 + 800 SF A FOOT PRINT BUILDING 2 + 800 SF A FOOT PRINT
PERCENTAGE OF LOT OCCUPIED BY BUILDING	MAXIMUM 50% OF LOT CAN BE OCCUPIED BY BUILDING 0.17 AC A BUILDING FOOTPRINT (0.47 AC) = 0.36 PROPOSED 30% OF LOT COVERED BY BUILDING
BUILDING SETBACK REQUIREMENTS	FRONT + NOT REQUIRED SIDE ME + 2' SIDE SE + 2' SIDE SW + 2' SIDE NW + 10'
SITE BUFFER REQUIREMENTS	NONE ASSUMED
SITE PARKING REQUIREMENTS	MULTIPLE (2 OR MORE) DWELLINGS 1.5 PER UNIT (B) UNIT: 1.5 PER UNIT - 12 SPACES OFFICE (ON THE PENINSULA) 1 PER 500 SF 700 SF OFFICE (ON SF - 1.5 - 2 SPACES TOTAL SPACES REQUIRED: 14
PARKING PROVIDED	12 SPACES (INCLUDING 1 ADA SPACE)
BUILDING HEIGHT LIMITS	HEIGHT DISTRICT S-3
FLOOD ZONE INFORMATION (PROVIDED BY OTHERS)	PROJECT SITE APPEARS TO BE LOCATED IN FLOOD ZONE "X" ALL SCALED FROM FIRM COMMUNITY PANEL NUMBER 8424 AND MAP NUMBER 400-11-04-000 (DATED JANUARY 20, 2023). THE DEPICTION OF THE FLOOD ZONE WITHIN THIS SET OF PLANS SHALL NOT BE USED AS THE BASIS FOR FLOOD ZONE DETERMINATION OR FLOOD ZONE RELATED ISSUES.

SPRING STREET
(ON RIGHT OF WAY)



THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

CLINE
ENGINEERING
PROFESSIONAL DESIGN CONSULTING

137.141 SPRING STREET DEVELOPMENT
BZAZ EXHIBIT
137.141 SPRING STREET
CHARLESTON, SOUTH CAROLINA

SHEET NUMBER
X-1

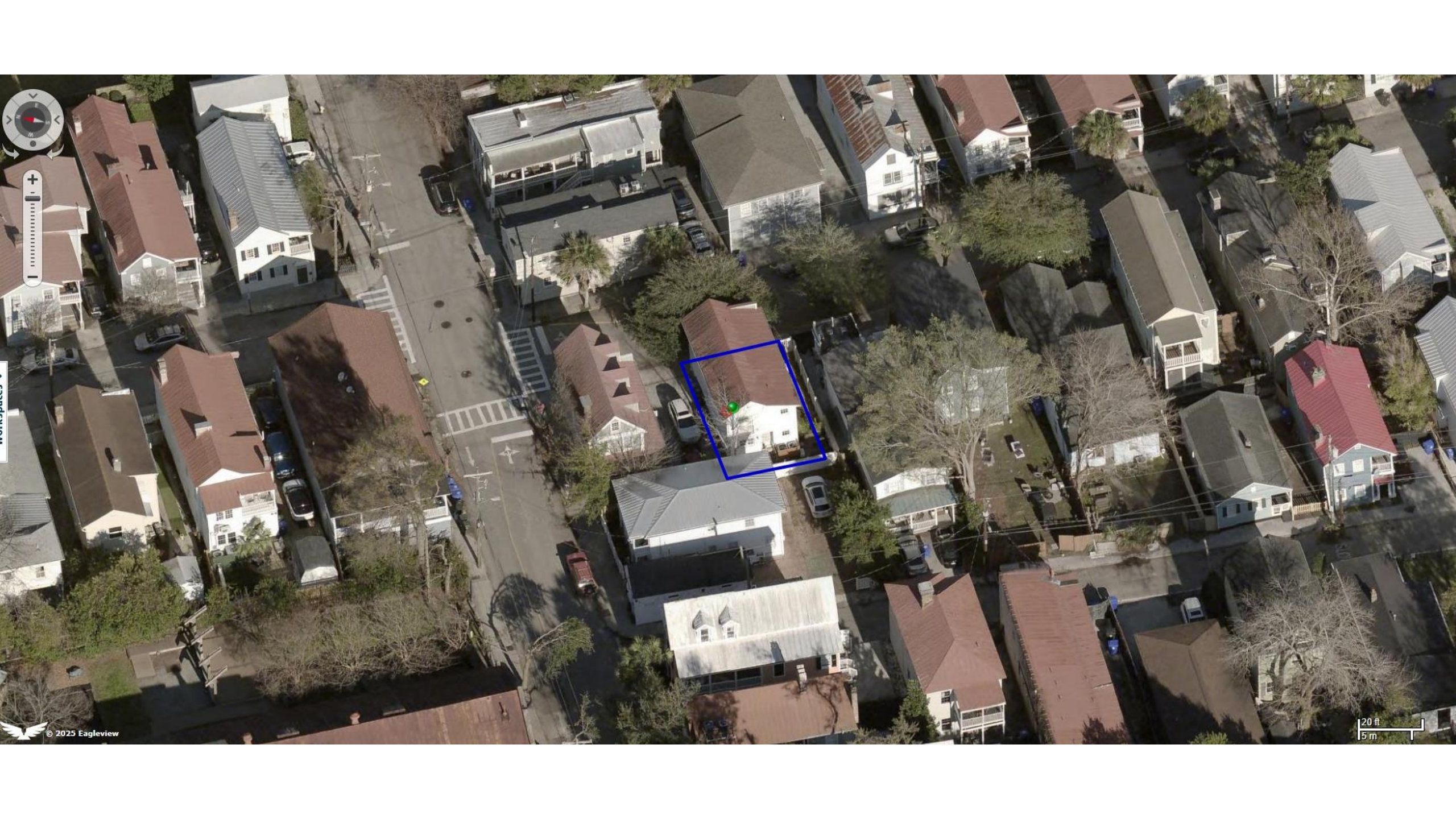
Agenda Item #A-5

57 Ashe St.
(Cannonborough/Elliottborough)
TMS # 460-00-01-100

Request a variance from Sec. 54-301 to build a two-story rear porch addition with a 1' rear setback (3' required), a 1' east side setback (3' required), a variance to exceed maximum lot coverage (75% proposed, 57% existing, 50% allowed) to build a 2-story porch addition, and a variance from Sec. 54-506.g. to build a utility platform that exceeds the maximum allowed height (9' allowed).

Zoned: DR-2F





© 2025 Eagleview



© 2025 Eagleview

20 ft
15 m



Workspaces ▾



© 2025 Eagleview





City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: December 16, 2025

Property Address 57 Ashe St TMS # _____

Property Owner Jim and Joette Ruberg Daytime Phone 803-818-8078

Applicant Greg Demetri Daytime Phone 864-506-4818

Applicant's Mailing Address 4410 Social Aly, North Charleston, SC 29405

greg.demetri@charlestoncreativeconstruction.com E-mail Address _____

Relationship of applicant to owner (same, representative, prospective buyer, other) Contractor

Zoning of property X

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 11/13/2025

For office use only
Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

The variance request is for a "rear" setback. See the attached narrative

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;

- a. There has not been any additional structures built on this property since 1880 aside from an HVAC / Trash Can enclosure
- b. The initial construction of the home was in 1880

2. These conditions do not generally apply to other property in the vicinity;

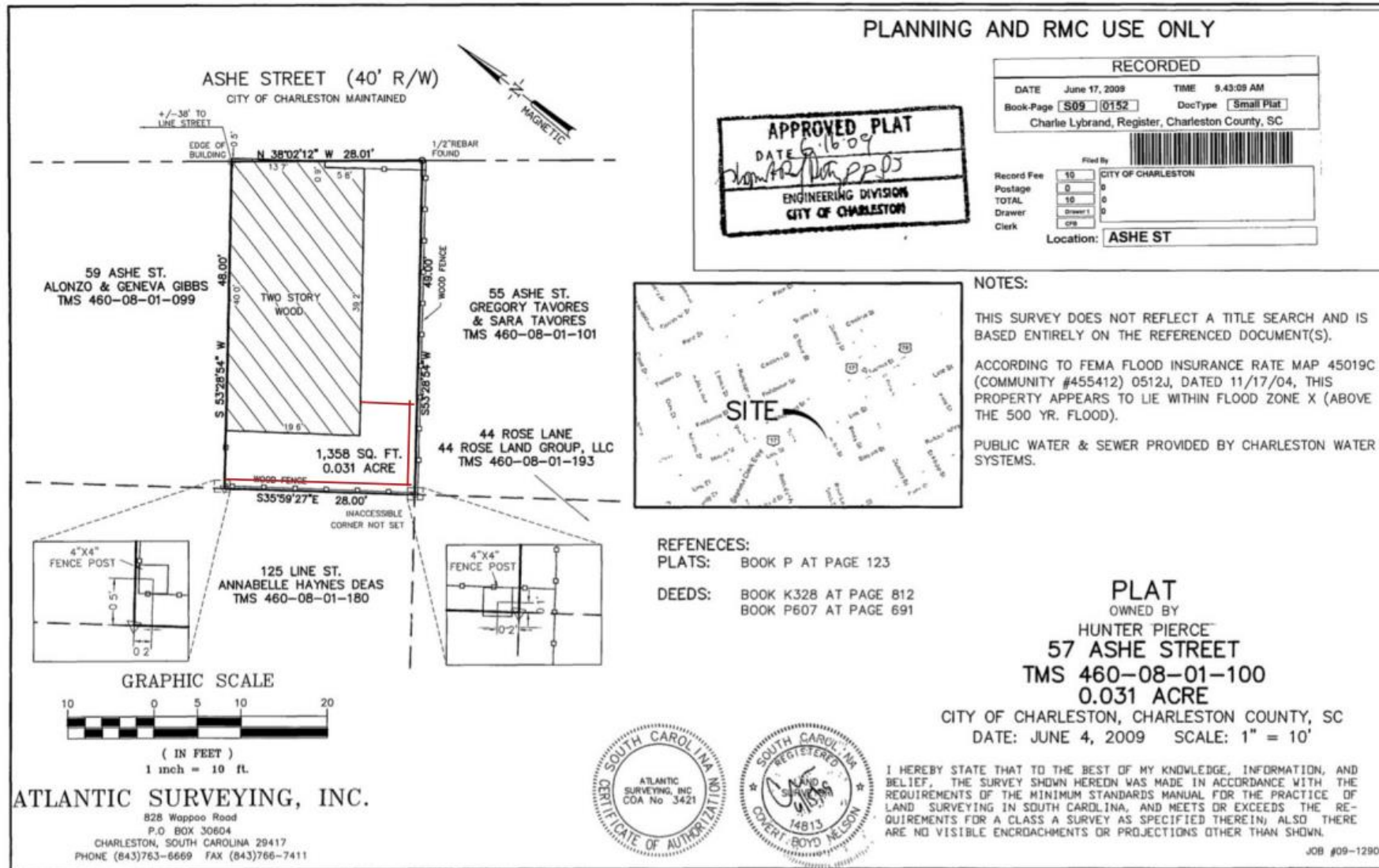
- a. There is no other pre-existing historic structure property within the vicinity that has as much original coverage that occupies as much of its land area then the house at 57 Ashe St
- b. This house had a disadvantage for future development when it was built compared to its neighbors who now enjoy future builds of porches and decks
- c. All the surrounding properties have much more green area to expand. Their percentage can cover a higher number footage, whereas; 57 Ashe St does not have this luxury and must work with a smaller structural footprint in its backyard using a higher percentage of its footprint

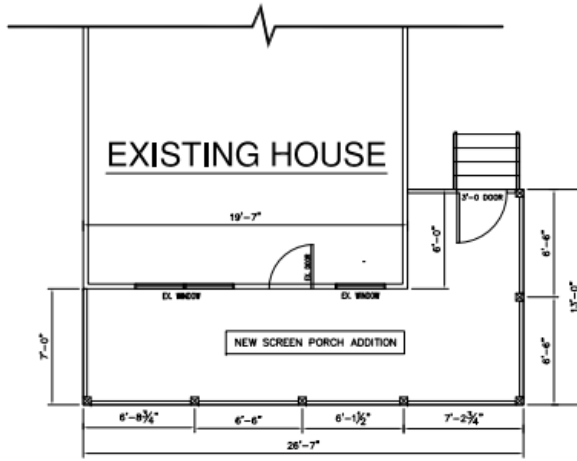
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and

- a. Charleston architectural style includes porches and granting this variance would keep in line with the character of Charleston's style
- b. The intent of living in the "southern charm" of downtown Charleston is to enjoy the outdoor space which includes porches
- c. It is an unreasonable restriction of the property to prohibit the use of some form of outdoor space

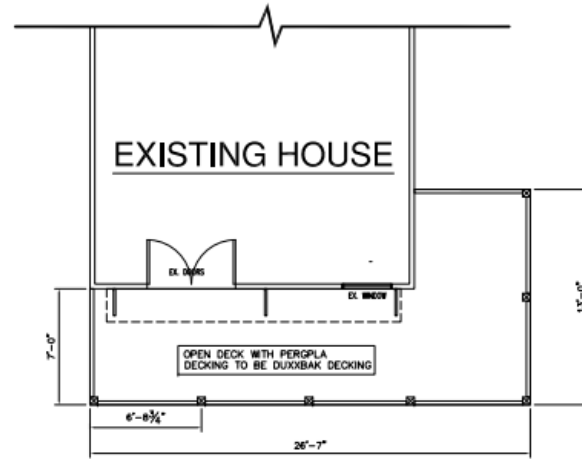
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

- a. The proposed structure will be in the back of the house with very little exposure to the street.
 - i. The back neighbor's house is approximately 30-35 feet from this proposed structure. It is their parking lot that would share the same fence
 - ii. The neighbor to the right is approximately 35 feet from this structure and only would see 7-feet of the proposed structure side
 - iii. The neighbor to the left does not have any windows except one small bathroom window on the second floor. This neighbor also has a roof deck, something that 57 Ashe St would not be able to build.
- b. Upon approval, we will work closely with the BAR to ensure that the style flows with what the BAR intends it to be while keeping to the roots and the meaning of Charleston as intended by its founders

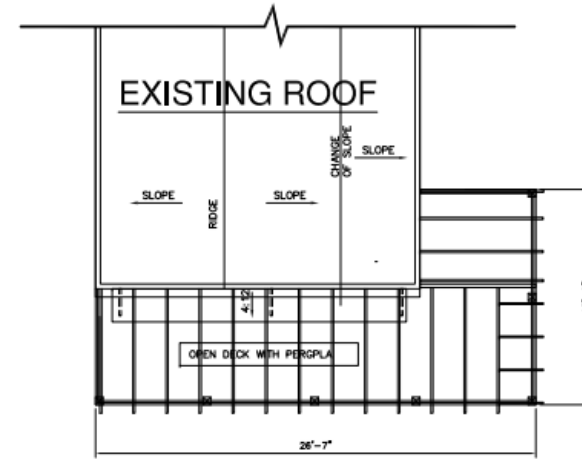




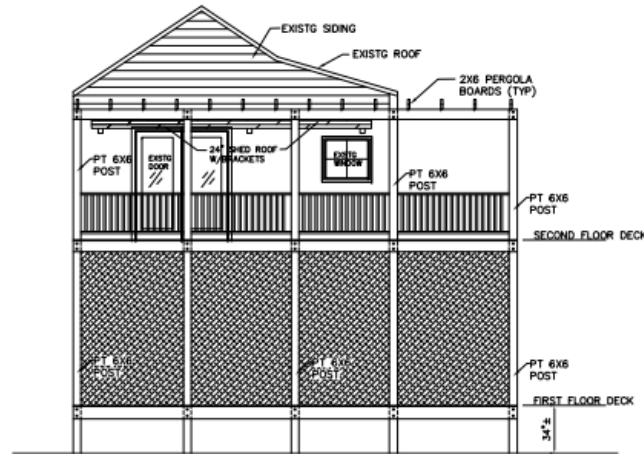
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



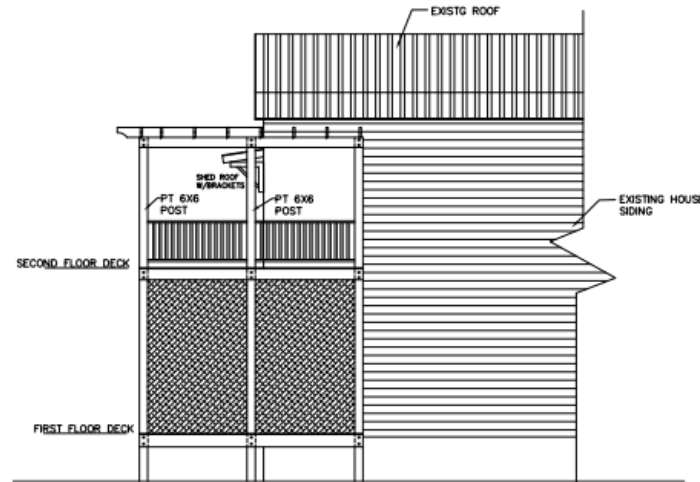
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



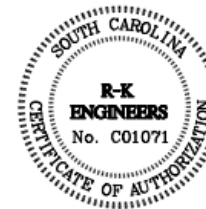
ROOF PLAN
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



LEFT ELEVATION
SCALE: 1/8"=1'-0"

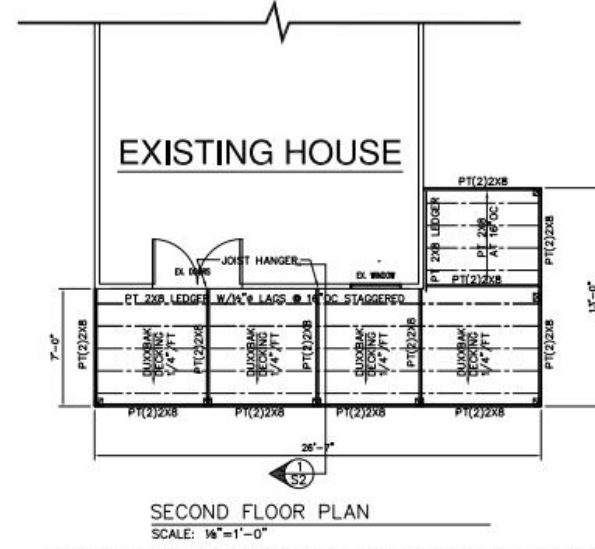
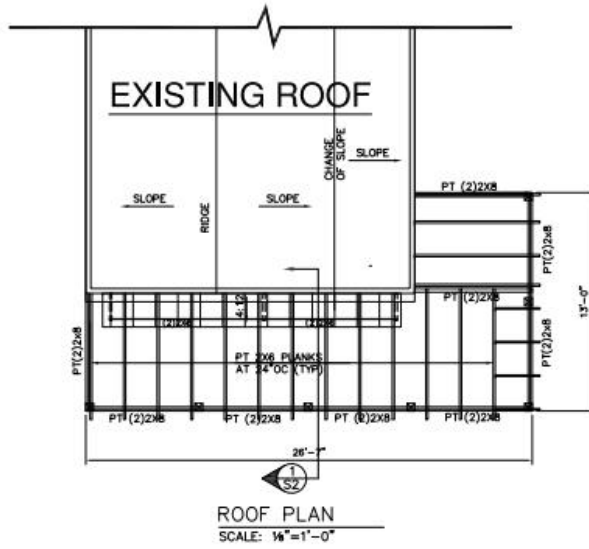
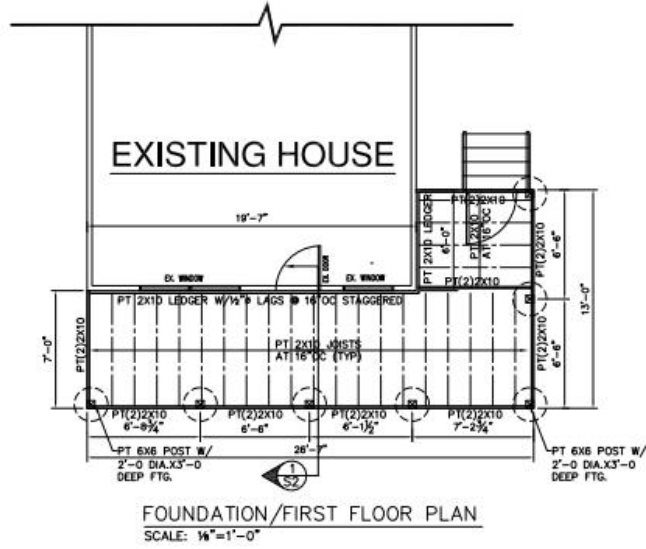


R-K ENGINEERS
CIVIL & STRUCTURAL ENGINEERING
29 LEINBACH DR. SUITE B2, CHARLESTON, SC - 29407
(843) 573-2150

JOB NUMBER: 225273
JOB NAME: 57 ASHE STREET
DESIGNED BY: PKG
DRAWN BY: LB
APPROVED: RKG

REAR DECK ADDITION
57 ASHE STREET
CHARLESTON, SC
NEW ADDITION PLANS

I, R-K ENGINEERS, hereby certify that the above is a true and correct copy of the original plans as submitted to the South Carolina Department of Transportation for review and approval. The original plans are on file at the office of R-K ENGINEERS, 29 Leinbach Dr., Suite B2, Charleston, SC 29407.



DUXXBAK DECKING TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS



R-K ENGINEERS
CIVIL & STRUCTURAL ENGINEERING
29 LEINBACH DR, SUITE B2, CHARLESTON, SC-29407
(843) 573-2150

JOB NUMBER: 225273
JOB NAME: 57 ASHE STREET
DESIGNED BY: RKG
DRAWN BY: LB
APPROVED: RKG

REAR DECK ADDITION
57 ASHE STREET
CHARLESTON, SC
FOUNDATION/FRAMING PLANS

ALL DIMENSIONS
SHOWN ARE IN FEET
AND INCHES. ALL
DIMENSIONS ARE TO
THE CENTERLINE UNLESS
OTHERWISE NOTED.
ALL DIMENSIONS ARE
TO BE VERIFIED BY THE
OWNER.

S1

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK. CONTRACTOR SHALL NOTIFY ARCHITECT AND/OR STRUCTURAL ENGINEER OF ANY DISCREPANCIES BEFORE STARTING WORK.
- IT IS CONTRACTORS RESPONSIBILITY TO SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR ALL STRUCTURAL COMPONENTS. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS AND ERECTION PROCEDURES PRIOR TO REVIEW BY THE ARCHITECT OR ENGINEER. CONTRACTOR SHALL ALLOW MINIMUM OF TEN WORKING DAYS FOR REVIEW BY THE ARCHITECT/OR ENGINEER. PROCEEDING WITH THE WORK WITHOUT REVIEWED SHOP DRAWINGS SHALL BE AT THE CONTRACTORS OWN RISK.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL DRAWINGS AND/OR DOCUMENTS THAT RELATE TO OTHER TRADES.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR OPENINGS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF ALL OPENINGS FOR DUCTS, PIPES, CONDUITS, ETC. NOT SHOWN.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND ERECTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR THE STABILITY OF THE STRUCTURE DURING ALL PHASES OF THE CONSTRUCTION PROCESS.
- ALL STRAPS AND CONNECTORS TO BE USP OR SIMPSON EQUIVALENT

DESIGN NOTES:

DESIGN BASIS:

INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLING, 2021 EDITION
WIND LOAD: IBC 2021

DESIGN LOADS:

FLOOR DEAD LOADS:	1ST & 2ND FLOORS:	15 PSF
FLOOR LIVE LOADS:	LIVING AREAS:	40 PSF
ROOF DEAD LOADS:	DEAD LOAD:	12 PSF
	LIVE LOAD:	16 PSF RAFTERS; PITCH \geq 4:12
		8 PSF
CEILING/ATTIC LOADS:	DEAD LOAD:	20 PSF RAFTERS; PITCH $<$ 4:12
	LIVE LOAD:	20 PSF WITH STORAGE
		10 PSF WITHOUT STORAGE

ALSO SEE TRUSS DESIGN NOTES.

WIND DESIGN PARAMETERS:

- ULTIMATE WIND SPEED = 150 MPH, ASD WIND SPEED = 116 MPH (ASCE 7)
- WIND EXPOSURE = "B"
- MAIN WIND DESIGN PRESSURE: 34 PSF (END ZONE), 26 PSF (INTERNAL)
- MEAN ROOF HT.: 30'-0"
- MAX. ROOF UPLIFT: -28 PSF (END ZONE), -24 PSF (INTERNAL)
- INTERNAL PRESSURE COEFFICIENT FOR ENCLOSED STRUCTURE $C_{pi} = \pm 0.18$, PARTIALLY ENCLOSED $C_{pi} = \pm 0.55$
OPEN STRUCTURE $C_{pi} = \pm 0.00$

DESIGNED AS ENCLOSED STRUCTURE.

ALL WINDOWS & DOORS TO HAVE A DESIGN WIND PRESSURE RATING OF DP40.
SEISMIC DESIGN CATEGORY: D2

GEOTECHNICAL:

- THE CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY SPECIFIED BY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF SOUTH CAROLINA. IF THE SOIL BEARING CAPACITY IS LOWER THAN REQUIRED, CONTACT ARCHITECT/OR STRUCTURAL ENGINEER BEFORE STARTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ANY AND ALL EXCAVATION SLOPES.

FOUNDATION:

ASSUMED SOIL BEARING CAPACITY = 2,000 PSF
CONTRACTOR VERIFY BEFORE CONSTRUCTION

CONCRETE:

- ALL REINFORCED CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 318, LATEST EDITION.
- THE 28 DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:
FOOTINGS: 3000 PSI
SLAB ON GRADE: 3000 PSI
- CURE CONCRETE FOR MINIMUM 7 DAYS. CONTRACTOR SHALL FOLLOW ALL ACI RECOMMENDATIONS FOR PLACING CONCRETE DURING HOT OR COLD WEATHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBARS ARE PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE.
- THE CONTRACTOR SHALL PROVIDE ALL ADDITIONAL REBARS, CHAIRS AND TIES REQUIRED TO SUPPORT AND HOLD THE REINFORCEMENT IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND FABRICATION OF ALL TEMPORARY FORMWORK AND SHORING AS REQUIRED.
- STEEL REINFORCEMENT ON CONCRETE TO BE AS FOLLOWS:
REBAR: GRADE 60, ASTM A615
WELDED WIRE FABRIC: ASTM 185
CONCRETE SLAB ON GRADE: 4" THICK W/ FIBER MESH AS PER MANF. RECOMMENDATIONS APPROX. 1.5 LBS/C.F.
- CONCRETE COVER OVER REBARS:
FOOTINGS: 3" CLEAR
- FILL UNDER ALL INTERIOR SLABS ON GROUND SHALL BE COMPACTED TO PRODUCE AT LEAST 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D1557.

FRAMING NOTES:

- ALL LUMBER SHALL BE CONTINUOUS WITHOUT SPLICES EXCEPT AS NOTED ON THE DRAWINGS. FACTORY MACHINED SPLICES ARE ACCEPTABLE AS LONG AS THE MINIMUM STRUCTURAL PROPERTIES OF THE MEMBER ARE MAINTAINED.
- ALL EXTERIOR WALLS SHALL BE SHEATHED W/ APA RATED SHEATHING WITH BLOCKING AT ALL SEAMS. SHEATHING IS TO BE NAILED TO ALL STUDS, TOP PLATES, SILL PLATE BANDS AND BLOCKING.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH STANDARD CODE APPLICABLE AT THE TIME OF CONSTRUCTION.
- ALL NAILING TO MEET STANDARDS SET FORTH IN THE LATEST EDITION OF THE IRC 2021
- WHERE CEILING JOIST ARE NOT PROVIDED AT THE TOP OF THE RAFTER SUPPORT WALLS, THE RIDGE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY A PROPERLY DESIGNED RIDGE BEAM.
- ENDS OF ALL ROOF RAFTERS OR TRUSSES SHALL BE ANCHORED WITH WIND UPLIFT ANCHORS BY USP OR EQUAL. SUCH ANCHORS OR SHEATHING SHALL BE USED AT JOINTS BETWEEN PLATES, STUDS, AND ALL SILL PLATES TO PROVIDE A CONTINUOUS PATH OF UPLIFT RESISTANCE FROM THE ROOF TO THE FOUNDATION.
- CONTRACTOR SHALL PROVIDE MULTIPLE STUDS UNDER THE ENDS OF ALL TRUSS GIRDERS AND STRUCTURAL BEAMS TO ACCOUNT FOR END REACTIONS. ENOUGH ADDITIONAL STUDS SHALL BE ADDED IN WALLS AT SUPPORT POINTS TO ALLOW FOR FULL BEARING OF MEMBERS. IN NO CASE SHALL LESS THAN THREE STUDS PER BEARING LOCATION BE ADDED. THIS DOES NOT REFER TO STANDARD WALL HEADERS. FOR TRIMMER STUDS REQUIRED AT OPENINGS, SEE HEADER SCHEDULE SHOWN ON THE FRAMING PLANS.
- PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS AT ALL LINES OF JOIST SUPPORT EVEN IF NOT SHOWN ON THE SECTION OR DETAIL DRAWINGS FOR CLARITY.
- ALL LOAD BEARING WALLS AND/OR SHEAR WALLS LOCATED PERPENDICULAR TO FLOOR JOISTS/TRUSSES SHALL HAVE SOLID BLOCKING SECURELY PLACED BETWEEN THE FLOOR MEMBERS. THE SOLID WOOD BLOCKING SHALL BE FOR THE FULL DEPTH OF THE FLOOR MEMBERS AND BE LOCATED DIRECTLY UNDER THE WALL FOR THE FULL BEARING WIDTH AND LENGTH OF THE SHEAR WALL.
- SEE THE FRAMING PLANS REGARDING PARTITION WALLS FRAMED PARALLEL TO THE FLOOR JOIST.

STRUCTURAL TIMBER:

ALL ENGINEERED LUMBER LISTED BELOW AND BCI JOISTS LISTED ON THE PLANS ARE MANUFACTURED BY TRUS JOIST. OTHER MANUFACTURERS ARE PERMISSIBLE AS LONG AS THE REPLACEMENT PRODUCTS MEET OR EXCEED TRUS JOIST SPECIFICATIONS.

- ALL TIMBER TO BE MIN. GRADE & SPECIES AS PER LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION:
INTERIOR/EXTERIOR STUDS = SEE 'STUD WALL FRAMING' IN THE GENERAL NOTES.
BEAMS, HEADERS, POST AND JOIST = SOUTHERN YELLOW PINE #2 UNLESS OTHERWISE INDICATED ON THE PLANS.
- PRESSURE TREATMENT IS REQUIRED FOR THE FOLLOWING:
A. ALL FIRST FLOOR TOE PLATES AND WOOD IN CONTACT WITH CONCRETE
B. ALL EXTERIOR BEAMS AND POSTS
NOTE: BENDING STRESS F_b LISTED FOR ENGINEERED LUMBER IS BASED ON A 12" DEEP MEMBER.

ENGINEERED LUMBER MINIMUM DESIGN SPECIFICATIONS:

- | | |
|--|--|
| A. MICROLAM LVL | B. TIMBERSTRAND LSL |
| $E = 1,900$ KSI | $E = 1,700$ KSI |
| $F_b = 2,600$ PSI | $F_b = 2,600$ PSI |
| $F_v = 285$ PSI | $F_v = 400$ PSI |
| C. TIMBERSTRAND LSL OR TJ STRAND RIM BOARD | D. 3 1/2" TIMBERSTRAND LSL UP TO 8 1/2" DEEP |
| $E = 800$ KSI | $E = 1,300$ KSI |
| $F_b = 1,200$ PSI | $F_b = 1,700$ PSI |
| $F_{c\perp} = 680$ PSI | $F_v = 400$ PSI |
| $F_v = 400$ PSI | |

STUD WALL FRAMING:

1. HOUSE FRAMING

- FIRST FLOOR EXTERIOR STUD WALLS TO BE SPF NO. 2 (OR BETTER) 2x4'S @ 16" O.C. W/ A DOUBLE 2x4 TOP PLATE & SINGLE 2x4 TOE PLATE. UNLESS NOTED OTHERWISE ON THE PLANS.
- SECOND FLOOR EXTERIOR STUD WALLS TO BE SPF NO. 2 (OR BETTER) 2x4'S @ 16" O.C. W/ A DOUBLE 2x4 TOP PLATE & SINGLE 2x4 TOE PLATE. UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL INTERIOR LOAD BEARING STUD WALLS TO BE MINIMUM SPF NO. 2 GRADE 2x4 @ 16" O.C. WITH A DOUBLE TOP PLATE AND A SINGLE BOTTOM PLATE.
- SEE HEADER SCHEDULE FOUND ON THE FRAMING PLANS FOR THE REQUIRED NUMBER OF KING AND TRIMMER STUDS NEEDED AT THE OPENINGS.

WALL SHEATHING:

- UNLESS OTHERWISE NOTED ON THE PLAN, ALL EXTERIOR WALL SHEATHING TO BE MINIMUM 15/32" OR 1/2" APA RATED SHEATHING OR STRUCTURAL I SHEATHING WITH 10d COMMON NAILS (OR EQUIVALENT) SPACED @ 4" O.C. AT THE EDGES AND 12" O.C. IN THE FIELD WITH TWO STAGGERED ROWS AT 4" O.C. INTO THE TOP PLATES AND ONE ROW AT 2" O.C. INTO THE TOE PLATE.

FLOOR SHEATHING:

ALL FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE EXTERIOR GRADE STURD-I-FLOOR PANELS. ALL FLOOR SHEATHING SHALL BE GLUED AND NAILED AT ALL SUPPORTS WITH A NAILING PATTERN OF 10d COMMON NAILS (OR EQUIVALENT) @ 6" O.C. ALONG THE EDGES AND 12" O.C. IN THE FIELD. ALL PANEL SEAMS W/ OUT TONGUE & GROOVE EDGES SHALL BE BLOCKED AS REQD. IT IS ALSO RECOMMENDED THAT 3/4" STURD-I-FLOOR PANELS BE USED INSTEAD OF 3/4" PANELS WHEN HARDWOOD FLOOR IS PLACED ON JOISTS SPACED AT 24" O.C.. 3/4" PANELS CAN BE USED IF THE JOIST SPACING IS LESS THAN 20" O.C.. FOR TILE FLOORS, SPACE JOIST AT A MAXIMUM OF 16" O.C. OR PROVIDE BLOCKING PANELS @ 16" O.C.. BETWEEN JOISTS.

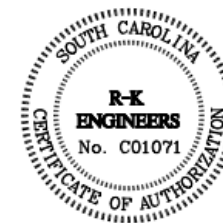
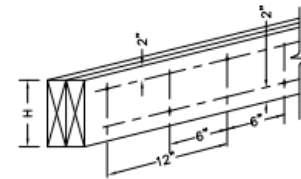
ROOF SHEATHING:

ALL ROOF SHEATHING TO BE MINIMUM 7/16" APA RATED SHEATHING OR STRUCTURAL I SHEATHING WITH 10d COMMON NAILS (OR EQUIVALENT) SPACED @ 6" O.C. AT THE EDGES AND 6" O.C. IN THE FIELD; EDGE PANELS (EAVE & GABLE) TO BE FASTENED WITH 8d OR 10d RING-SHANK NAILS SPACED @ 3" O.C. ON THE EDGES AND 6" O.C. IN THE FIELD.

NAILING OF GIRDERS COMPOSED OF MULTIPLE MEMBERS OF LVL'S, LUMBER AND/OR PLYWOOD:

- MEMBERS LESS THAN 14" DEEP UP TO THREE PLY:
A. 16d COMMON NAILS MUST PENETRATE INTO THE ADJACENT MEMBERS AND BE STAGGERED ON 12" CENTERS, TOP AND BOTTOM ROWS ARE TO BE LOCATED 2" FROM THE EDGE.
- MEMBERS 14" DEEP AND GREATER UP TO THREE PLY:
A. 16d COMMON NAILS MUST PENETRATE INTO THE ADJACENT MEMBERS AND BE STAGGERED ON 12" CENTERS, THREE ROWS. TOP AND BOTTOM ROWS LOCATED AT 2" FROM THE EDGE & ONE ROW AT MID-DEPTH OF BEAM.
- MEMBERS OF ALL DEPTHS CONSISTING OF FOUR PLY:
A. PROVIDE TWO ROWS OF 1/2" BOLTS SPACED AT 24" O.C.. BOLTS ARE TO BE LOCATED 2" FROM THE TOP AND THE BOTTOM OF THE MEMBER.

NOTES: -FOR THREE PLY MEMBERS, NAILING SPECIFIED IS FROM EACH SIDE.
-BOLTS ARE TO CONFORM TO ASTM STANDARD A307. BOLT HOLES ARE TO BE THE SAME DIAMETER AS THE BOLTS. WASHERS ARE TO BE USED UNDER THE HEAD AND NUT.
-EXCESS POINT OF NAIL OR SPIKE TO BE CLINCHED.



REAR DECK ADDITION
57 ASHE STREET
CHARLESTON, SC

ALL DIMENSIONS
UNLESS OTHERWISE
NOTED ARE TO BE
IN ACCORDANCE
WITH THE
REQUIREMENTS
OF THE
SOUTH CAROLINA
ENGINEERING
BOARD

JOB NUMBER: 225273
JOB NAME: 57 ASHE STREET
DESIGNED BY: RKG
DRAWN BY: LB
APPROVED: RKG

R-K ENGINEERS
CIVIL & STRUCTURAL ENGINEERING
29 LEINBACH DR, SUITE B2, CHARLESTON, SC - 29407
(843) 573-2150

S3

Agenda Item #A-6

211 Rutledge Ave.
(Cannonborough/Elliottborough)
TMS # 460-11-02-015

Request a variance from Sec 54-301 to build 7 multi-family units with 1708sf of lot area per unit (2250sf required), and a variance from Sec. 54-317 to provide 0 off-street parking spaces for the commercial use (10 required) and 9 off-street parking spaces for the multi-family units (11 required).

Zoned: LB



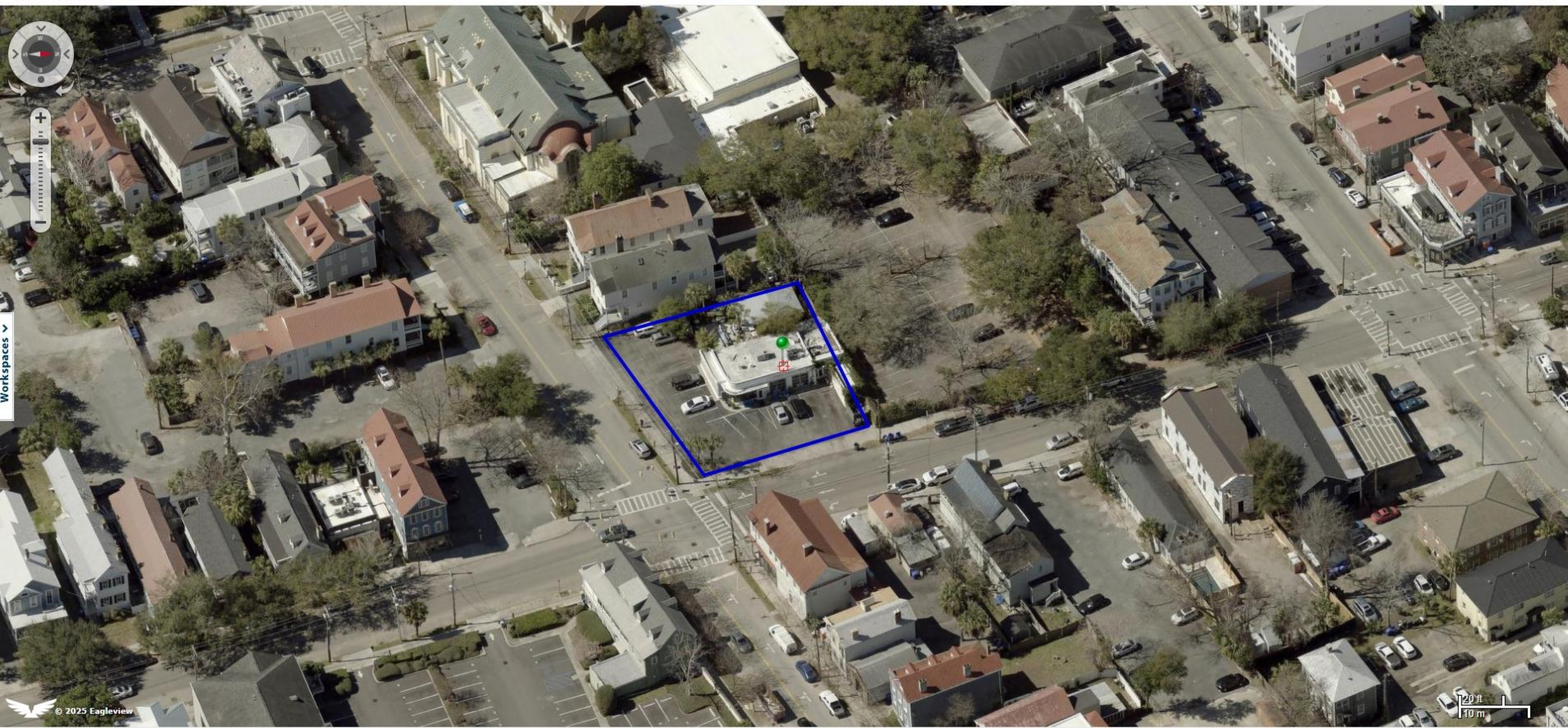


Workspaces



© 2025 Eagleview





Workspaces



Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: December 16, 2025

Property Address 211 Rutledge Avenue TMS # 4601102015

Property Owner NK Partners (Greg Smith) Daytime Phone (843) 822-6310

Applicant Anthony Cissell Daytime Phone (912) 332-6209

Applicant's Mailing Address 49 Immigration Street, Suite A, Charleston, SC, 29403

E-mail Address anthony.cissell@cisselldesignstudio.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Architect

Zoning of property LB - Limited Business

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☒ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Anthony J. Cissell Date November 14, 2025

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Request variance from Sec. 54-301 to allow construction of a commercial use building and three residential buildings having seven residential dwelling units with 1,708sf of lot area per dwelling unit (2,250sf required).

Request variance from Sec. 54-317 to allow a commercial building with no off street parking spaces (10 spaces required) and seven residential units with 9 off-street parking spaces (11 spaces required).

***SEE ATTACHED DOCUMENT FOR VARIANCE TEST RESPONSE**

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

211 RUTLEDGE AVENUE

Variance Test Criteria and Response

The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

- a. There are extraordinary and exceptional conditions pertaining to the particular piece of property.
- b. These conditions do not generally apply to other property in the vicinity.
- c. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property.
- d. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

Response to variance points a and b:

The property at 211 Rutledge Avenue, the corner of Rutledge Avenue and Cannon Street, is largely unique in several aspects to the Cannonborough-Elliottborough Neighborhood. Most notably it has been occupied by a cinder block gas station structure since the 1950s, a building type and use that is largely non-existent in the neighborhood. It is the only corner site in the neighborhood occupied by an asphalt parking lot on both street frontages. Secondly, the building itself is abnormally far back from the street, approximately 34' from both street frontages, in the center of the lot. Typical building setback conditions in the C-E Neighborhood range from 3'-9', considerably less than this site. While modern additions to the structure have built to the northern property line, the original historic building is nearly equidistant from all four property lines, a condition that is not found anywhere else in the neighborhood. Additionally, this site has approximately 90' linear feet of vehicle curb cut on Cannon Street and Rutledge Avenue, a unique condition to this site, and a condition that contributes to an unsafe pedestrian environment around the site. A further unique condition (that would not be permitted under current regulations) is the presence of multiple large palmetto trees and cluster of sago palms that occupy the corner of the site at the intersection, severely restricting the sight angle of the intersection and further contributing to the unsafe pedestrian environment around the site. These are extraordinary and exceptional conditions that pertain to this particular property and not to other properties within the vicinity, thereby meeting criteria a and b of the variance test.

Response to variance point c:

Given the property's prominent position at the corner of Cannon Street and Rutledge Avenue, it has the potential to be redeveloped as a corner building with adjacent infill. Corner buildings in the Cannonborough-Elliottborough Neighborhood, a predominantly single-family lot neighborhood, serve a vital role as economic and social drivers in the form of restaurants, retail uses, boutiques, offices, coffee shops, and corner general stores, providing commercial options for residents at a scale that is compatible with the small-scale urban pattern of the district. They are commonly mixed-use in character, with upper-level residential units or short-term rental units. It is typical within the district that these corner sites do not completely conform to current zoning standards in one aspect or another. Most of these corner sites are built with zero lot line conditions and have a greater density of residential uses than is typical in the neighborhood, which outside of these corner sites is most commonly single-family residential. Increased density on corner sites provide critical housing options within the district. Many of the new residential projects in the neighborhood have been approved with lower lot area than the current zoning standard, with one notable project at 89-95 Cannon Street approved for 8 units with 1,610 sf / residential unit as recently as 2022. Additionally, the PUD plan for 209 Rutledge Avenue, the southwest corner of the intersection directly across from this site, was approved in 2025 for 25 units at 1,063 sf / residential unit. This project proposes 7 units with 1,708 sf / residential unit (5.3 units allowed under current zoning).

These corner sites are typically deficient on parking as well, due to the fact that most sites in the neighborhood are small, less than .25 acres and the parking required for many commercial uses simply cannot be achieved on most sites within the neighborhood. The current condition of the site adroitly points out the problematic nature of attempting to achieve such large amounts of parking on a small corner site. While the existing configuration of the site is well parked, it produces a detrimental condition for the neighborhood in the form of an unsightly and unsafe asphalt parking lot condition on both street frontages. This is why most corner sites in the district are deficient in parking, but better aligned with the character of the district.

In summary, the parking and density variances being requested align with the urban design and use patterns of the Cannonborough-Elliottborough neighborhood and are consistent with other recent redevelopments in the district. Therefore, the application of the ordinance to this particular piece of property would unreasonably restrict this development, which meets criteria c in the variance test.

Response to variance point d:

The proposed redevelopment has been reviewed positively by the Cannonborough-Elliottborough neighborhood. The existing building on the site was built in the 1950's as a gas station and was highly detrimental to the historic urban character of the neighborhood. The paving of the majority of the site with asphalt, the demolition of historic residential structures, the continuous vehicle curb cuts along the frontages, and the obstruction of sight angles for the intersection all greatly contributed to the decline of this prominent intersection within the district. The redevelopment of the site in alignment with the historic character of corner sites within the neighborhood will create additional commercial space for the use of neighborhood residents, the additional residential units will further support neighborhood

businesses, the scale of infill proposed is compatible with the architectural scale of the district, and the reclamation of the pedestrian environment of the street frontages around the site will contribute to a safer, more walkable neighborhood.

The development will not harm the character of the district, it will in fact serve as a restoration of the historic urban pattern that was degraded and shifted to an auto-centric character at this site in the mid-20th century. It will bring positive change and further support the pedestrian oriented, walkable renaissance currently underway in the Cannonborough-Elliottborough Neighborhood, thereby meeting the criteria d of the variance test.

211 RUTLEDGE AVENUE

Redevelopment of the
SANDERS ESSO SERVICE STATION
CITY OF CHARLESTON | SOUTH CAROLINA



BOARD OF ZONING APPEALS
DECEMBER 2025

NK PARTNERS
CISELL DESIGN STUDIO

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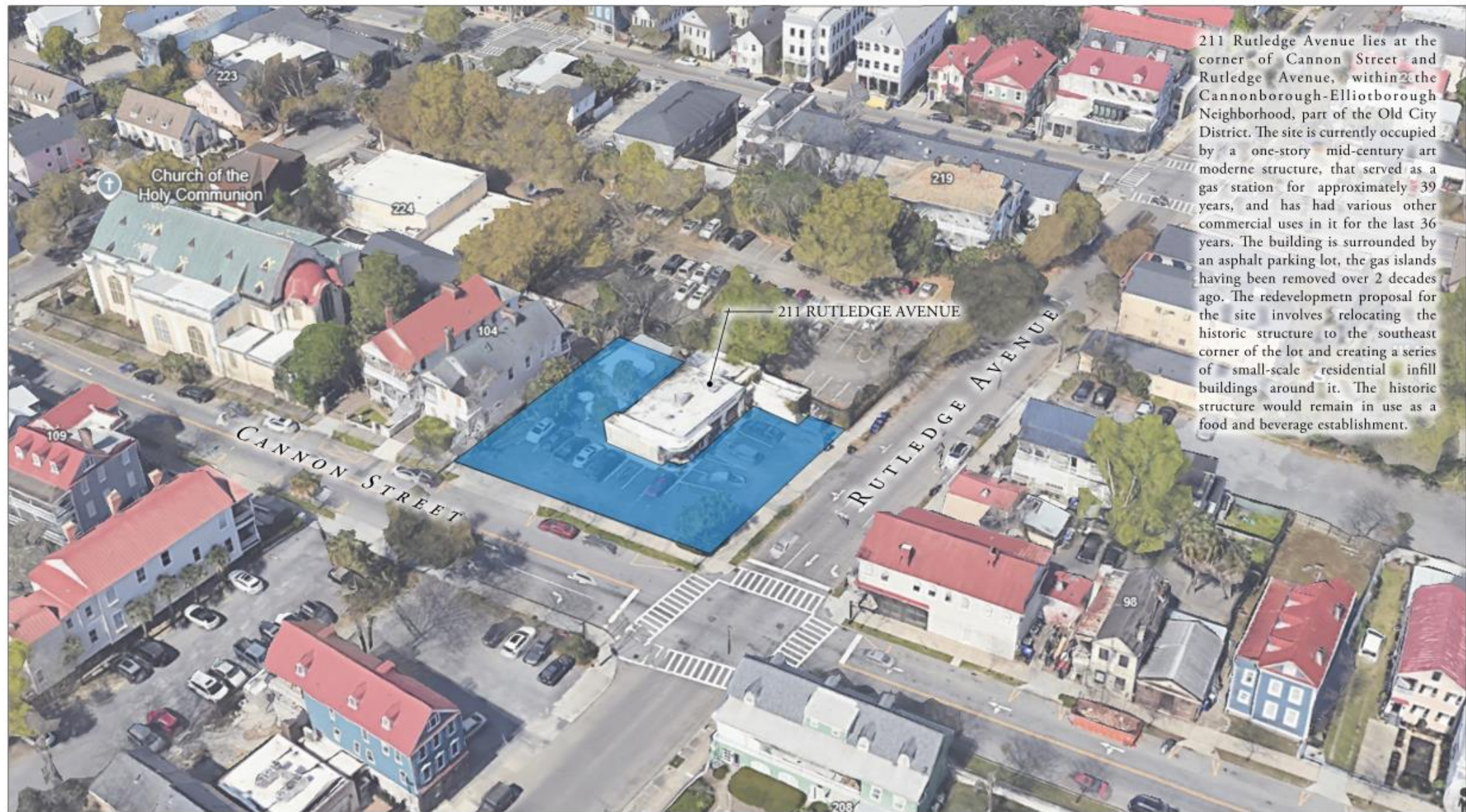
STREETSCAPE ELEVATIONS | MASSING

MASSING CONCEPT VIEW

ANTHONY CISSELL
49 IMMIGRATION STREET, SUITE A
CHARLESTON, SOUTH CAROLINA 29403
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211 Rutledge Avenue lies at the corner of Cannon Street and Rutledge Avenue, within the Cannonborough-Elliottborough Neighborhood, part of the Old City District. The site is currently occupied by a one-story mid-century art moderne structure, that served as a gas station for approximately 39 years, and has had various other commercial uses in it for the last 36 years. The building is surrounded by an asphalt parking lot, the gas islands having been removed over 2 decades ago. The redevelopment proposal for the site involves relocating the historic structure to the southeast corner of the lot and creating a series of small-scale residential infill buildings around it. The historic structure would remain in use as a food and beverage establishment.

NOT TO SCALE

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AERIAL SITE VIEW

211 RUTLEDGE AVENUE | CHARLESTON | SOUTH CAROLINA

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View East on Cannon Street.



View North on Rutledge Avenue.



View West on Cannon Street.



View South on Rutledge Avenue.

NOT TO SCALE

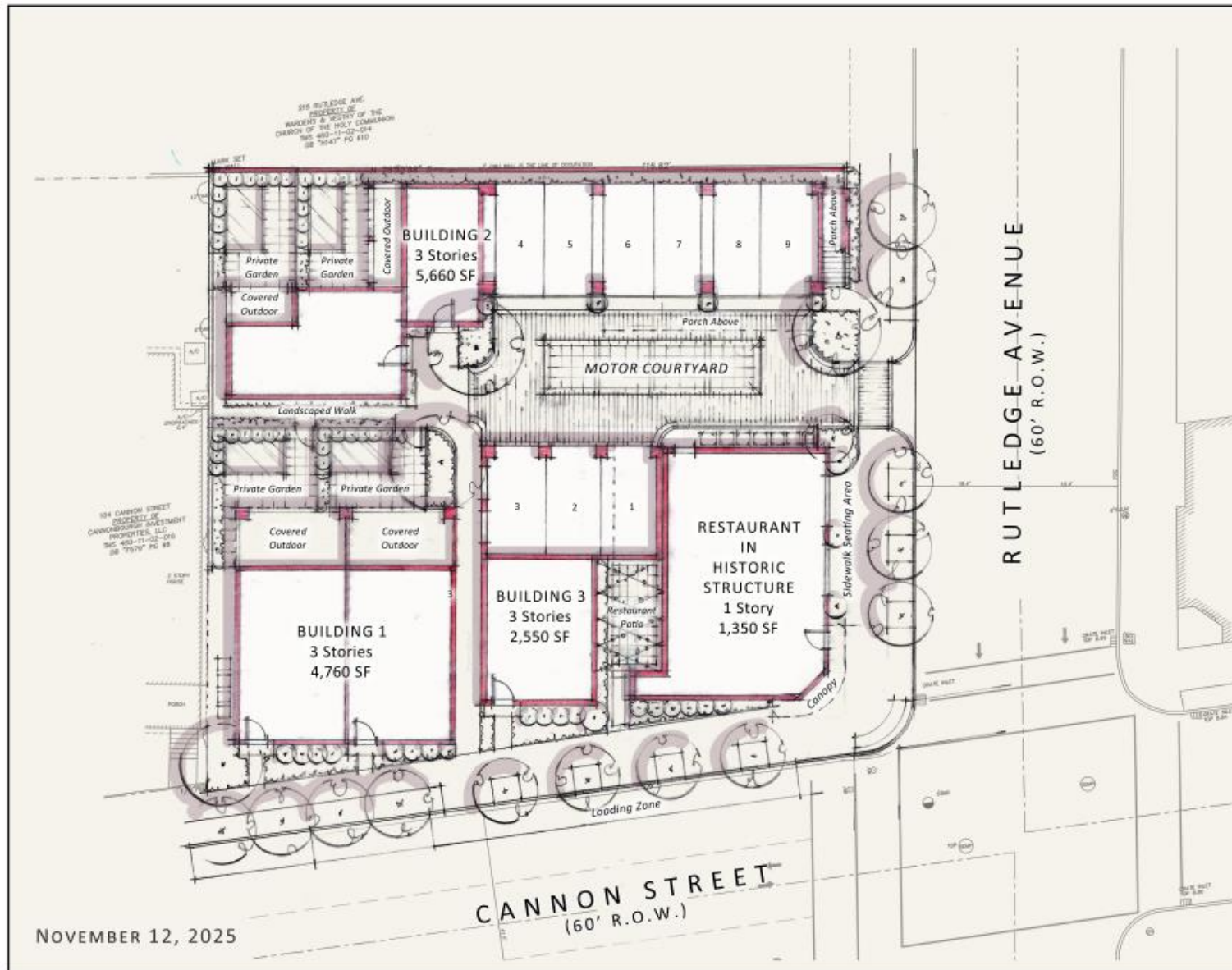
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URBAN CONTEXT

211 RUTLEDGE AVENUE | CHARLESTON | SOUTH CAROLINA

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STREET LEVEL MIXED-USE

ZONING SUMMARY

211 Rutledge Avenue	
TMS: 460-11-02-015	
DB: "C417" Pg 817	
Lot Area	0.275 AC 11,956 SF
Zoning District	LB - Limited Business
• Front & Rear Setbacks	NA (Mixed-Use)
• Side Setback South/West	NA (Mixed-Use)
• Side Setback North/East	NA (Mixed-Use)
• Building Lot Coverage	NA (Mixed-Use)
• Min. Lot Area Multi-Family	2,250 SF
Old City Height District	2.5 - 3 Stories
STR, ST Overlay	Commercial STR

USE SUMMARY

Building 1	
• 2 Dwelling Units 3 Stories 4,760 SF	
Building 2	
• 3 Dwelling Units 3 Stories 5,660 SF	
Building 3	
• 2 Dwelling Unit 3 Stories 2,550 SF	
Commercial Building	
• 1 Commercial Unit 1 Story 1,350 SF	
Total Dwelling Units	7 DU
Lot Area / Unit	1,708 SF
Building Coverage:	7,035 SF (59%)

PARKING SUMMARY

7 Multi-Family Dwelling Units	
• 1.5 SPC / DU Required (11 SPC Req.)	
1 Commercial Unit	
• 1 SPC / 100 SF Interior Patron Area (890 SF/9 SPC Req.)	
• 1 SPC / 130 SF Exterior Patron Area (200 SF/ 1 SPC Req.)	

VARIANCE RELIEF REQUESTS

Request variance from Sec. 54-301 to allow construction of a commercial use building and three residential buildings having seven residential dwelling units with 1,708sf of lot area per dwelling unit (2,250sf required).

Request variance from Sec. 54-317 to allow a commercial building with no off street parking spaces (10 spaces required) and seven residential units with 9 off-street parking spaces (11 spaces required).

0' 10' 20' 30'
SCALE: 1"=20' @ 11x17

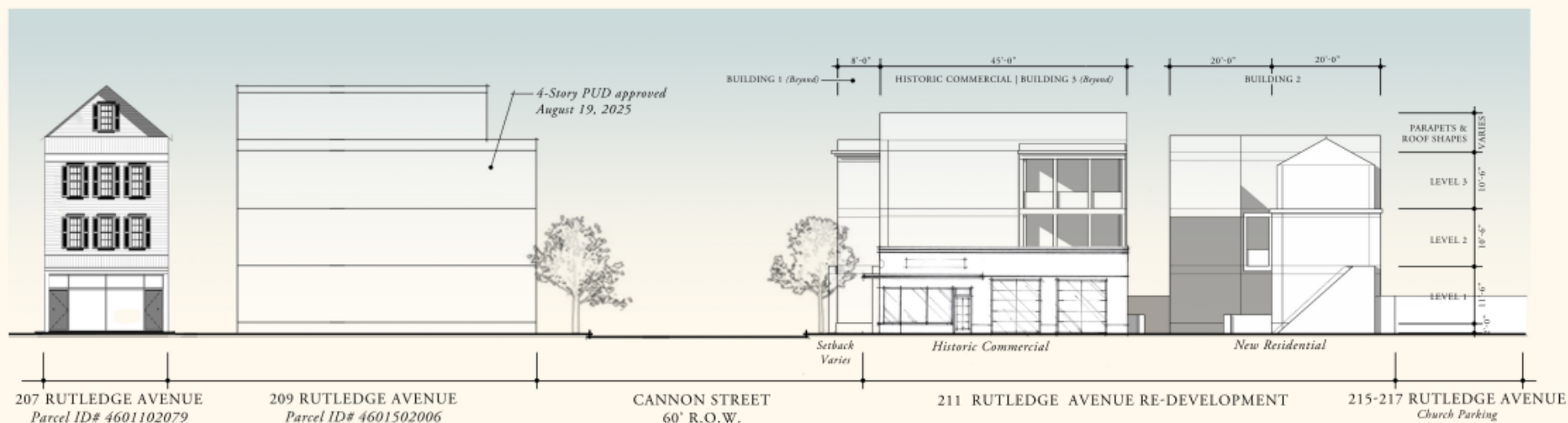
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REDEVELOPMENT CONCEPT STUDY

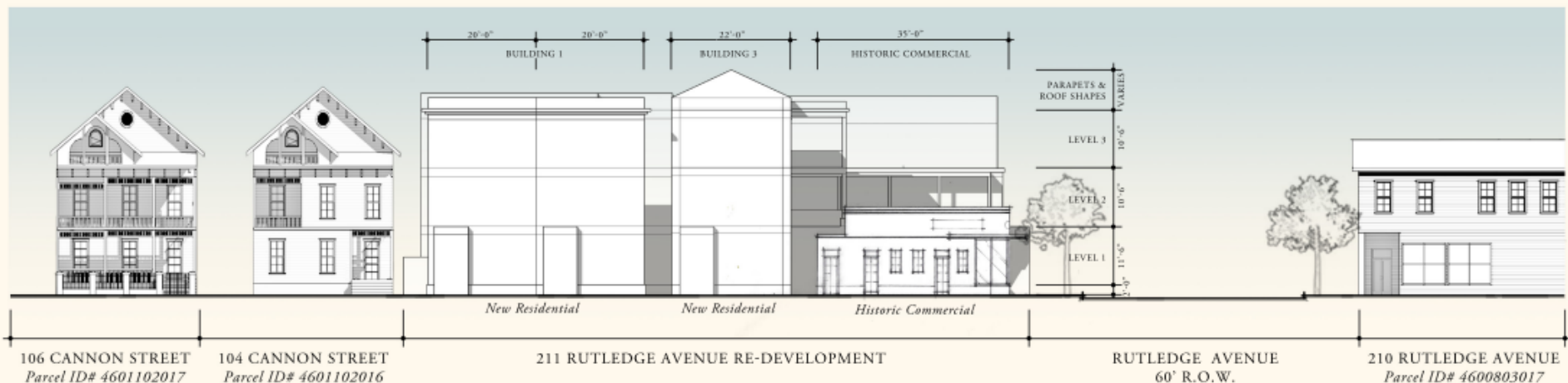
211 RUTLEDGE AVENUE | CHARLESTON | SOUTH CAROLINA

NK PARTNERS

CISSELL DESIGN STUDIO



RUTLEDGE AVENUE CONTEXT



CANNON STREET CONTEXT

NOT TO SCALE

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STREETSCAPE CONTEXT

211 RUTLEDGE AVENUE | CHARLESTON | SOUTH CAROLINA
ESSO STATION MIXED-USE DEVELOPMENT

NK PARTNERS

CISSELL DESIGN STUDIO



NOT TO SCALE

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CONCEPT MASSING

211 RUTLEDGE AVENUE | CHARLESTON | SOUTH CAROLINA

NK PARTNERS

CISSELL DESIGN STUDIO

Agenda Item #A-7

2122 Trescott Ave.
(Silver Hill/Magnolia)
TMS # 464-10-00-074

Request a Special Exception under 54-501 to build a single-family residence on a lot of insufficient size (2145sf existing, 9000sf required) and variances from Sec. 54-301 to establish a 2.5' front setback, a 3' rear setback, and a 5' east setback (25', 25', and 9' required)

Zoned: SR-1



Workspaces ▾



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda. A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days. An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: Dec 16

Property Address 2122 Trescott, Charleston TMS # 464-10-00-074

Property Owner MDM Development Daytime Phone 347-247-0037

Applicant William Smith Daytime Phone 843-751-9611

Applicant's Mailing Address 1247 River Rd. Johns Island
SC 29455 E-mail Address fordbuilt@hughesnet.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Representative

Zoning of property SR-1

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☐ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 11-10-25

For office use only
 Date application received _____ Fee \$ _____
 Staffperson _____ Time application received _____
 Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

(1) Variance on front, back, and side set backs
2.5 ft front setback, 3ft back setback, 5ft
right side setback, left side is 10ft set back
due to lot size being super small
Lot Coverage Variance - 58% due to lot size
being super small.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Special exception due to lot being
to small per zoning

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

2122 TRECOTT AVE.

[illegible]

2122 TRESSCOTT AVE
CHARLESTON, SC
29405

PROJECT OVERVIEW

Neil Stevenson
Charleston, SC
843-749-3850

DATE: 11/12/202

SCALE:

SHEET:

P-1

1. The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Architect in the form of drawings, specifications and written instructions.

2. Contractor shall visit the site to verify all existing dimensions and conditions and shall notify the Architect in writing of any discrepancies before proceeding with the work or shall be responsible. Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of the work to those codes.
3. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety are and shall be the Contractor's responsibility.
5. Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
6. If in the event of conflict between local, state, and national codes, the more stringent shall govern.
7. All construction is to follow the following code: 2011 I.R.C. One and Two Family Dwellings Code, 2011 edition of SC.

Refer to structural drawings in these documents for specific Structural Criteria including live and dead loading for roofs, floors and other structural components. Under no circumstances shall loading be assumed to be less than the applicable building code minimum.

- The conditions and assumptions stated in this documents shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering shall be applied to insure the building structural integrity.
3. These requirements may be superseded by more stringent information within the drawings. The more stringent information shall be followed.
4. Any additional equipment or fixtures not shown on structural drawings and having a weight in excess of 400 pounds shall be brought to the attention of the Architect prior to installation.
5. The basic stability of the structure is dependent upon the diaphragm action of floors, walls and roof acting together. Contractor to provide all gups, braces, struts, etc. as required to accommodate all live, dead and wind loads until all final connections between these elements are made.
6. Basement and foundation walls are dependent upon the completed installation of floors for their stability. Contractor shall not place backfill until these elements are completely installed, or Contractor has provided shoring and bracing as required to adequately retain wall.

1. Contractor is responsible for details not shown in this plan set, including foundation, framing, structural connections, roofing, door and window openings, HVAC, insulation, electrical/plumbing, building envelope, water tightness and water infiltration products, components and details.

1. All construction materials, detailing, dimensions and workmanship not showing in the plans shall comply with the 2021 International Residential Code for One- and Two-Family Dwellings (2021 IRC).
2. The Contractor shall review all layouts and dimensions prior to construction. NS Architects Inc. and the engineer of record shall be notified of any dimensional discrepancy or inconsistencies before materials are ordered or fabricated, and before construction begins.
3. Do not substitute materials, or do not modify layout, spans or structural elements without the written consent of the structural engineer of record or NS Architects Inc.
4. Contractor shall coordinate with electrical, plumbing and mechanical contractors for block out, conduit, sleeves, ducts, chases, embedded items. No large holes or notches are permitted through any walls or wood framing.
5. During construction, all foundations, walls, floors, trusses and other building elements shall be adequately braced with appropriate temporary shoring to resist construction loads until all structural elements have been completely installed and secured.

Architect
Neil Stevenson
Charleston, SC
843-749-3650
neil@nsarchs.com
www.neilstevensonarchitects.com



PROJECT TITLE
2122 TRESSCOTT AVE
DATE
11/12/2025
SCALE
SHEET
A1

2122 TRESSCOTT AVE
CHARLESTON, SC
29405

SITE PLAN

Neil Stevenson
Charleston, SC
843-749-3890
neil@nlsarch.com

DATE:

11/12/2025

SCALE:

SHEET:

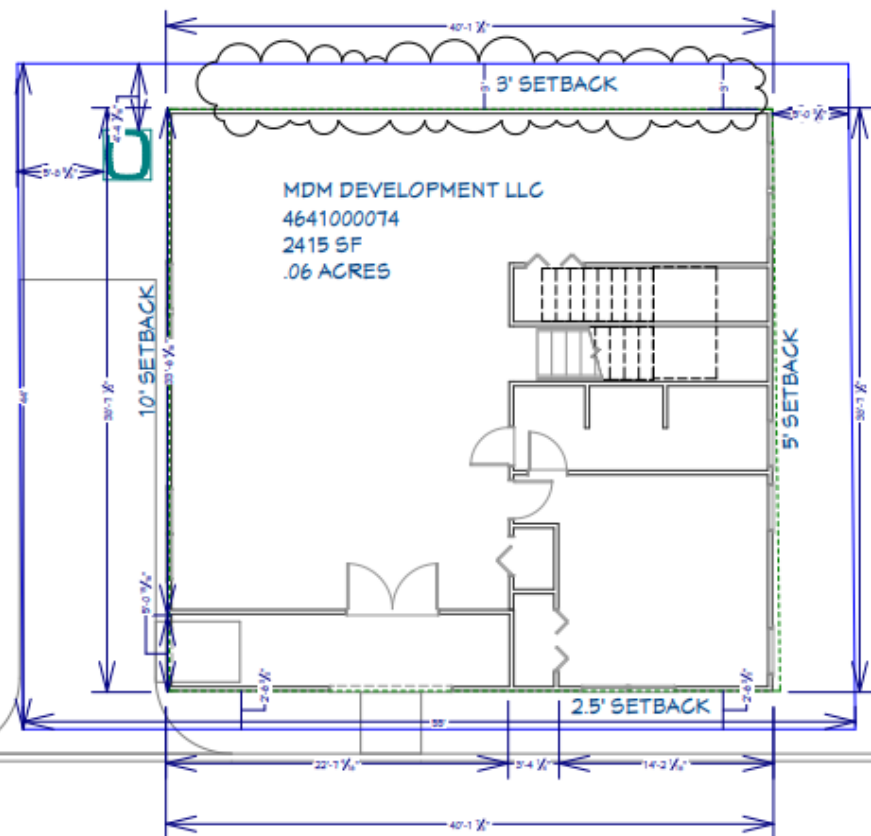
A1

LOT AREA
2418SF

HOUSE AREA
1424SF

LOT COVERAGE
58%

HEATED AREA
2500 SF



TRESSCOTT ST

General Code Notes (South Carolina)

- Governing codes (statewide minimum):
- 2021 South Carolina Residential Code (based on 2021 IRC) with SC amendments, effective Jan 1, 2023. ([SC1.1.1B](#), [ICC Digital Codes](#))
- 2020 National Electrical Code (NECA 70) – statewide adoption effective Jan 1, 2023 (see two-family electrical also via IRC Chapters 34-43 as amended). ([SC1.1.1B](#), [ICC Digital Codes](#), [National Association of Home Builders](#))
- Energy: South Carolina statute adopts the 2009 International Energy Conservation Code (IECC) statewide (residential & commercial). Comply with 2009 IECC as amended by SC law. ([South Carolina Legislature Online](#), [Article 15, Chapter 1](#))
- Note: SC has issued intent to adopt 2024 I-Codes but, unless and until an effective date is set, 2021 SC Codes remain in force. Verify jurisdictional notices at permitting. ([York County Government](#), [SC1.1.1B](#))
- Local amendments: Where local amendments exceed the state minimums, the stricter provisions apply. Confirm with the authority having jurisdiction (AHJ). ([SC1.1.1B](#))
- Referenced standards: Materials and methods shall comply with standards referenced by the adopted codes and the manufacturer's published installation instructions. Where conflicts arise, the more stringent requirement governs. ([ICC Digital Codes](#))

Project Design Criteria

- Use & occupancy: One- and two-family dwelling per IRC/SC Residential Code. ([ICC Digital Codes](#))
- Risk category: II (IRC).
- Design wind speed, Vult: [142] mph; Exposure [B/C/D]; Components & Cladding per IRC R301 & Table R301.2(2) or engineered per ASCE 7 where required. (Costal counties typically require higher Vult – confirm via). ([ICC Digital Codes](#))
- Seismic design category: [B2] per IRC S-505; apply bracing per IRC R602.10 (or engineered design). ([ICC Digital Codes](#))
- Flood hazard: If in SFHA, comply with IRC/SC flood provisions and local flood damage prevention ordinance (elevations, vents, materials). ([ICC Digital Codes](#))
- Terminate protection: Provide per IRC R318 (not treatment, heating, or approved systems). ([ICC Digital Codes](#))

Structural – Wood Framing Notes

- General: Wood framing per IRC Chapter 6 (study, hangers, bolts, plates), fasteners per R802 & Table R802.3(1), and deflection limits as applicable. Provide continuous load path for uplift, shear, and gravity loads. ([ICC Digital Codes](#))
- Wall bracing: Provide prescriptive braced wall panels per IRC R602.10 for the specified wind speed and exposure, or an engineered shear wall design. Coordinate panel frame details at wall openings (gables). ([ICC Digital Codes](#))
- Floor framing: Size joists, girders, and rim boards per IRC R502, use preservative-treated or naturally durable wood where in contact with concrete or masonry. ([ICC Digital Codes](#))
- Roof framing: Rafter/rafter per IRC R802; truss submittals sealed by the truss designer where applicable. Uplift connections per wind design. ([ICC Digital Codes](#))
- Fire-resistance & separation: Where required by IRC R302, provide fire separation in garages, property lines, etc. ([ICC Digital Codes](#))

Foundation – Masonry (Crawl/Basement/Slab) Notes

- Design & materials: Concrete and masonry foundation elements per IRC Chapter 4 (R401-R406). Concrete strength, reinforcement, and footings per tables for soil bearing provide capillary break & damp-proofing where required. ([ICC Digital Codes](#))
- Anchor bolts/wraps: Sill plates PT lumber, anchors per IRC R403.1.6 (diameter, embedment, edge distance, spacing) and uplift requirements for wind. ([ICC Digital Codes](#))
- Foundation vents (crawl): Size and location per IRC R408 unless conditioned crawlspace is designed per code. ([ICC Digital Codes](#))
- Grading & drainage: Top of foundation minimum 6 in above adjacent grade; site drainage per IRC R401.5. ([ICC Digital Codes](#))

Exterior Wall Coverings

- A. Fiber-Content (Hardie®) Siding
 - Code basic: Exterior wall coverings per IRC R703; fiber-content siding installed per IRC R703.3 and the manufacturer's installation instructions (nailing, clearances, joint treatments, coatings). Fasteners corrosion-resistant; penetrate framing as specified. Provide WRB and flashing at all penetrations. ([ICC Digital Codes](#))
 - Substrate & WRB: Install water-resistive barrier per IRC R703.2 over sheathing (e.g., No. 15 felt or code-compliant housewrap). Lap and integrate with window/door flashings and kick-out flashing. ([ICC Digital Codes](#))
 - Reinforcement (if required/desired): Provide furring/vented cavity where specified or where manufacturer or local amendment requires enhanced drainage in high-rain zones.
 - Clearances: Maintain code/manufacturer clearances above roofing, paving, decks, and grade; seal cut edges per manufacturer.
- B. Brick Veneer (adhered or anchored)
 - Anchored brick veneer over wood frame: Provide per IRC R703.7 including 1-in minimum air space, corrosion-resistant metal ties/anchors at code spacing, and weep holes above flashing at S33 in w.c. Provide continuous through-wall flashing at base of walls, above openings, and at shelf angles/ledger transitions. ([ICC Digital Codes](#))
 - Listado: Steel angles sized per IRC Table R703.7.3.2, bearing at joints, and corrosion protection. ([ICC Digital Codes](#))
 - Masonry materials: Mortar and units per ASTM standards referenced by the IRC; control expansion joints as detailed.

Moisture, Air, and Flashing

- WRB & flashing: Install WRB per R703.2 and flashings per R703.4/R703.2.1; include kick-out flashing where roof meets wall; integrate shingle-fashion. ([ICC Digital Codes](#))
- Penetrations: Seal and flash all mechanical, electrical, and plumbing penetrations.
- Vapor retarder: Provide interior vapor retarder class per climate zone and the 2009 IECC/IRC guidance where applicable to assemblies used. ([South Carolina Legislature Online](#))

Energy (South Carolina requirement: 2009 IECC)

- Energy code path: Comply with 2009 IECC (South Carolina Energy Standard) using the Prescriptive (Chapter 4), UA trade-off, or Performance (Title 24) path. Document compliance on the drawings and provide supporting calculations as permitted. ([South Carolina Legislature Online](#))
- Envelope values: Provide insulation/ventilation meeting the applicable 2009 IECC climate zone for the project location (R-values/U-factors, SHGC). Confirm county climate zone and list values on plans. ([Insulation Institute](#))
- Duct & envelope tightness: Where testing is required (e.g., ducts outside conditioned space), follow SC DETC verifier/testing guidance; show duct location and R-values on drawings. ([gasappliance.org](#))
- Lighting & mechanical: Provide high-efficiency lamps per 2009 IECC; programmable 1-state as applicable; and mechanical efficiency labeling on schedules. ([South Carolina Legislature Online](#))

MEP Coordination (high-level plan notes)

- Electrical: One- and two-family dwelling wiring per IRC Chapters 34-43 (as amended in SC) and 2020 NEC. Provide AFCI/GFCI, service/disconnect, surge protection, and raceway spacing per adopted provisions and SC amendments. Coordinate any local amendments noted by AHJ. ([National Association of Home Builders](#))
- Plumbing & Mechanical: Comply with 2021 SC Plumbing Code (IPC) and 2021 SC Mechanical Code (IMC) as adopted with amendments. Closet dryer, bulk line, and range hood venting to exterior; combustion air & clearance per code. ([SC1.1.1B](#))
- Fuel gas: Per 2021 SC Fuel Gas Code (IFGC), leak test and appliance venting per manufacturer and code. ([SC1.1.1B](#))
- Smoke/CO alarms: Locations, interconnection, and power source per IRC R314/R315. ([ICC Digital Codes](#))

Roofing, Flashing, and Gutters

- Roofing, underlayment, drip edge, and penetrations: Flashing per IRC Chapter 9. Provide corrosion-resistant flashing at all roof-to-wall intersections and kick-out flashing. Gutters/downspout stand to discharge away from foundation. ([ICC Digital Codes](#))

Contractor Admin Notes

- Use only listed/approval products: submit manufacturer cut sheets for siding, flashings, WRB, anchors/ties, and sealants; install per manufacturer instructions & code; keep instructions on site. ([ICC Digital Codes](#))
- Special inspections (if required by AHJ) to follow SC amendments and local policy.
- Contractor to verify all dimensions, conditions, and loads prior to fabrication; report discrepancies to the designer.
- Codes: "Design complies with the 2021 South Carolina Residential Code (effective 1/1/2023) and SC amendments; electrical per 2020 NEC/IRC; energy compliance per 2009 IECC as adopted by South Carolina." ([SC1.1.1B](#), [ICC Digital Codes](#), [South Carolina Legislature Online](#))
- Exterior Cladding: "Fiber-content (Hardie®) siding per IRC R703 & manufacturer; Brick veneer per IRC R703.7 with 1 in cavity, corrosion-resistant ties, through-wall flashing, and weeps S33 in w.c." ([ICC Digital Codes](#))
- Foundation: "Masonry foundation per IRC Ch. 4; anchors per R403.1.6; damp-proofing, drainage, and ventilation per code." ([ICC Digital Codes](#))
- Terminate: "Provide terminate protection per IRC R318." ([ICC Digital Codes](#))
- Energy: "2009 IECC compliance: Prescriptive/Trade-off/Performance (whichever one). Provide insulation schedule and documentation ratings on plans; duct/envelope testing as required." ([South Carolina Legislature Online](#), [energy.gov](#))

Sources (key references)

- South Carolina Building Codes Council—2021 SC Codes in effect; effective date Jan 1, 2023; code pages and updates. ([SC1.1.1B](#))
- ICC Digital Codes—2021 South Carolina Residential Code online (amended). ([ICC Digital Codes](#))
- Energy Standard Act (S.C. Code § 48-18-30)—2009 IECC adopted statewide. ([South Carolina Legislature Online](#))
- SC Energy Office—SC DETC verifier / testing info under 2009 IECC. ([energy.gov](#))
- IAEI / NAHB—2020 NEC adoption and SC residential electrical application. ([IAEI Magazine](#), [National Association of Home Builders](#))
- SC ICC & local notices—intent to adopt 2024 codes (verify effective date before permit). ([York County Government](#))



Charleston County SC

PID: 4641000074
OWNER: MCM DEVELOPMENT LLC
PLAT BOOK PAGE: F-154
DEED BOOK PAGE: 1327-204
Jurisdiction: CITY OF CHARLESTON

Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any quantity as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County expressly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.

Author: Charleston County SC
Date: 11/12/2025

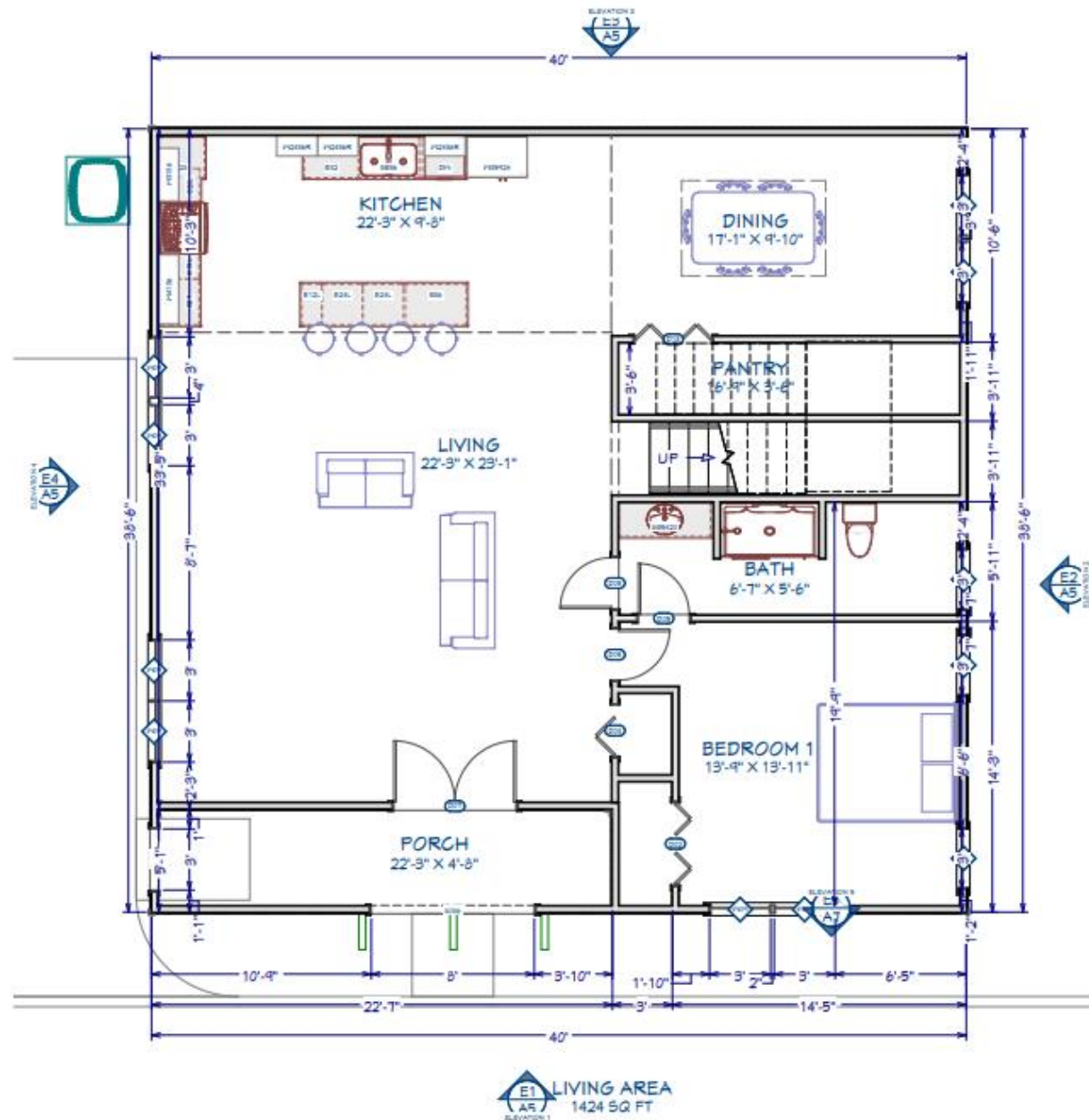


DATE:	
11/12/2025	
SCALE:	
SHEET:	
A2	

2122 TRESSCOTT AVE
CHARLESTON, SC
29405

CODE REFERENCES

Neil Stevenson
Charleston, SC
843-744-3850
nsl@nslarch.com



REVISION	DATE	DESCRIPTION
1	11/12/2025	1st Floor

2122 TRESSCOTT AVE
CHARLESTON, SC
29405

FIRST FLOOR PLAN

Neil Stevenson
Charleston, SC
843-749-3850
neil@nsteven.com

DATE:

11/12/2025

SCALE:

1/2" = 1'

SHEET:

A3



PROJECT NAME	2122 TRECOTT AVE
DATE	11/12/2025
SCALE	1/2" = 1'-0"
SHEET	A4

2122 TRECOTT AVE
CHARLESTON, SC
29405

SECOND FLOOR PLAN

Neil Stevenson
Charleston, SC
843-749-3950
neil@nstaarch.com

DATE:

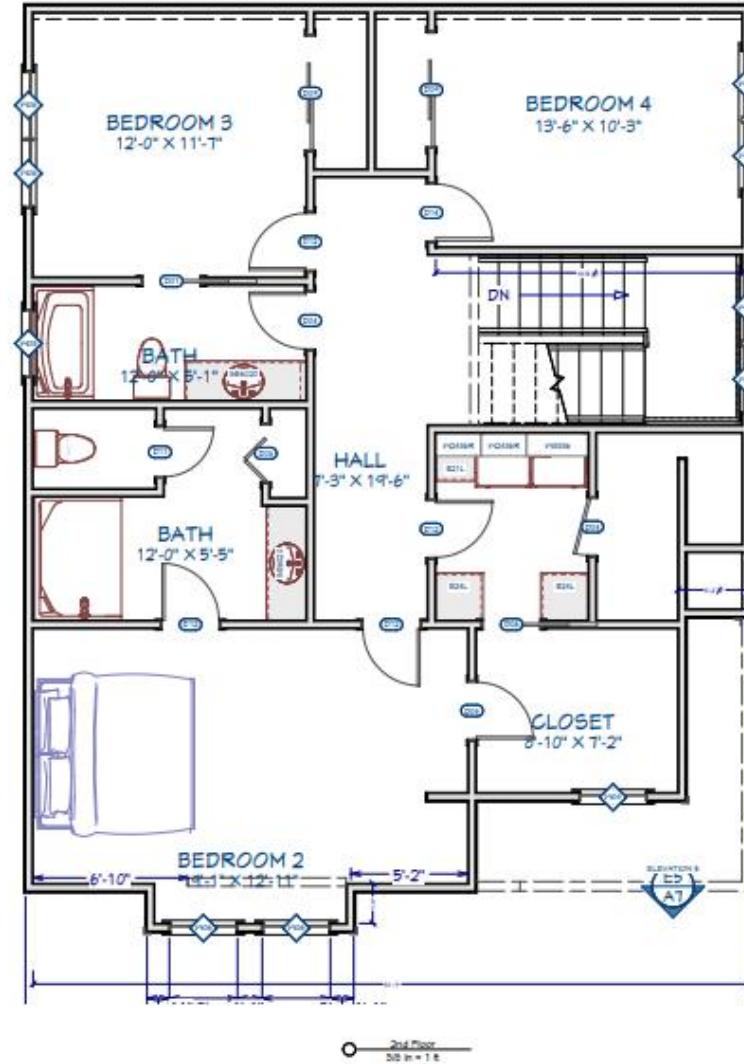
11/12/2025

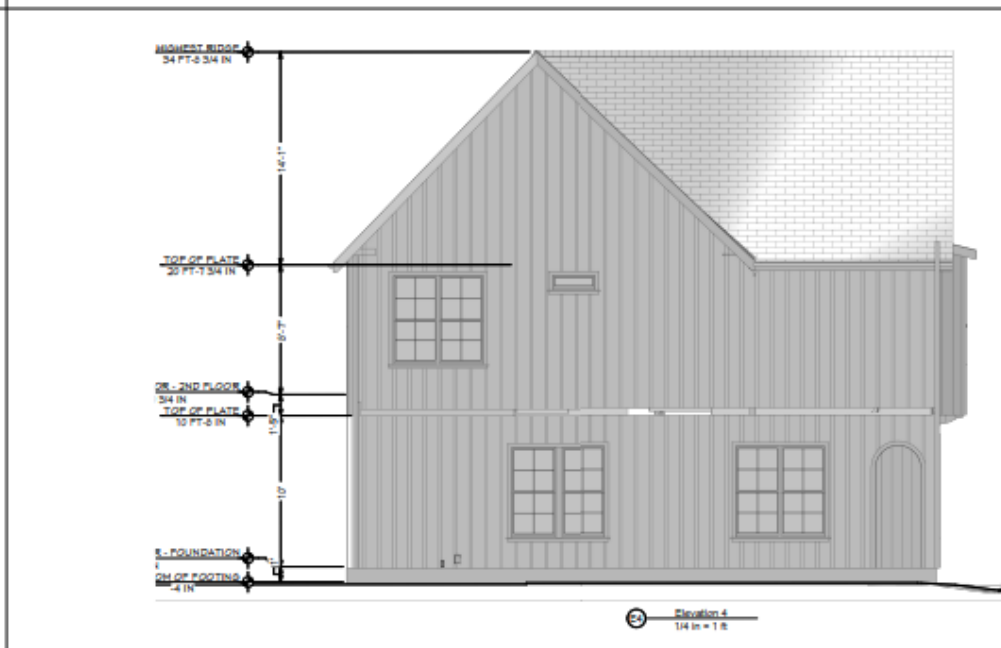
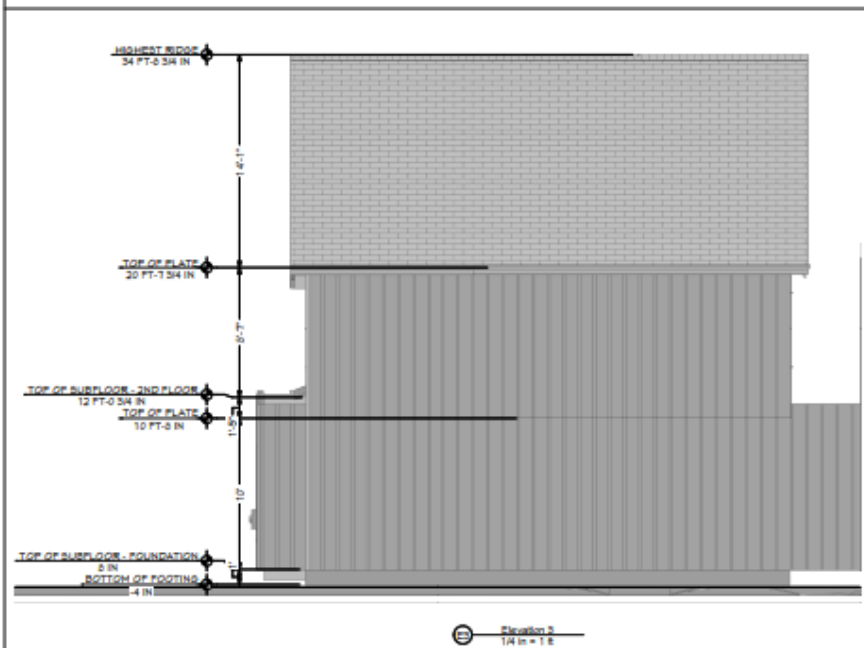
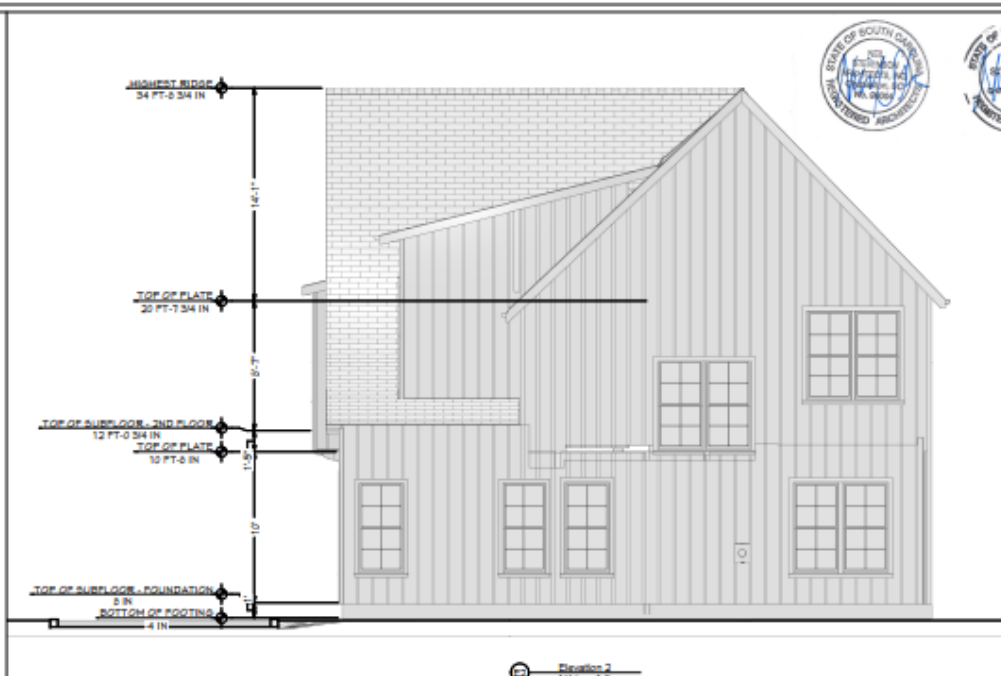
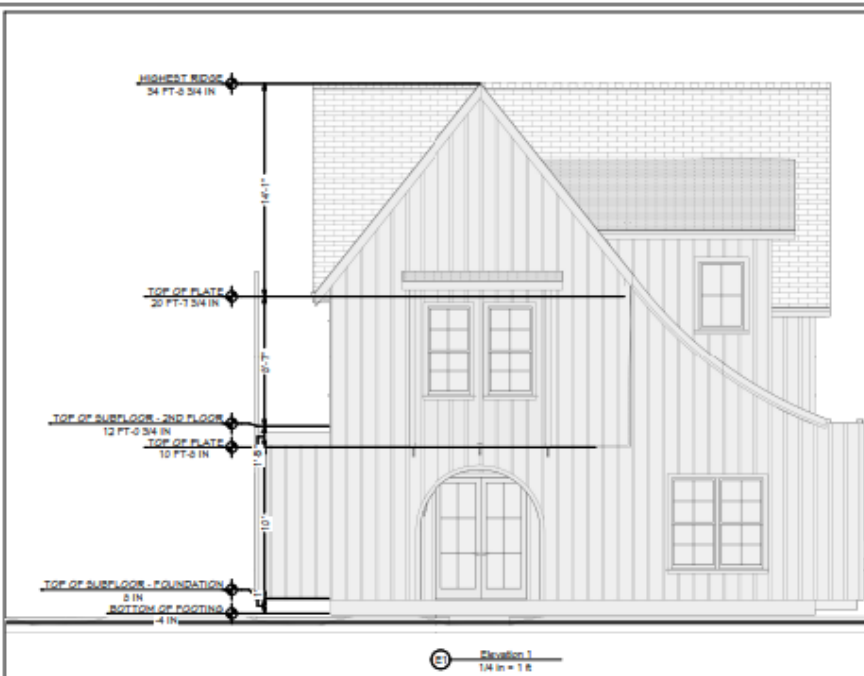
SCALE:

1/2" = 1'-0"

SHEET:

A4





PROJECT NAME	DATE	BY	CHECKED
2122 TRECOTT AVE	11/12/2025		
CHARLESTON, SC			
29405			

2122 TRECOTT AVE
CHARLESTON, SC
29405

FRONT AND REAR
ELEVATIONS

Neil Stevenson
Charleston, SC
843-744-3950
neil@nsarchs.com

DATE:

11/12/2025

SCALE:

1/2"=1'

SHEET:

A5

Agenda Item #B-1

36 South St.

(East Side)

TMS # 459-09-03-027

Request the first one-year extension of vested rights that expire on December 31, 2025 pursuant to Sec. 54-962. The extension is for a special exception to extend a non-conforming west side setback.

Zoned: DR-2F





Workspaces v



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda. A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days. An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☒ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 1-20-26

Property Address 36 South Street TMS # 4590903027

Property Owner Kyle Parker Daytime Phone 631 383 1070

Applicant Aaron Youmans Daytime Phone 842 532 3903

Applicant's Mailing Address 4 Monte Suno Drive Hanahan SC 29410

Email Address aarenyoumans@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) contractor

Zoning of property DR 2F

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☐ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits a proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Amy Date 12-19-25

For office use only

Date application received 12/19/25

Time application received 1051

Staffperson [Signature]

Fee \$ _____

Receipt # _____



PROPERTY LOCATION, TMS NUMBER(S) AND DESCRIPTION OF REQUEST(S):

36 SOUTH ST. (EASTSIDE) (459-09-03-027)

Request special exception under Sec. 54-110 to allow a 2-story addition (storage/kitchen expansion/bedrooms/baths) that extends a non-conforming 3-ft. 8-inch west side setback (7-ft. required.
Zoned DR-2F.

Order on Special Exception Request

The Board of Zoning Appeals-Zoning held a public hearing to consider the above appeal for a special exception which may be permitted by the Board pursuant to the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of fact and conclusions.

☐ DENIED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have not been met and therefore orders that the special exception(s) be denied.

☒ APPROVED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have been met and therefore orders that the special exception(s) be granted, subject to the following conditions, if any:

Date issued: 4/14/2020 Chairman [Signature]

Order on Variance Request

The Board of Zoning Appeals-Zoning held a public hearing to consider an appeal for a variance from the strict application of the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of facts and conclusions.

☐ DENIED. The Board concludes that the requirements for granting a variance have not been met and, therefore, orders that the variance be denied.

☐ APPROVED. The Board concludes that:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. Authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

THE BOARD, THEREFORE, finds that the applicant has an unnecessary hardship and orders that the variance be granted, subject to the following conditions, if any:

Date issued: _____ Chairman _____

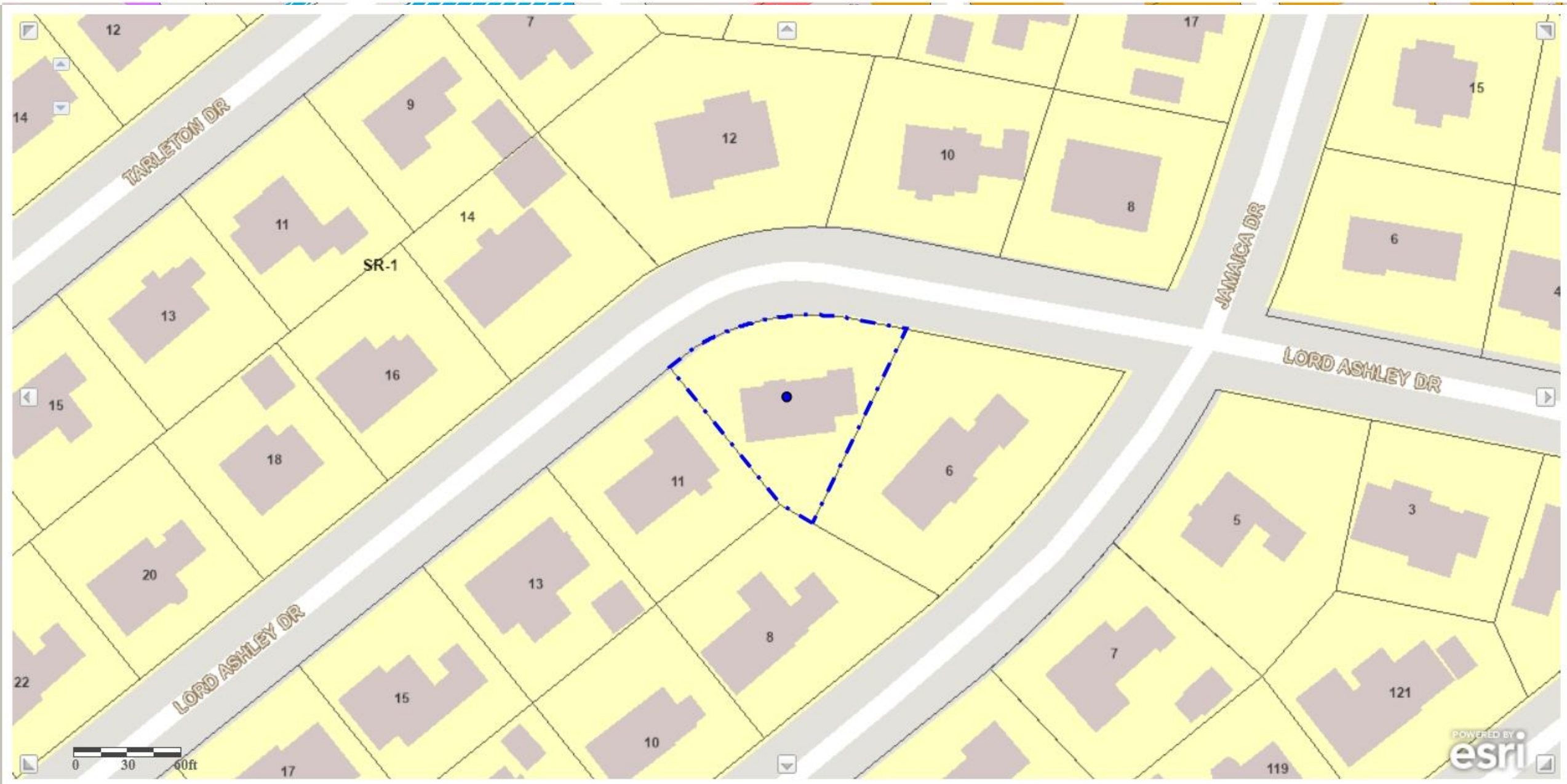
Approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Section 54-962. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Agenda Item #B-2

9 Lord Ashley Dr.
(South Windemere)
TMS # 421-05-00-078

Request the first one-year extension of vested rights that expire on December 31, 2025 pursuant to Sec. 54-962. The extension is for a special exception to extend a nonconforming east side setback and a variance for an 8' front setback (25' required).

Zoned: SR-2





Workspaces ▾

© 2025 Eagleview

2025 Eagleview

50 ft
10 m
20 m



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. Applications are due by 12 Noon on the deadline date and **must** be complete to be accepted and placed on an agenda. A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days. An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☒ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: _____

Property Address 9 LORD ASHLEY DRIVE TMS # 421-05-00-078

Property Owner KENT AND CATHERINE FLANAGAN Daytime Phone 239-398-6605

Applicant KENT AND CATHERINE FLANAGAN Daytime Phone _____

Applicant's Mailing Address 9 LORD ASHLEY DRIVE CHARLESTON SC 29407

E-mail Address CRSTAPLES@GMAIL.COM

Relationship of applicant to owner (same, representative, prospective buyer, other) SAME

Zoning of property RESIDENTIAL

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☒ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits a proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☒ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Kent P. Flanagan

Date 12/19/2025

For office use only

Date application received _____

Staffperson _____

Fee \$ _____

Time application received _____

Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Requesting extension on the previously approved
variance of front and side setbacks. Existing
garage is 5' from property line and 9' setback
was implemented after construction of existing garage.
Lot is non-conforming and we met the tests below
with current variance approval attached.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



City of Charleston

PROPERTY LOCATION, TMS NUMBER(S) AND DESCRIPTION OF REQUEST(S):

9 Lord Ashley Dr.
South Windermere | TMS #421-05-00-078 | Zoned: SR-1
Request special exception under Sec. 54-110 to allow a rear addition and front addition that extends a non-conforming 4.9-ft.-ft. east side setback (9-ft. required). Request variance from Sec. 54-301 to allow a garage expansion with an 8-ft. front setback (25-ft. required).

Order on Special Exception Request

The Board of Zoning Appeals-Zoning held a public hearing to consider the above appeal for a special exception which may be permitted by the Board pursuant to the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of fact and conclusions:

☐ DENIED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have not been met and therefore orders that the special exception(s) be denied.

☒ APPROVED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have been met and therefore orders that the special exception(s) be granted, subject to the following conditions, if any:

Date issued: 9/5/23 Chairman M. J. Tuller

Order on Variance Request

The Board of Zoning Appeals-Zoning held a public hearing to consider an appeal for a variance from the strict application of the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of facts and conclusions.

☐ DENIED. The Board concludes that the requirements for granting a variance have not been met and, therefore, orders that the variance be denied.

☒ APPROVED. The Board concludes that:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. Authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

THE BOARD, THEREFORE, finds that the applicant has an unnecessary hardship and orders that the variance be granted, subject to the following conditions, if any:

Date issued: 9/5/23 Chairman M. J. Tuller

Approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Section 54-962. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

REFERENCES

1. PLAT BY J. O'HEAR SANDERS, JR. RECORDED IN THE CHARLESTON COUNTY ROD OFFICE ON OCTOBER 26, 1951 IN PLAT BOOK H PAGE 95.
2. PLAT BY J. O'HEAR SANDERS, JR. RECORDED IN THE CHARLESTON COUNTY ROD OFFICE ON JUNE 17, 1953 IN PLAT BOOK J PAGE 44.



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	19.87	N51°41'14"W



NOTES

1. AREA DETERMINED BY COORDINATE METHOD.
2. DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
3. ELEVATIONS SHOWN ARE TIED TO NAVD 1986 DATUM. BENCHMARK USED FOR ELEVATION DETERMINATION: HYENA.
4. ANYTHING OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
5. NO INVESTIGATION OR INDEPENDENT SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
6. THIS SURVEY DOES NOT INTEND TO SHOW THE EXISTENCE OR NONEXISTENCE OF U.S. ARMY CORPS OF ENGINEERS "JURISDICTIONAL FRESHWATER WETLANDS".
7. THE PUBLIC RECORDS REFERENCED ON THIS PLAT OR SURVEY, ARE ONLY THOSE USED AND/OR NECESSARY FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
8. THIS PROPERTY IS LOCATED IN ZONE "X-SHADED" AND IS LOCATED ON FEMA MAP PANEL 45018C0513K, EFFECTIVE DATE JANUARY 29, 2021, COMMUNITY NUMBER 455412.
9. ZONING-SR-1

1/4" IRON ROD FOUND

LEGEND

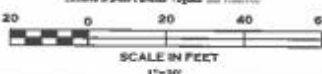
- CORNER FOUND AS NOTED
- 1/4" IRON ROD SET UNLESS OTHERWISE NOTED
- CALCULATED POINT
- STRUCTURE WALL/SIDEWALK UNLESS OTHERWISE NOTED
- - - ADJACENT PROPERTY LINE/RIGHT-OF-WAY LINE
- WOODEN FENCE

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

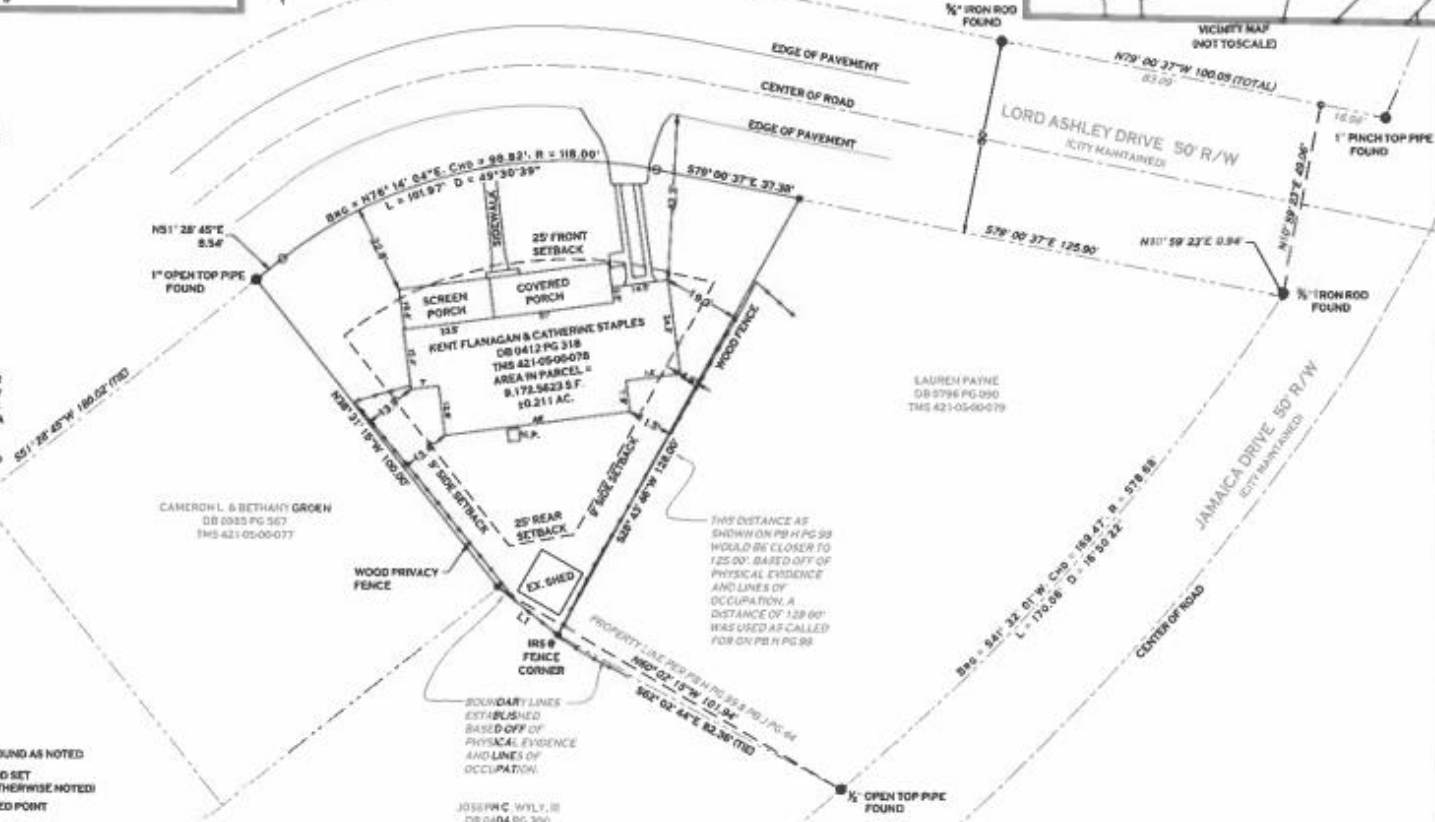
MATTHEW L. BLACKWELL, S.C.P.L.S. #36187
THIS PLAT IS INVALID UNLESS IT CONTAINS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE STATED SURVEYOR

WOODLAND
LAND SURVEYING, LLC

1111 GORPCT, SUMMERVILLE, SC 29585 • PHONE 803.274.4814
www.woodlandsurveying.com • 151945 154-0171
Licensed in South Carolina, Virginia and Tennessee



AS-BUILT SURVEY
OF
TMS 421-05-00-078
LOT 347
SOUTH WINDERMERE
OWNED BY KENT FLANAGAN & CATHERINE STAPLES
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA
SURVEYED AT THE REQUEST OF KENT FLANAGAN
DATE OF SURVEY: JANUARY 24, 2022



BOARD OF ZONING APPEALS — ZONING

ADDRESS 9 Lord Ashley Dr.

- ☒ APPROVED FOR ☒ SET BACK Additions
- ☐ DENIED ☐ DENSITY
- ☐ WITHDRAWN ☐ PARKING
- ☐ AS SUBMITTED ☐ HEIGHT
- ☐ W/CONDITIONS ☒ LOT OCCUPANCY
- ☒ USE/ON SPECIAL EXCER
- ☐ OTHER

9-5-23

DATE ZONING OFFICIAL [Signature]

*THIS APPROVAL EXPIRES IN TWO YEARS UNLESS AN EXTENSION IS APPROVED PURSUANT TO SEC. 54-962

*THIS DOES NOT CONSTITUTE APPROVAL BY OTHER CITY BOARD OF ZONING APPEALS

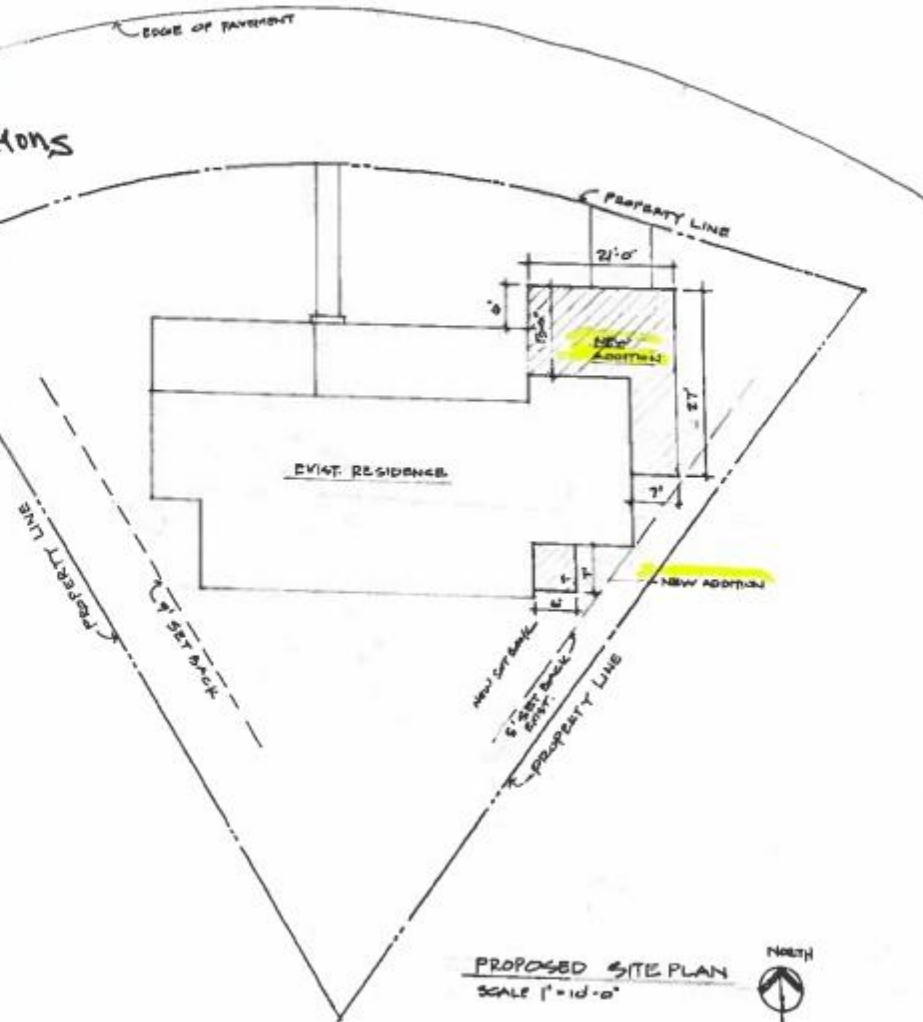
9 LORD ASHLEY DR
PARCEL 421-05-00-018
LOT SF 9172 SF

EXISTING LOT COVERAGE
2356 SF - 25%

PROPOSED ADDITIONAL SF
413 SF

NEW TOTAL SF
2769 SF - 29.9%

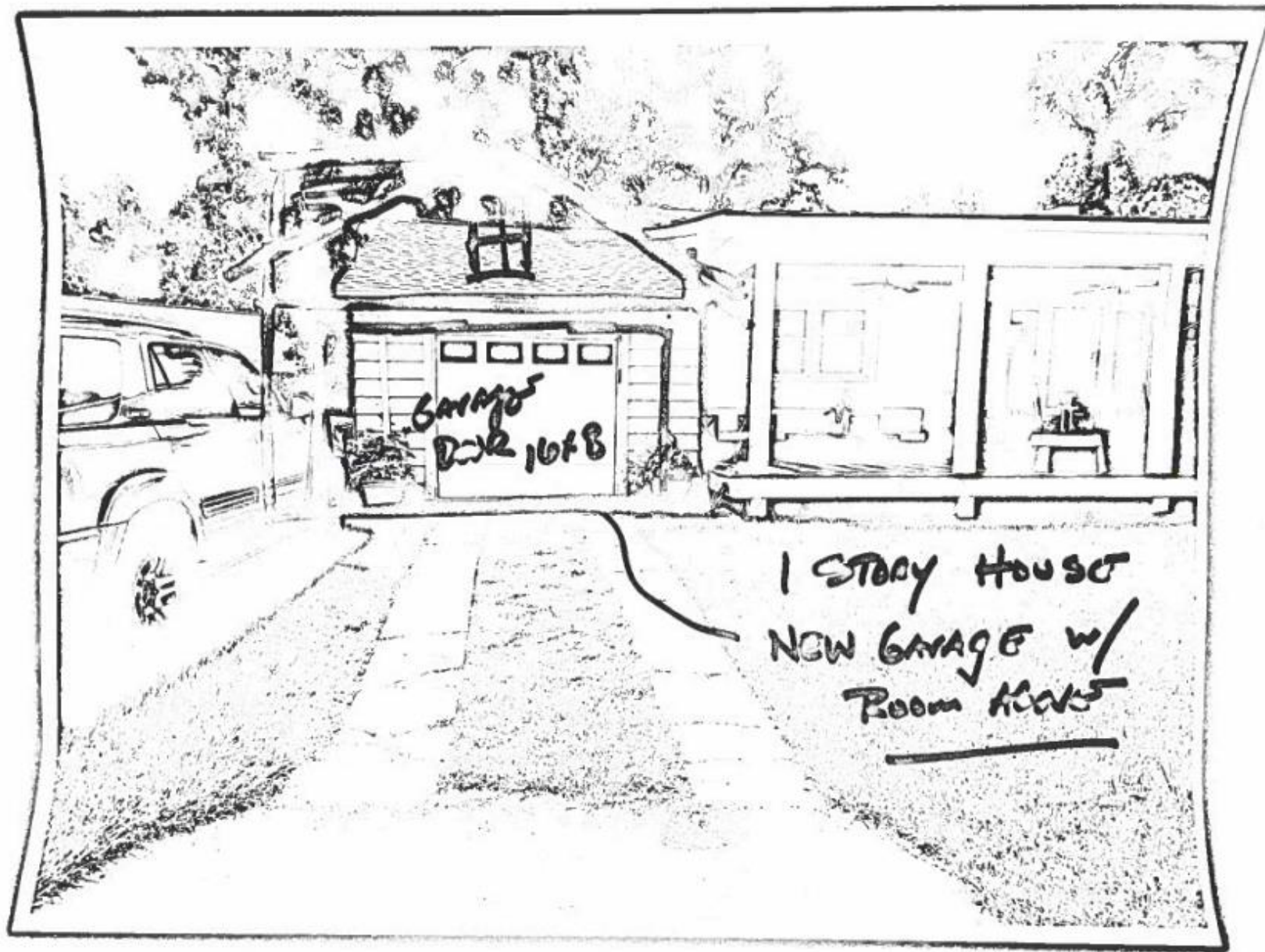
ONE STORY RESIDENCE



PROPOSED SITE PLAN
SCALE 1" = 10'-0"



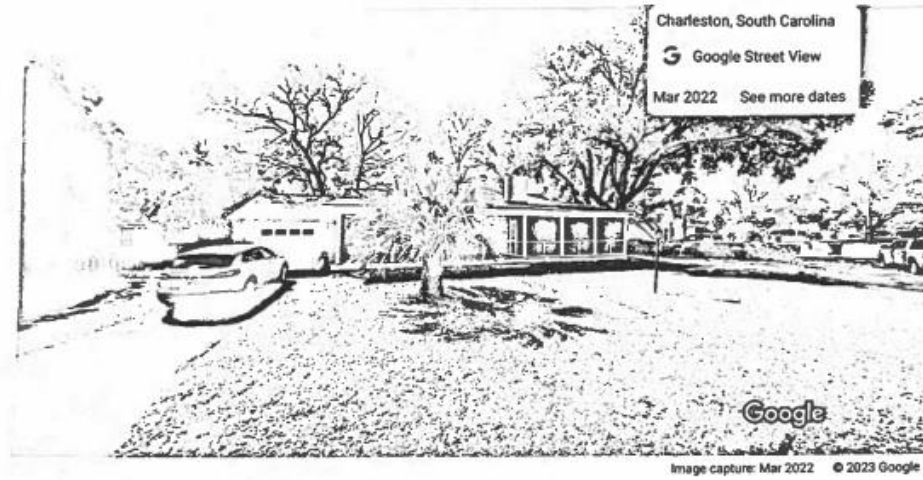
ADDITION & RENOVATION FOR FLANAGAN RESIDENCE
LORD ASHLEY DR



1 STORY HOUSE
NEW GARAGE w/
Room ACROSS

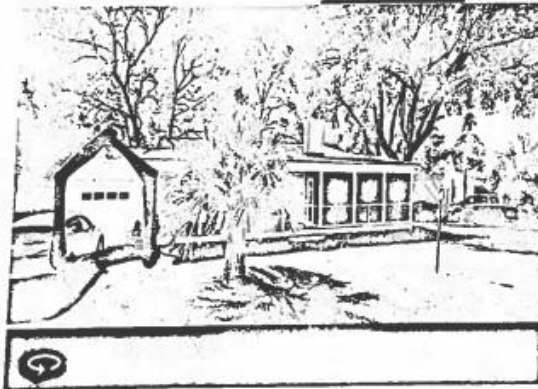
Go gl eMaps 9 Lord Ashley Dr

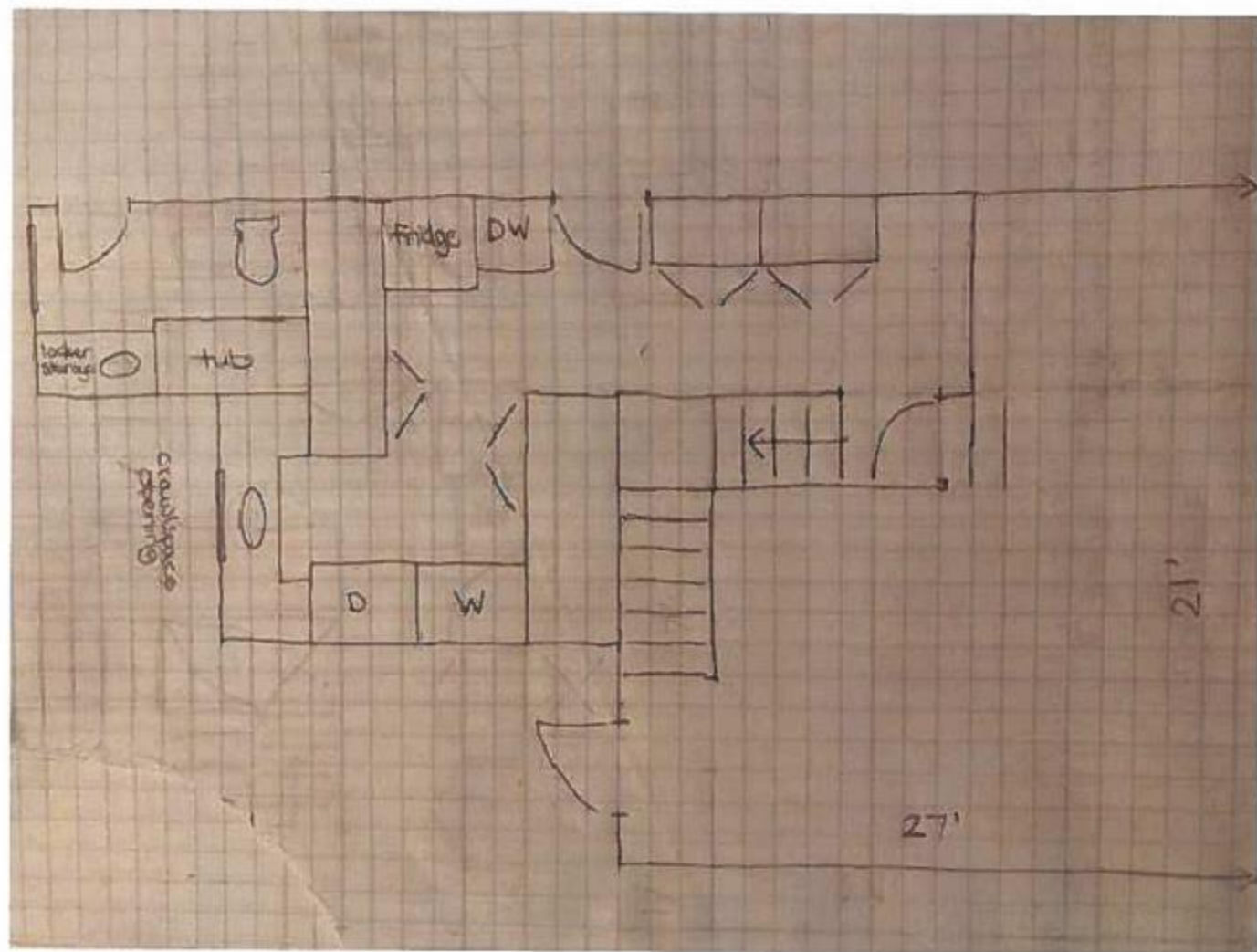
JS)



All

Street View & 360°





Agenda Item #B-3

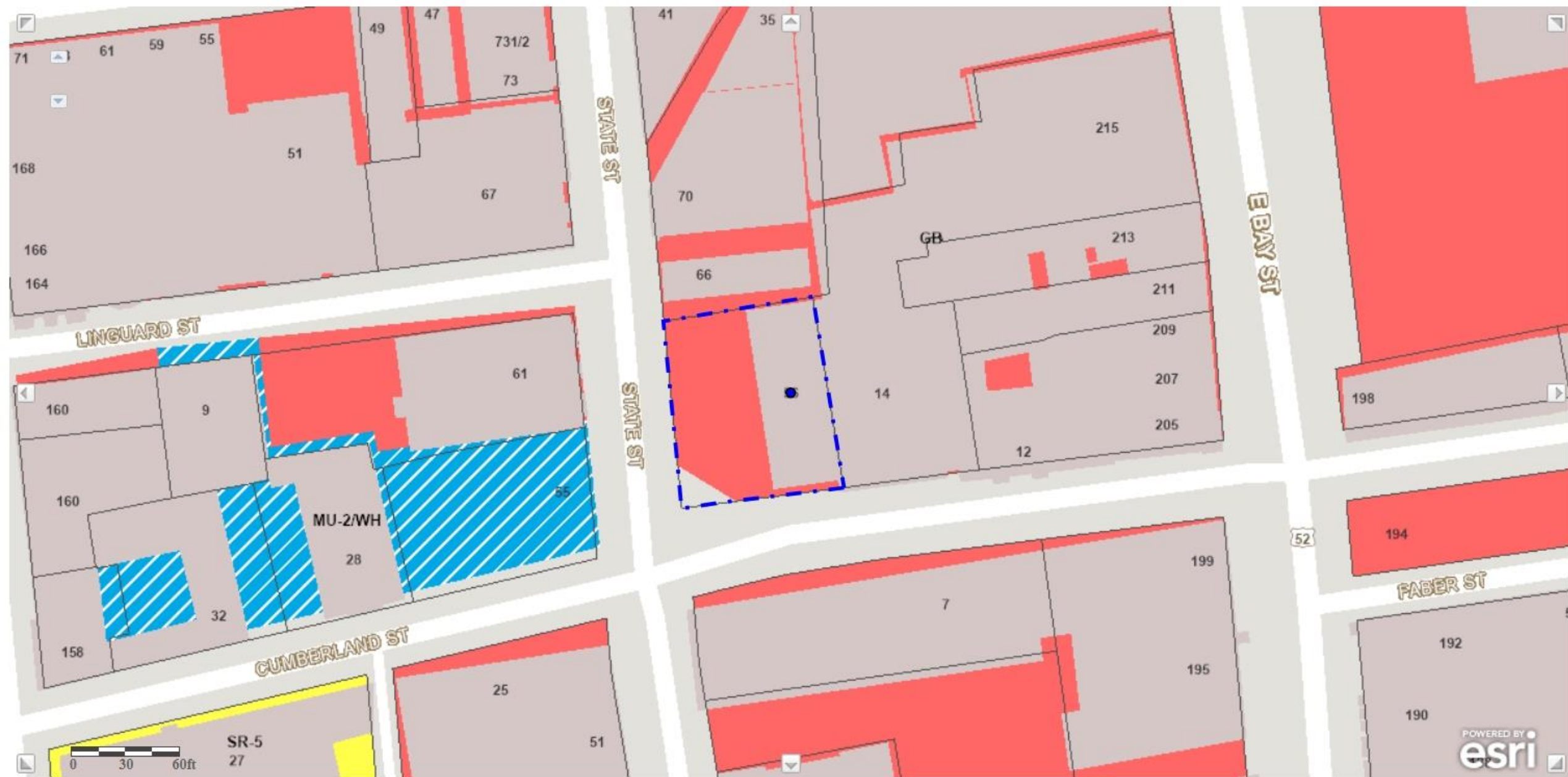
56 State St.

(French Quarter)

TMS # 458-05-03-108

Request the first one-year extension of vested rights that expire on December 31, 2025 pursuant to Sec. 54-962. The extension is for a special exception to allow a 50-unit accommodations use.

Zoned: SR-2







Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☒ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: January 20, 2026

Property Address 56 State Street TMS # 458-05-03-108

Property Owner 56 State SC Property LLC Daytime Phone 617-721-4470

Applicant Womble Bond Dickinson (US) LLP, James Wilson Daytime Phone 843-475-4004

Applicant's Mailing Address 5 Exchange Street, Charleston SC 29401

E-mail Address james.wilson@wbd-us.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Attorney

Zoning of property _____

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant James M. Wilson Date 12/11/25

For office use only
Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

See attached Exhibit A.

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

EXHIBIT A
to
Application for Extension of Special Exception

Pursuant to Section 54-962 of the Ordinances of the City of Charleston, the Owner hereby requests a one-year extension of the previously approved Special Exception for a 50 room hotel project to be constructed at 56 State Street. A copy of the approval from the previously approved Special Exception granted by the BZA on June 7, 2022, is attached hereto. This is the first one-year extension being requested.

The initial two-year vested right period for the Special Exception was suspended by operation of law from January 1, 2020 through December 31, 2023 under the Permit Extension Joint Resolution of 2023, as a result of which the vested period under the initial two-year period extends through December 31, 2025. This first one-year extension period should commence on January 1, 2026 and extend through January 1, 2027.



PROPERTY LOCATION, TMS NUMBER(S) AND DESCRIPTION OF REQUEST(S):

56 STATE ST. (458-05-03-108)

Request special exception under Sec. 54-220 to allow a 50-unit accommodations use in a GB-A (General Business-Accommodations) zone district.

Order on Special Exception Request

The Board of Zoning Appeals-Zoning held a public hearing to consider the above appeal for a special exception which may be permitted by the Board pursuant to the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of fact and conclusions.

- ☐ DENIED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have not been met and therefore orders that the special exception(s) be denied.
- ☒ APPROVED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have been met and therefore orders that the special exception(s) be granted, subject to the following conditions, if any:

Date issued: 6/1/22 Chairman

Order on Variance Request

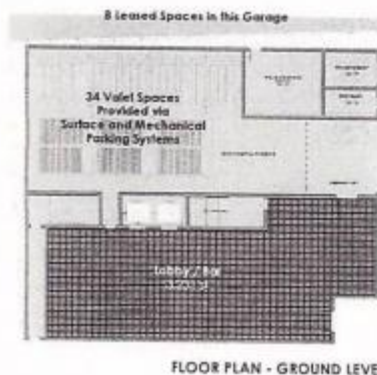
The Board of Zoning Appeals-Zoning held a public hearing to consider an appeal for a variance from the strict application of the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of facts and conclusions.

- ☐ DENIED. The Board concludes that the requirements for granting a variance have not been met and, therefore, orders that the variance be denied.
- ☒ APPROVED. The Board concludes that:
1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
 2. These conditions do not generally apply to other property in the vicinity;
 3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
 4. Authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

THE BOARD, THEREFORE, finds that the applicant has an unnecessary hardship and orders that the variance be granted, subject to the following conditions, if any:

Date issued: 6/1/22 Chairman

Approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Section 54-962. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



FLOOR PLAN - GROUND LEVEL



FLOOR PLAN - MEZZANINE LEVEL



FLOOR PLAN - SECOND & THIRD LEVELS



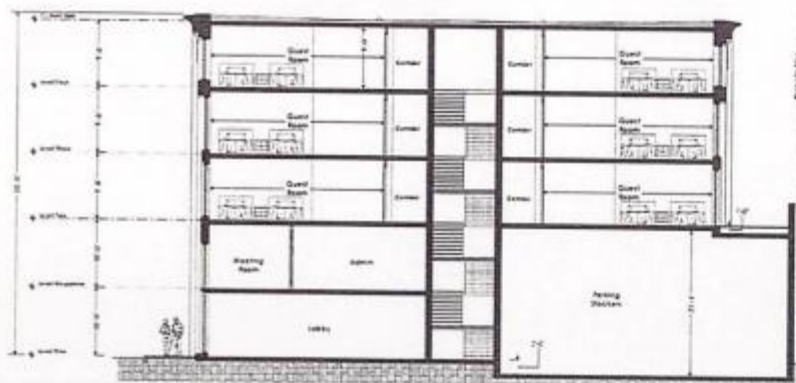
FLOOR PLAN - FOURTH LEVEL

PART 5 - PERMITTED USES FOR OVERLAY ZONES
Sec. 54-220 - Accommodations overlay zone.

RESTAURANT & BAR REQUIREMENTS

(f) the total square footage of interior and exterior floor area for restaurant and bar space in the proposed accommodations use, including restaurant/bar patron use areas, bar areas, kitchen, storage, and bathroom facilities, shall not exceed 12 percent of the total interior, conditioned floor area in the accommodations use, except that each accommodations use shall be permitted to exempt from the calculation of total restaurant floor area one interior, ground floor restaurant tenant space if the total tenant space does not exceed 2,000 square feet, the restaurant tenant does not serve alcoholic beverages, and the exempt restaurant tenant space is clearly labeled with these restrictions on the floor plans submitted with the application for this zoning special exception;

37,592 sf x 0.12 = 4,511 sf Restaurant and Bar Area Allowed
2,231 sf Restaurant and Bar Area Shown (8.6%)



PART 5 - PERMITTED USES FOR OVERLAY ZONES
Sec. 54-220 - Accommodations overlay zone.

MEETING SPACE REQUIREMENTS

(k) (1) The proposed accommodations use incorporates meeting and conference space at a ratio of 400 square feet per 10 sleeping units, or fraction thereof, with respect to the first 150 sleeping units, and incorporates meeting and conference space at a ratio of 1000 square feet for every 10 sleeping units, or fraction thereof, exceeding 150 sleeping units. In either case, at least 75% of the meeting and conference space shall be contiguous.

50 Guestrooms / 10 = 5 x 400 = 2,000 sf Meeting Space Required
2,00 sf Meeting Space Area Shown

75% Contiguous Meeting Space: 2,000 sf x .75 = 1,500 sf
1,700 sf Contiguous Meeting Space Provided on Mezzanine Level

PARKING REQUIREMENTS

Hotel Use: 2 per 3 Rooms: 50 Rooms / 3 = 16.67 x 2 = 33.33 (34) Spaces Required
34 Valet Spaces Provided via Surface and Mechanical Parking Systems in Hotel Garage

Employee: 8 Spaces Estimated Per Owner Narrative

8 Parking Spaces provided per lease agreement in parking deck adjacent to this property to the East

* Parking shall be provided as necessary based on final employee calculations and as approved by the City Administrator

LEVEL	SQUARE FOOTAGES			GUESTROOMS
	GROSS	RESTAURANT AND BAR	MEETING SPACE	
1	8,902	3,231	0	0
M	4,000	0	2,000	0
2	8,220	0	0	17
3	8,220	0	0	17
4	8,220	0	0	16
TOTALS	37,592	3,231	2,000	50

BOARD OF ZONING APPEALS - ZONING

ADDRESS 56 State Street

☒ APPROVED FOR: ☐ SET BACK 50-40
☐ DENIED ☐ DENSITY accommodations use
☐ WITHDRAWN ☐ PARKING
☒ AS SUBMITTED ☐ HEIGHT
☐ W/CONDITIONS ☒ LOT OCCUPANCY
☐ USE OR SPECIAL EXCEPT ☐ OTHER

DATE 6-4-22 BY PP ZONING OFFICIAL

*THIS APPROVAL EXPIRES WITHIN TWO YEARS UNLESS AN EXTENSION IS APPROVED PURSUANT TO SEC. 54-062
 *THIS DOES NOT CONSTITUTE APPROVAL BY OTHER CITY BOARDS OR DEPARTMENTS.



Agenda Item #B-4

84-88 Society St.

(East Central)

TMS # 421-06-00-129

Request the first one-year extension of vested rights that expire on December 31, 2025 pursuant to Sec. 54-962. The extension is for a special exception to allow a 50-unit accommodations use.

Zoned: GB







City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☒ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: January 20, 2026

Property Address 84-88 Society Street TMS # 457-04-04-025 & -113

Property Owner LL Hotel Charleston Owner LLC Daytime Phone 843-414-9753

Applicant Brian Hellman, Hellman & Yates, PA Daytime Phone 843-414-9753

Applicant's Mailing Address 105 Broad Street, Third Floor, Charleston, SC 29401

E-mail Address bh@hellmanyates.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Attorney

Zoning of property MU-2/WH

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 05.20.25

For office use only		
Date application received	_____	Time application received _____
Staffperson	_____	Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

This Application is for an extension of that certain Special Exception for a 50-unit accommodation use granted
by the Board of Zoning Appeals - Zoning on February 21, 2023, a copy of which is attached hereto and
incorporated herewith.

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



PROPERTY LOCATION, TMS NUMBER(S) AND DESCRIPTION OF REQUEST(S):

84-88 Society St.

Ansonborough | TMS #457-04-04-025 and 113

Request special exception under Sec. 54-220 to allow a 50-unit accommodations use in a GB-A (General Business-Accommodations) zone district.

Order on Special Exception Request

The Board of Zoning Appeals-Zoning held a public hearing to consider the above appeal for a special exception which may be permitted by the Board pursuant to the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of fact and conclusions.

☐ DENIED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have not been met and therefore orders that the special exception(s) be denied.

☒ APPROVED. The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have been met and therefore orders that the special exception(s) be granted, subject to the following conditions, if any: Letter from HANA dated Feb 21, 2023
with change to condition #4. See attached

Date issued: Feb 21/2023 Chairman: [Signature] (acting)Order on Variance Request

The Board of Zoning Appeals-Zoning held a public hearing to consider an appeal for a variance from the strict application of the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of facts and conclusions.

☐ DENIED. The Board concludes that the requirements for granting a variance have not been met and, therefore, orders that the variance be denied.

☐ APPROVED. The Board concludes that:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. Authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

THE BOARD, THEREFORE, finds that the applicant has an unnecessary hardship and orders that the variance be granted, subject to the following conditions, if any: _____

Date issued: _____ Chairman: _____

Approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Section 54-962. Applicants may not apply for the same request that has been denied by the Board until 1/09



4. 84-88 Society St.

Ansonborough | TMS #457-04-04-025 and 113

Request special exception under Sec. 54-220 to allow a 50-unit accommodations use in a GB-A (General Business-Accommodations) zone district.

Owner: GS LLC Acquisitions, LLC

Applicant: Brian Hellman, Hellman & Yates, PA

DECISION: APPROVEDMOTION: Approval With ConditionsMADE BY: Allison Grass SECOND: Bill Goodwin, Jr. VOTE: FOR: 5 AGAINST: 0

NOTES: Letter from HANA (Historic Ansonborough Neighborhood Association) dated February 21, 2023 with change to condition #4.

5. 29 Gadsden St.

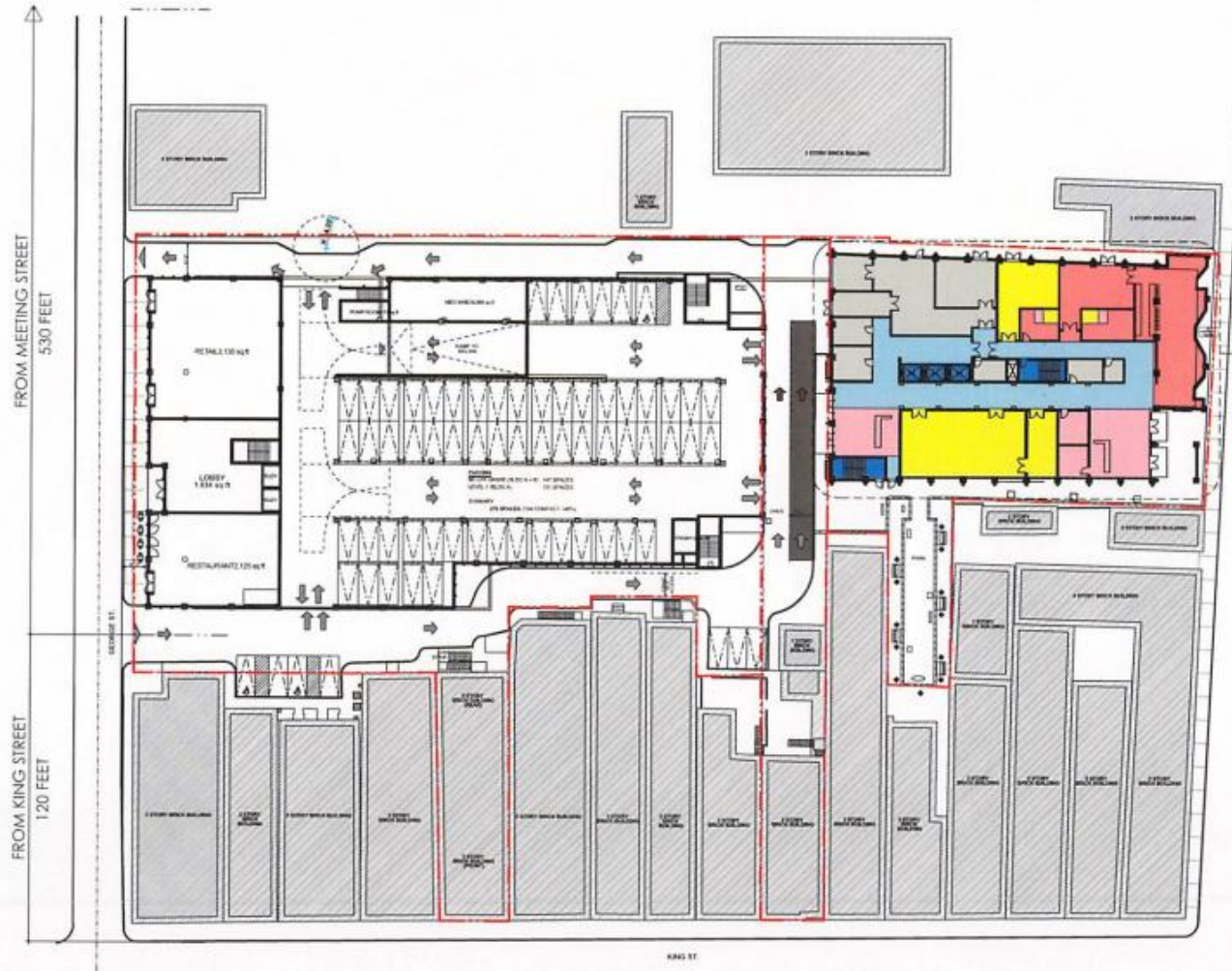
Harleston Village | TMS# 457-03-03-026 | Zoned: STR

Request variance from Sec. 54-301 to allow a 2-story piazza with a 10-ft. 4-inch south side setback (12-ft. required).

Owner: Gregory Jackson

Applicant: Joseph A. Rubenstein

DECISION: APPROVEDMOTION: ApprovalMADE BY: Allison Grass SECOND: Bill Goodwin, Jr. VOTE: FOR: 5 AGAINST: 0



- LEGEND:
- ACCOMMODATION PARKING- 34 SPACES
 - ACCOM. STAIRS/ELEVATOR
 - CORRIDORS/CIRCULATION
 - BACK OF HOUSE ACCOMMODATION
 - ACCOM/DWELLING LOBBY
 - MEETING/CONFERENCE SPACE
 - RESTAURANT/BAR
 - ACCOMMODATION SPACE
 - DWELLING
 - ACCOM. OUTDOOR RESTAURANT/BAR
 - BUILDING FOOTPRINT
 - ACCOMMODATION DROP-OFF
 - TERRACE AREA
 - OUTDOOR CIRCULATION
 - PROPERTY LINE

REFER SHEET 09

BOARD OF ZONING APPEALS — ZONING

ADDRESS 84-88 Society St.

- ☒ APPROVED FOR: ☐ SET BACK
☐ DENIED ☐ DENSITY
☐ WITHDRAWN ☐ PARKING
☐ AS SUBMITTED ☐ HEIGHT
☒ W/CONDITIONS ☐ LOT OCCUPANCY
☒ USE/OR SPECIAL EXCER ☐ OTHER

50-unit accommodations use.

DATE 2-21-23 ZONING OFFICIAL PA

*THIS APPROVAL EXPIRES W/IN TWO YEARS UNLESS AN EXTENSION IS APPROVED PURSUANT TO SEC. 54-082
 *THIS DOES NOT CONSTITUTE APPROVAL BY OTHER CITY BOARDS OR DEPARTMENTS.

Letter from HANA dated Feb. 21, 2023 with change to condition #4

HANA STATEMENT OF CONDITIONS
February 21, 2023

To: Historic Ansonborough Neighborhood Association

From: GS Acquisitions, LLC ("GSA")

Re: George/Society Streets Mixed-Use Development
Accommodations Use Conditions

GSA is excited about its investment in the very important improvement of the property situated between George and Society Streets and King and Meeting Streets. The plan is to construct two buildings, one facing George Street that will house ground floor retail space and for-rent apartments (the "North Building"). The second building will face Society Street and will house for-sale residential condominium units and an expected 4+ star 50-room accommodations use with associated restaurant facilities (the "South Building").

As a result of the numerous meetings and desire to be good neighbors and residents of the city of Charleston, GSA is agreeable to the following terms for the South Building accommodations use, as conditions to any Accommodations Use Special Exception that the City of Charleston Board of Zoning Appeals – Zoning may grant:

1. No amplified live music to be performed in the exterior areas of Level 6-1/2.
2. No televisions or video monitors mounted on the exterior areas of Level 6-1/2.
3. Food and beverage service shall be permitted around and about the exterior areas identified as Outdoor Restaurant/Bar Space in the Special Exception Application plans.
4. Any amplified ~~music~~ ^{sound} in outdoor areas shall cease by 11:00 PM.
5. Outdoor food and beverage service shall cease by midnight.
6. For purposes of outdoor sound transmission mitigation, an acoustical consultant will be engaged to design and implement outdoor sound mitigation measures, including the construction of a glass sound wall along the outdoor program perimeter.
7. As has been discussed with the MIKI merchant group, there shall be at least 70 parking spaces in excess of the zoning required amount once the North Building and South Building are completed. These parking spaces shall be made available to the public for valet parking during normal retail business hours.

It is our understanding that if these conditions are made a condition of the Accommodations Use Special Exception approval, HANA will not oppose the application to allow a 50 sleeping unit accommodations use at the South Building. To that end, GSA will provide a copy of these conditions to the City of Charleston Board of Zoning Appeals – Zoning

and respectfully request that the Board incorporate these conditions as a part of any approval of the Accommodations Use Special Exception that the Board may be willing to grant.

Sincerely,

s/Daniel Pourbaba

MSB
(Acting Chair
Feb 21/2023)

Agenda Item #B-5

WITHDRAWN

44 Morris St.

(Cannonborough/Elliottborough)

TMS # 460-12-01-081

Request special exception under Sec. 54-110.f. to build an additional building for use as part of a nonconforming accommodations use.

Zoned: LB

Agenda Item #B-6

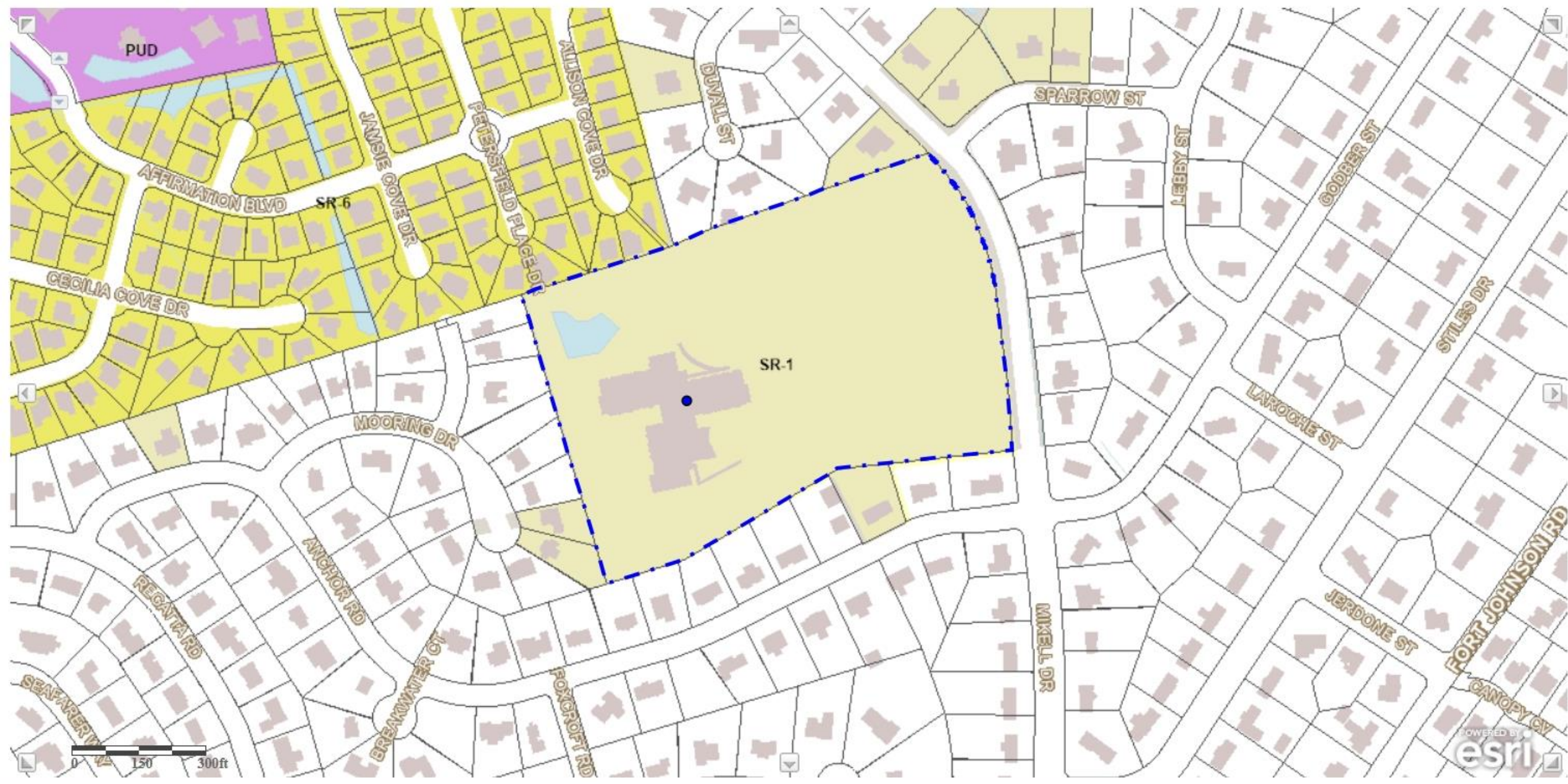
883 Mikell Dr.

(James Island)

TMS # 454-09-00-001

Request special exception under Sec. 54-225 to increase square footage of an existing school.

Zoned: SR-1, School Overlay Zone





Workspaces ▾

© 2023 Eagleview

100 ft
20 m



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: _____

Property Address 883 Mikell Dr., Charleston TMS # _____

Property Owner Charleston County School District Daytime Phone _____

Applicant ADC Engineering - Chris Cook, P.E. Daytime Phone _____

Applicant's Mailing Address _____

_____ E-mail Address _____

Relationship of applicant to owner (same, representative, prospective buyer, other) _____

Zoning of property _____

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☒ Plans or documents necessary to show compliance with special exception requirements
☐ **YES** or ☒ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant C.B. Cook Date 12/17/2025

For office use only

Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Sec. 54-225. – School S Overlay Zone

Board of Zoning Appeals—Zoning shall approve the manner of the school use as an exception, upon a finding by the Board that the following conditions will be met to minimize the potential negative impacts to the greatest extent possible:

This information is intended to provide the compliance path for the conditions for approval established in Section 54-225.b.2 of the City of Charleston Zoning Ordinance. It should be noted that the site is currently an elementary school and that the project will add an Early Learning Center addition to the existing school. So the project will not substantially change the use of the property.

1. For elementary and secondary schools and colleges:
 - a. The principal building(s) shall occupy no more than fifty (50) percent of the lot on which the building(s) is (are) located;

This building addition is part of the Stiles Point Elementary School Campus which is 15.1 acres. The overall building coverage on the campus is currently 49,250 SF 7.5% and will increase to 82,678 SF – 12.5% with the ELC Additions.
 - b. Sufficient well-designed parking spaces will be provided internal to the campus and parking areas shall be appropriately buffered;

The existing campus currently has 138 parking spaces. The total number of staff that will be on site is 98; requiring 2 spaces per employee. That would be a requirement for 196 parking spaces. The proposed project is providing 196 spaces and all new parking spaces will be appropriately landscaped and buffered.
 - c. Dormitory type facilities will be no closer than twenty-five feet (25') to any lot occupied by a single-family dwelling;

There are no new dormitories associated with this project.
 - d. Excessive traffic will not be generated on a residential street; and

The proposed site improvements will not negatively impact the adjacent streets. The dramatically increased stacking distance to be provided on site will lessen the amount of stacking on the public roads. Current stacking distance, on site is approximately 1,200 linear feet. The new stacking distance is approximately 3,700 linear feet which more than triples the amount of cars removed from Mikkel Drive.
 - e. The facility is compatible with the surrounding neighborhood based upon consideration of the number of persons in the facility, potential traffic and noise impacts, location of the play, parking, loading and circulation areas and relation to other noise or traffic generating institutions (particularly if another non-residential facility is facing or abutting the same block face or is within three hundred feet (300') of the proposed site).

The proposed ELC Additions will provide Early Learning educational opportunities for the local community. The building additions are compatible with the surrounding neighborhood in that they are at the interior of the property and are > 100' from any property line. The project will

maintain and protect the existing walkway/path around the perimeter of the school. The parking, loading and circulation areas will be improved to lessen impacts on the adjacent public roads.



GENERAL NOTES:

1. THIS SHEET, C003, IS NOT INTENDED FOR ANY SITE STAKE OUT ON CONSTRUCTION PURPOSES. THE AERIAL IMAGE IS TAKEN FROM GOOGLE EARTH AND IS NOT TO SCALE.
2. SEE SHEETS C001 & C002 FOR CIVIL NOTES AND ABBREVIATIONS.
3. HORIZONTAL COORDINATES ARE BASED ON NC STATE PLANE COORDINATES HAD '83. VERTICAL DATUM IS BASED ON NAVD 83.
4. CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN UNLESS SPECIFICALLY INDICATED OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF THE PROJECT.
6. CONTRACTOR SHALL CONTACT PALMETTO UTILITY LOCATION SERVICE AT 1-888-755-7877 PRIOR TO ANY WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND PROTECTING ALL UTILITIES. CONTACT THE ENGINEER IN THE EVENT THAT UTILITIES CONFLICT WITH NEW FACILITIES.
7. ALL PROJECT STAKEOUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR TO BE PAID FOR BY THE CONTRACTOR. FOR STAKEOUT, DO NOT RELY SOLELY ON THE PHYSICAL SCALE AS SHOWN IN DRAWINGS. REFER TO THE GIVEN DIMENSIONS, SYMBOL, LEGEND, KEYNOTES, AND REFERENCED DETAILS FOR CORRECT STAKEOUT.
8. ALL CONTRACTORS/SUBCONTRACTORS/PERSONS THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS AND PERMITS.

CIVIL LEGEND - SITE

- PROPERTY LINE
- - - - - ADJOINING PROPERTY LINE
- LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE



NOT FOR CONSTRUCTION

CHARLESTON COUNTY SCHOOL DISTRICT
ADDITION TO STILES POINT ELEMENTARY SCHOOL
BRIAN L. LUMME, ENGINEER, NC 20402

DATE: 10/1/2023
PROJECT: ADDITION TO STILES POINT ELEMENTARY SCHOOL
SHEET: C003
NO. DATE DESCRIPTION

PROJECT: ADDITION TO STILES POINT ELEMENTARY SCHOOL
PROJECT NUMBER: 23-001
DRAWN BY: B. L. LUMME
CHECKED BY: B. L. LUMME

SHEET TITLE:
AERIAL SITE PLAN
EXISTING

SHEET NO.:
C003
PROJECT: ADDITION TO STILES POINT ELEMENTARY SCHOOL



CHARLESTON COUNTY SCHOOL DISTRICT

ROBERT M. DELLER, CHARGESTON, 90 DEPT 2

NO.	DATE	DESCRIPTION
-----	------	-------------

PRINCIPAL IN CHARGE
PROJECT ARCHITECT
DESIGN BY

DATE: 01-10-14
BY: [Signature]
DATE: 01-10-14

SHEET TITLE

**AERIAL SITE PLAN
PROPOSED**

SHEET NO.

C004

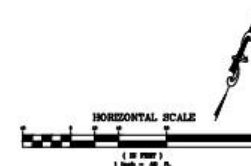
PROJECT NO.
ACE 14029



1. THIS SHEET, COPIED, IS NOT INTENDED FOR ANY SITE SPECIFIC SOIL OR CONSTRUCTION PURPOSES. THE ACHIAL IMAGE IS TAKEN FROM AERIAL PHOTOGRAPHY AND IS NOT TO SCALE.
2. SEE SHEET C-01 AND C-002 FOR CVA NOTES AND ABREVIATIONS.
3. HORIZONTAL COORDINATES ARE BASED ON US STATE PLANE COORDINATES HAD 83. NO STATEMENT OF ACCURACY IS BASED ON NAD 83.
4. CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, UNLESS SPECIFICALLY NOTICED OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BEGINNING TO DETERMINE THE EXTENT OF THE PROPOSED WORK.
6. CONTRACTOR SHALL CONTACT PALMETTO UTILITY LOCATION SERVICE AT 1-888-321-7877 PRIOR TO ANY WORK. CONNECTION IS TO BE MADE TO THE FIELD OFFICE OF THE PALMETTO UTILITIES. CONTACT THE ENGINEER IN THE EVENT THAT UTILITIES CONTACT WITH THE FIELD OFFICE.
7. ALL PROJECT STAKEHOLD SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR TO BE PAID FOR BY THE CONTRACTOR. FOR THE RECORD, THE SURVEYOR SHALL BE THE PALMETTO UTILITIES. ALL DRAWINGS, REFER TO THE GIVEN DIMENSIONS, SYMBOL, LEGEND, KEYNOTES, AND REFERENCED DETAILS FOR CORRECT TOLERANCES.
8. ALL CONTRACTORS, SUBCONTRACTORS, PERSON THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL PALMETTO UTILITIES CONSTRUCTION AND MAINTENANCE REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS.

CIVIL LEGEND - SITE

- PROPERTY LINE
 - - - - - ADJOINING PROPERTY LINE
 - - - - - LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE



Agenda Item #B-7

1100-1104 King St.

(North Central)

TMS # 463-12-03-116/117

Request variance from Sec. 54-317 to provide 12 off-street parking spaces (15 required) for a proposed mixed-use development.

Zoned: GB





workspaces v



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: JAN 20, 2026 463-12-03-116

Property Address 1100-1104 KING ST AND 23 SIMONS ST TMS # 463-12-03-117

Property Owner FAB HALL LLC Daytime Phone (843) 813-1213

Applicant TYLER SMYTH Daytime Phone (843) 425-0321

Applicant's Mailing Address PO BOX 22213 CHAS, SC 29403

E-mail Address tyler@tylerasmynth.com

Relationship of applicant to owner (same, representative, prospective buyer, other) representative

Zoning of property GB

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 12/19/25

For office use only
Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

See attachment.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

Exhibit 1-REV.

Date: 12.19.2025

To: City of Charleston BZA - Zoning

From: Tyler A. Smyth Architect

Project Address: 1100-1104 King St and 23 Simons St

We are requesting a Variance for 3 of the required 15 parking spaces at 1100-1104 King Street to serve the commercial and residential uses at the property on behalf of the owner, Fab Hall LLC. 12 of the required spaces are provided on an access drive at the rear of the buildings, leading to Simons Street.

The property is zoned General Business. It is being permitted for a significant renovation of the three existing commercial spaces fronting on King Street, along with four new residential apartments at the second level. It has been mostly vacant for more than a year, with 2 of 4 existing spaces (counting a second level office) vacant for several years.

The 3 parking spaces for which the variance is requested will facilitate redeveloping the property appropriately. A significant proportion of the

Exhibit 1-REV.

property (1102 and 1104 King) was previously home to the Fabulous Ellen Bright Hall, a beloved club and music venue.

The property consists of 2 connected buildings, with a partial second level of poor construction. The proposed renovation will incorporate four apartments at the second level to replace the existing sub-standard second level office space. A portion of the ground level structure at the rear will be removed and reconstructed with a smaller footprint overall. This will enable additional parking capacity at the rear and access to the rear yard from the back.

The property owner has met with the North Central Neighborhood Association and has their enthusiastic support for the project and parking variance.

There is no other public or private lot space available for use within the 400' distance required for nearby off-site parking.

We believe that the proposed design meets the application of the Variance Test, and the strict application of the off-street parking requirement would result in unnecessary hardship.

1. There are extraordinary and exceptional conditions pertaining to this particular piece of property.

This property is extraordinary for the area because consists of two connected buildings and three storefront addresses. Aside from a poorly-built partial second level, it consists of only one story, unusual for the area.

Exhibit 1-REV.

One of the properties (1104) was once a rail right-of-way (abandoned decades ago) which provides for 12 parking spaces in a strip of property leading to Simons Street. This is an extraordinary amount of parking for the neighborhood; other commercial properties in the vicinity offer little off-street parking.

2. These conditions do not generally apply to other property in the vicinity. Other properties in the area are typically single buildings (some commercial, some residential), are smaller, and/or do not offer the potential for meeting most (12 of 15, or 80%) of the required parking under the zoning ordinance.

3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property.

The plan for renovating the commercial spaces and adding four apartments above is reasonable for the property and neighborhood. Though the business license for one of the commercial spaces (1102) has been expired for more than three years and is thus no longer grandfathered, this was historically used as part of a thriving club.

Reinvigorating all 3 of the commercial spaces, and with four new long-term residential apartments above, will benefit the street life of the neighborhood. The variance will permit this project to move forward appropriately.

Exhibit 1-REV.

4. The authorization of the variance will not be a substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed in the granting of the variance.

We believe that the authorization of the variance will permit a significant revitalization of this notable property and will benefit the public good, as outlined above. The City has a well-documented shortage of apartment units for city residents. The four new apartments located above ground level retail represent an appropriate and spatially efficient enhancement to this commercial property.

For these reasons, we believe that the variance meets the Variance Test and respectfully ask that it be granted.

2021 INTERNATIONAL BUILDING CODE WITH SC MODIFICATIONS
2021 INTERNATIONAL FIRE CODE WITH SC MODIFICATIONS
2021 INTERNATIONAL PLUMBING CODE WITH SC MODIFICATIONS
2021 INTERNATIONAL MECHANICAL CODE WITH SC MODIFICATIONS
2021 INTERNATIONAL FUEL GAS CODE WITH SC MODIFICATIONS
2020 NATIONAL ELECTRIC CODE WITH SC MODIFICATIONS
2009 INTERNATIONAL ENERGY CONSERVATION CODE
ICC / ANSI A117.1-2017

THESE DRAWINGS MUST BE USED FOR DESIGN INTENT ONLY. THE GC
MUST SUBMIT DETAILED SHOP DRAWINGS AND MATERIAL SAMPLES FOR
APPROVAL BY ARCHITECT OR ENGINEERS.

THE G.C. MUST NOTIFY ARCHITECT AND PERMITTING AGENCY OF ANY
VALUE ENGINEERING CHANGES INSTRUCTED BY OR AUTHORIZED BY THE
OWNER.

- SPRINKLER SYSTEM
- FIRE ALARM SYSTEM

ABBREVIATIONS & SYMBOLS

Indicates where course		Indicates what type, year details on A112	
	Indicates working study		
	Indicates new units		Indicates door number, see schedule on A623
	Indicates course type & number		Indicates course number, see schedule on A623
APP	Place Filled/Place	500	New Application
BSF	First Year Freshman	505	New to Campus
BSM	Second Year	510	New to State
CSF	First Co-Place	515	Co-Center
CS	Co-Place New	520	Co-Place Semester
CL	Continuing	525	Co-Place
CLB	Continuing	530	Place
CLC	Continuing	535	Place/Transfer Student
CLD	Continuing	540	Place
CLF	Continuing	545	Place
CLG	Continuing	550	Place
CLH	Continuing	555	Place
CLJ	Continuing	560	Place
CLK	Continuing	565	Place
CLL	Continuing	570	Place
CLM	Continuing	575	Place
CLN	Continuing	580	Place
CLP	Continuing	585	Place
CLQ	Continuing	590	Place
CLR	Continuing	595	Place
CLS	Continuing	600	Place
CLT	Continuing	605	Place
CLU	Continuing	610	Place
CLV	Continuing	615	Place
CLW	Continuing	620	Place
CLX	Continuing	625	Place
CLY	Continuing	630	Place
CLZ	Continuing	635	Place
CLAA	Continuing	640	Place
CLAB	Continuing	645	Place
CLAC	Continuing	650	Place
CLAD	Continuing	655	Place
CLAE	Continuing	660	Place
CLAF	Continuing	665	Place
CLAG	Continuing	670	Place
CLAH	Continuing	675	Place
CLAI	Continuing	680	Place
CLAJ	Continuing	685	Place
CLAK	Continuing	690	Place
CLAL	Continuing	695	Place
CLAM	Continuing	700	Place
CLAN	Continuing	705	Place
CLAO	Continuing	710	Place
CLAP	Continuing	715	Place
CLAQ	Continuing	720	Place
CLAR	Continuing	725	Place
CLAS	Continuing	730	Place
CLAT	Continuing	735	Place
CLAU	Continuing	740	Place
CLAV	Continuing	745	Place
CLAW	Continuing	750	Place
CLAX	Continuing	755	Place
CLAY	Continuing	760	Place
CLAZ	Continuing	765	Place
CLBA	Continuing	770	Place
CLBB	Continuing	775	Place
CLBC	Continuing	780	Place
CLBD	Continuing	785	Place
CLBE	Continuing	790	Place
CLBF	Continuing	795	Place
CLBG	Continuing	800	Place
CLBH	Continuing	805	Place
CLBI	Continuing	810	Place
CLBJ	Continuing	815	Place
CLBK	Continuing	820	Place
CLBL	Continuing	825	Place
CLBM	Continuing	830	Place
CLBN	Continuing	835	Place
CLBO	Continuing	840	Place
CLBP	Continuing	845	Place
CLBQ	Continuing	850	Place
CLBR	Continuing	855	Place
CLBS	Continuing	860	Place
CLBT	Continuing	865	Place
CLBU	Continuing	870	Place
CLBV	Continuing	875	Place
CLBW	Continuing	880	Place
CLBX	Continuing	885	Place
CLBY	Continuing	890	Place
CLBZ	Continuing	895	Place
CLCA	Continuing	900	Place
CLCB	Continuing	905	Place
CLCC	Continuing	910	Place
CLCD	Continuing	915	Place
CLCE	Continuing	920	Place
CLCF	Continuing	925	Place
CLCG	Continuing	930	Place
CLCH	Continuing	935	Place
CLCI	Continuing	940	Place
CLCJ	Continuing	945	Place
CLCK	Continuing	950	Place
CLCL	Continuing	955	Place
CLCM	Continuing	960	Place
CLCN	Continuing	965	Place
CLCO	Continuing	970	Place
CLCP	Continuing	975	Place

BAR:	
DEFERRED	10/2024
APPROVED (WITH FDOTS)	1/9/2025



PROJECT TEAM

ARCHITECT AND PROJECT MANAGEMENT:
KEVAN HOERDORFER ARCHITECTS
843.724.6002
khh@hoerddorferarchitects.com

STRUCTURAL ENGINEER:
TECHNIKA
PO Box 80097
Charleston, SC 29418
843-580-3769

TECHNIKA
PO Box 80097
Charleston, SC 29418
843-580-3789

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 201 N. ELLIOTT STREET CHICAGO, IL 60610 (773) 327-1000
 WWW.KHARCH.COM WWW.KHARCH.COM/STUDIO/STUDIO1000

PROJECT LOCATION

MARK	DESCRIPTION	DATE
◆	OFF OF CHAIRMAN BUILDING DEPARTMENT	7.14.80
◆	OFF OF CHAIRMAN RD. - HWY. 1	10.28.80



1100
KING STREET





KEVAN HOERTDOERFER ARCHITECTS
27 CLEVELAND AVENUE
BOSTON, MA 02116
617.552.1000
WWW.HOERTDOERFERARCHITECTS.COM

GENERAL NOTES

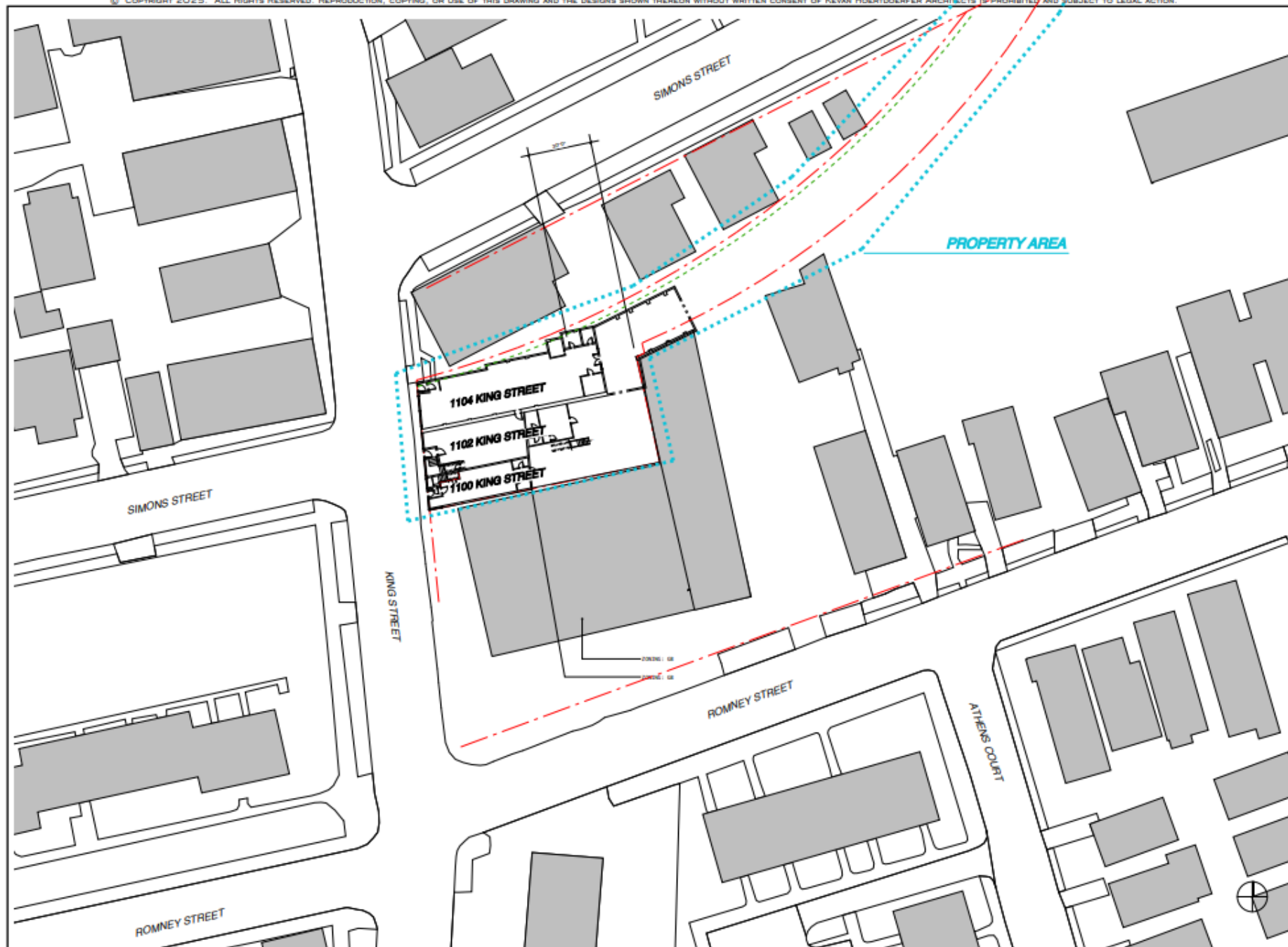
- A. Lot Information: T02-02-12-02-116, 02-12-02-117
- B. All dimensions to face of block or shall unless noted otherwise.

MARK	DESCRIPTION	DATE
◆	CITY OF CAMBRIDGE BUILDING DEPARTMENT	7.14.2025
◆	CITY OF CAMBRIDGE BO - 704-1	10.09.2025



PROJECT
1100
KING STREET

10.28.2025 KHA/MLLP
A001
SITE PLAN



A1 SITE PLAN - EXISTING
SCALE: 1" = 20'-0"



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 407 CLEVELAND STREET, SUITE 100, CLEVELAND, OH 44115
 216.744.1000 | WWW.HOERDOERFERARCHITECTS.COM

GENERAL NOTES

- A. Lot information: TMS 403 12-03 116, 403 12-03 117
- B. All dimensions to face of block or shall unless noted otherwise.

MARK DESCRIPTION DATE

- ◆ CITY OF OHIO BUILDING DEPARTMENT 7.14.2025
- ◆ CITY OF OHIO BUILDING DEPARTMENT 10.20.2025

SEALS



PROJECT

1100 KING STREET

10.20.2025 Kevan Hoerdoerfer A-002

A002

SITE PLAN

PARKING REQUIREMENTS Sec. 54-017 (Table 3.3)

Detail (FIRST FLOOR)

Retail (on the perimeter)	- 1 per 400 sq. ft. of gross floor area.	
1104 King gross floor area - 2,514 SF/430		= 6.3
1102 King gross floor area - 1,260 SF/430		= 3.2
1100 King gross floor area - 1,215 SF/430		= 3.0
handicap parking	- 1 per 25	= 1
Total parking		= 13

OFFICE USE GRANDFATHERED IN AT 1100 AND 1104 STOREFRONTS

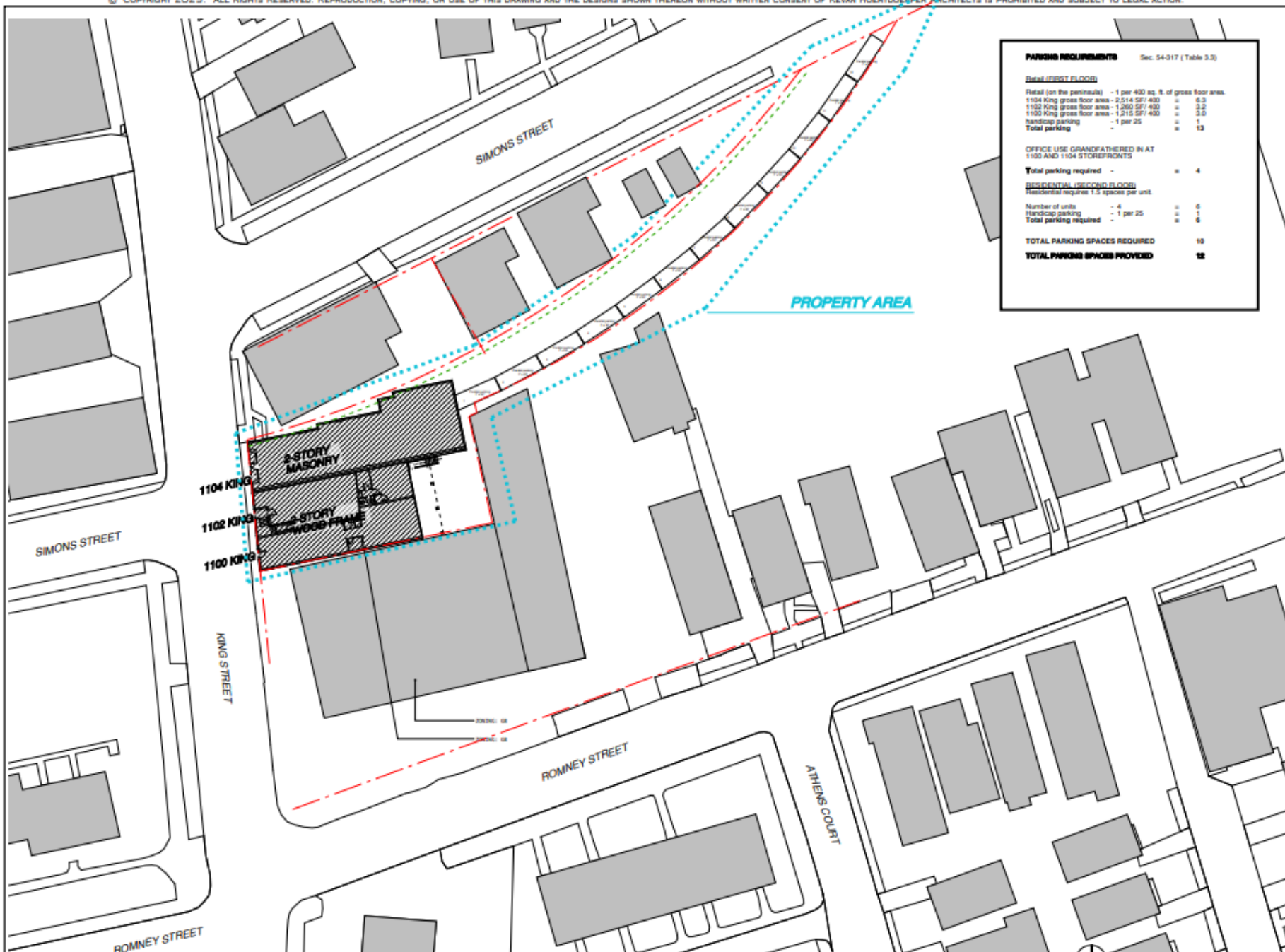
Total parking required		= 4
-------------------------------	--	------------

RESIDENTIAL (SECOND FLOOR)

Residential requires 1.5 spaces per unit.		
Number of units	- 4	= 6
Handicap parking	- 1 per 25	= 1
Total parking required		= 6

TOTAL PARKING SPACES REQUIRED 10

TOTAL PARKING SPACES PROVIDED 12



A1 SITE PLAN - PROPOSED
 SCALE: 1" = 20'

of cellulose content examination, no value

CONFIDENTIAL

MARK	DESCRIPTION	DATE
------	-------------	------

	CITY OF CHARLESTON BUILDING DEPARTMENT	7.14.2025
	CITY OF CHARLESTON BOL - 2024.2	10.26.2025

RESULTS

PROJECT

1100
KING STREET

10-38-3038	anyone / any	3400
------------	--------------	------

A006

LIFE SAFETY PLAN

SECOND FLOOR OCCUPANT LOADS

RESIDENTIAL
5,424 SF / 200 GROSS = 28 OCCUPANTS

2-HOUR RATED WALL ASSEMBLY
SEPARATION BETWEEN UNITS

2-HOUR RATED WALL ASSEMBLY SEPARATION BETWEEN UNITS

2-HOUR RATED WALL ASSEMBLY
SEPARATION BETWEEN UNITS

2-HOUR RATED WALL ASSEMBLY SEPARATION BETWEEN UNITS

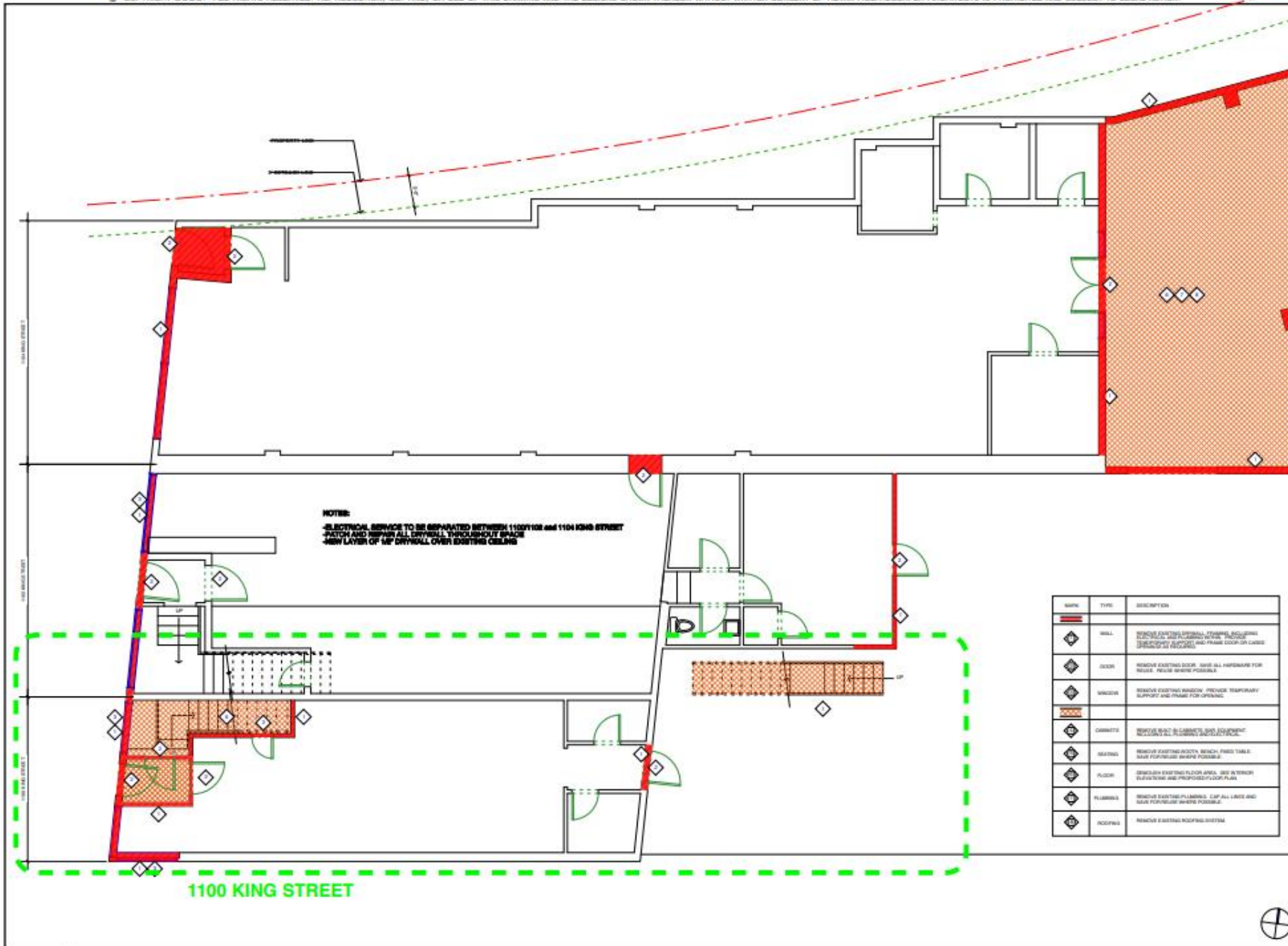
SMOKE AND CARBON MONOXIDE DETECTORS TO BE INSTALLED THROUGHOUT FLOOR AREAS.

MAX TRAVEL DISTANCE
6' to front door

FIRE EXTINGUISHER:
Kiddie Pro 340 3-A-40-B-C OR APPROVED EQUAL
MOUNTED 48" AFF W/ CLEAR IDENTIFICATION

NOTE: THE ADDRESS SHALL BE PROVIDED WITH
THE SIGNAGE ABOVE ENTRANCE DOOR IN
LETTERS AT LEAST 4" TALL, CLEARLY VISIBLE
FROM THE STREET

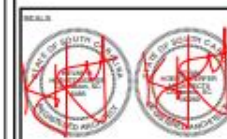
A1 SECOND FLOOR - LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"



NOTE:
ELECTRICAL SERVICE TO BE SEPARATED BETWEEN 1100Y108 and 1104 KING STREET.
PATCH AND REPAIR ALL DRYWALL THROUGHOUT SPACE.
ADD LAYER OF 1/2\"/>

SYMBOL	TYPE	DESCRIPTION
	WALL	REMOVE EXISTING SPERIAL FRAMING, INCLUDING EXISTING WALL PLACING WITHIN FRAMING. EXISTING SUPPORT AND FRAME DOOR OR CASE. SHOWN AS REQUIRED.
	DOOR	REMOVE EXISTING DOOR. SAVE ALL HARDWARE FOR REUSE. FEELS WHERE POSSIBLE.
	WINDOW	REMOVE EXISTING WINDOW. PROVIDE TEMPORARY SUPPORT AND FRAME FOR OPENING.
	CABINETS	REMOVE EXISTING CABINETS AND EQUIPMENT. REMOVE ALL CABINETRY AND EQUIPMENT.
	BENCHING	REMOVE EXISTING BENCH. BENCH TABLE. SAVE FOR REUSE WHERE POSSIBLE.
	FLOOR	REMOVE EXISTING FLOOR AREA. SEE INTERIOR ELEVATION FOR PROPOSED FLOOR PLAN.
	PLUMBING	REMOVE EXISTING PLUMBING. CLIP ALL LINES AND SAVE FOR REUSE WHERE POSSIBLE.
	ROOFING	REMOVE EXISTING ROOFING SYSTEM.

REVISION	DESCRIPTION	DATE
1	CITY OF CHANDLER BUILDING DEPARTMENT	7.14.2025
2	CITY OF CHANDLER NO - REV 1	10.29.2025



1100 KING STREET

A100
FIRST FLOOR PLAN - EXISTING



KEVAN HOERDORFER ARCHITECTS

27 OLELAND STREET | CHICAGO, IL 60610
847.764.8000 | WWW.HOERDORFERARCHITECTS.COM

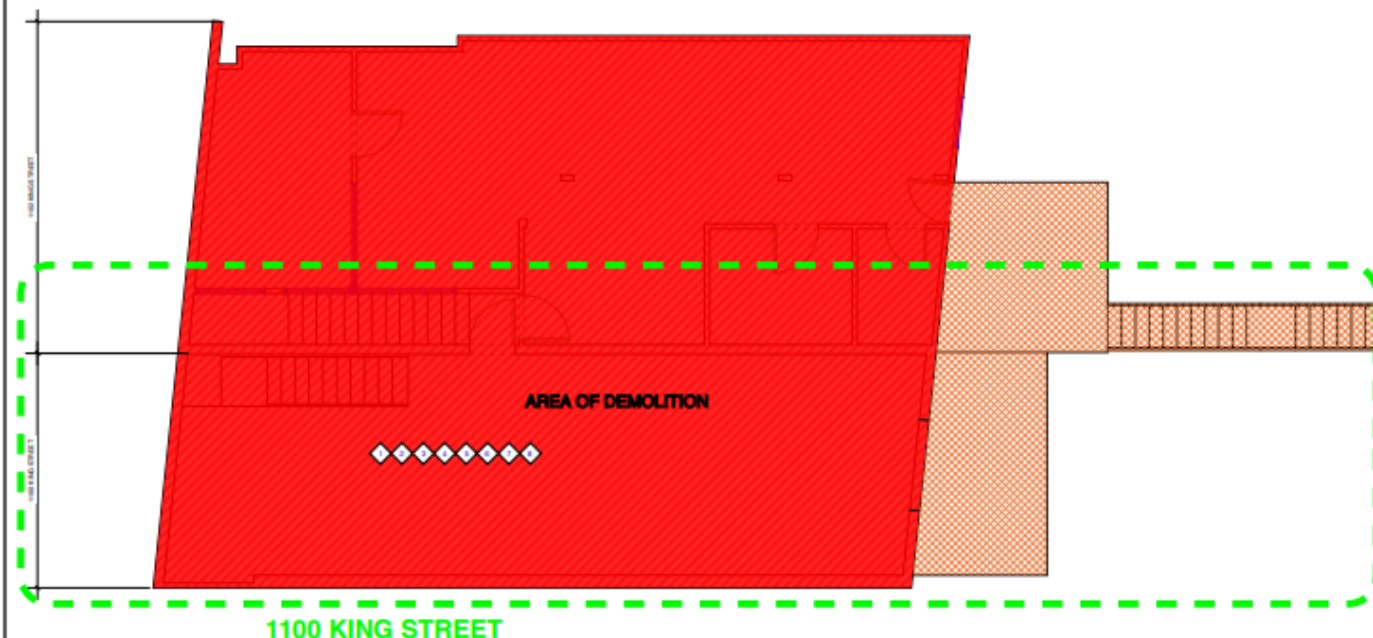
GENERAL NOTES

MARK	DESCRIPTION	DATE
◆	CITY OF CHICAGO BUILDING DEPARTMENT	7.14.2025
◆	CITY OF CHICAGO NO - REV 1	10.29.2025



PROJECT
1100 KING STREET

10.28.2025 KHH/ML/JP 2:00
A101
SECOND FLOOR PLAN - EXISTING

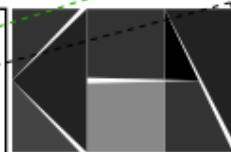


MARK	TYPE	DESCRIPTION
—	WALL	REMOVE EXISTING WALLS, INCLUDING ELECTRICAL AND PLUMBING RISERS. PROVIDE TEMPORARY BRACING AND FRAME DOOR-ON CASES.
—	DOOR	REMOVE EXISTING DOOR. SAVE ALL HARDWARE FOR REUSE. PROVIDE WHERE POSSIBLE.
—	WINDOW	REMOVE EXISTING WINDOW. PROVIDE TEMPORARY SUPPORT AND FRAME FOR OPENING.
—	CABINETS	REMOVE BUILT-IN CABINETS, SINK, EQUIPMENT. RELOCATE ALL PLUMBING AND ELECTRICAL.
—	SEATING	REMOVE EXISTING BOOTH, BENCH, FOLD TABLE. SAVE FOR REUSE WHERE POSSIBLE.
—	FLOOR	DEMOLISH EXISTING FLOOR AREA. SEE EXTERIOR ELEVATIONS AND PROPOSED FLOOR PLAN.
—	PLUMBING	REMOVE EXISTING PLUMBING. CAP ALL LINES AND SAVE FOR REUSE WHERE POSSIBLE.
—	ROOFING	REMOVE EXISTING ROOFING SYSTEM.

A1

SECOND FLOOR PLAN - EXISTING & DEMO

SCALE: 1/8" = 1'-0"



KEVAN HOERDOERFER ARCHITECTS
2000 S. 10th Street, Suite 100, Phoenix, AZ 85004
www.kevanhoerdoerferarchitects.com

GENERAL NOTES

MARK	DESCRIPTION	DATE
◆	CITY OF PHOENIX BUILDING DEPARTMENT	7.14.2025
◆	CITY OF PHOENIX	10.26.2025

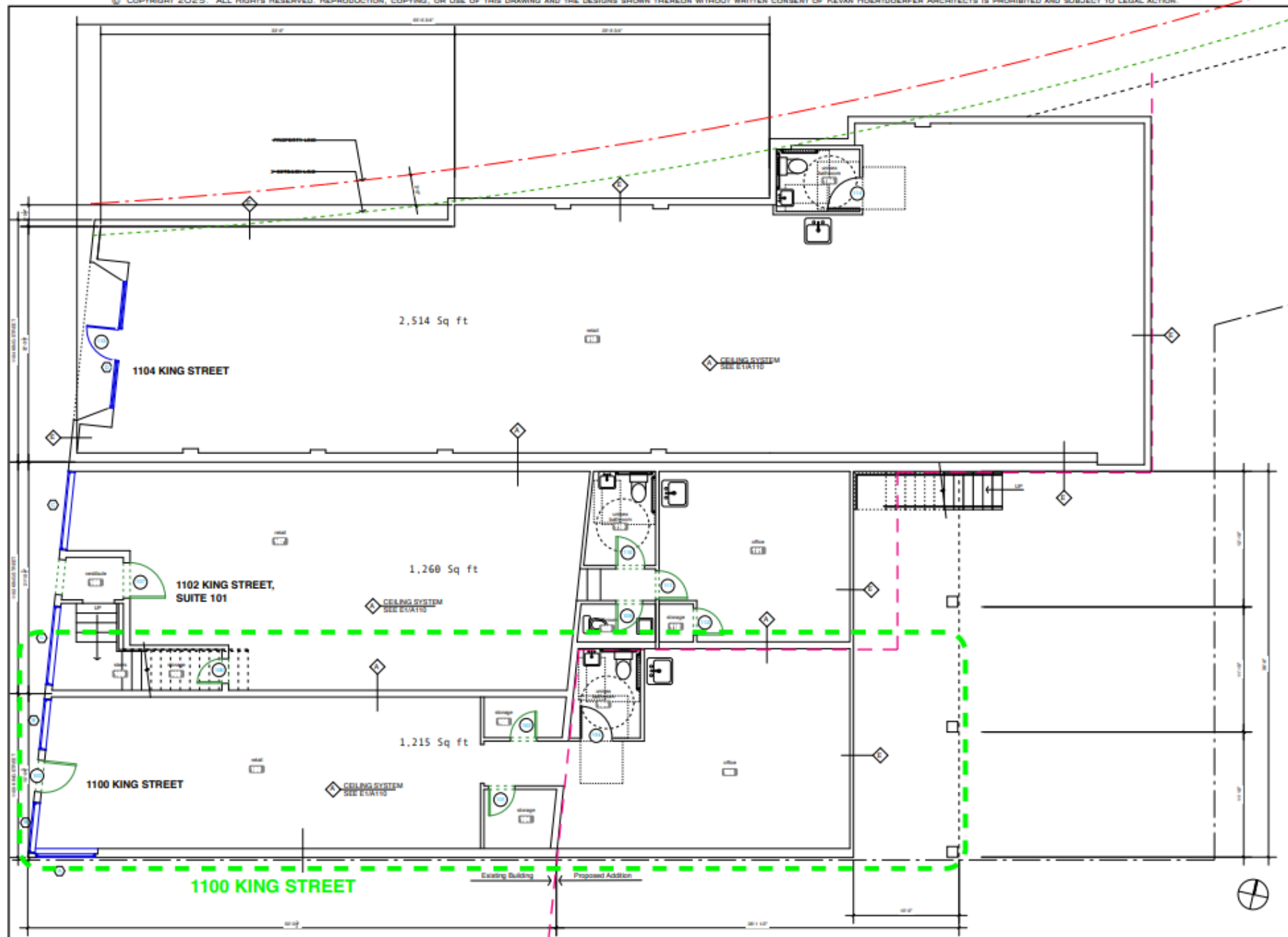


PROJECT
1100 KING STREET

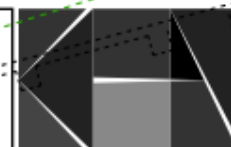
10.26.2025 KHA/ML/JP 2.025

A102

FIRST FLOOR PLAN - PROPOSED

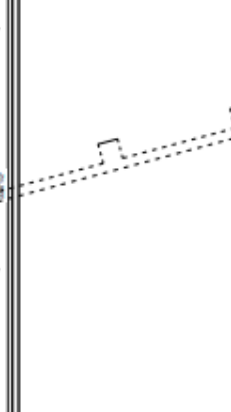


A1 FIRST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



KEVAN HOERDORFER ARCHITECTS
47 CLEVELAND STREET, CHANDLER, AZ 85009
PH: 480.754.8000 WWW.HOERDORFERARCHITECTS.COM

GENERAL NOTES

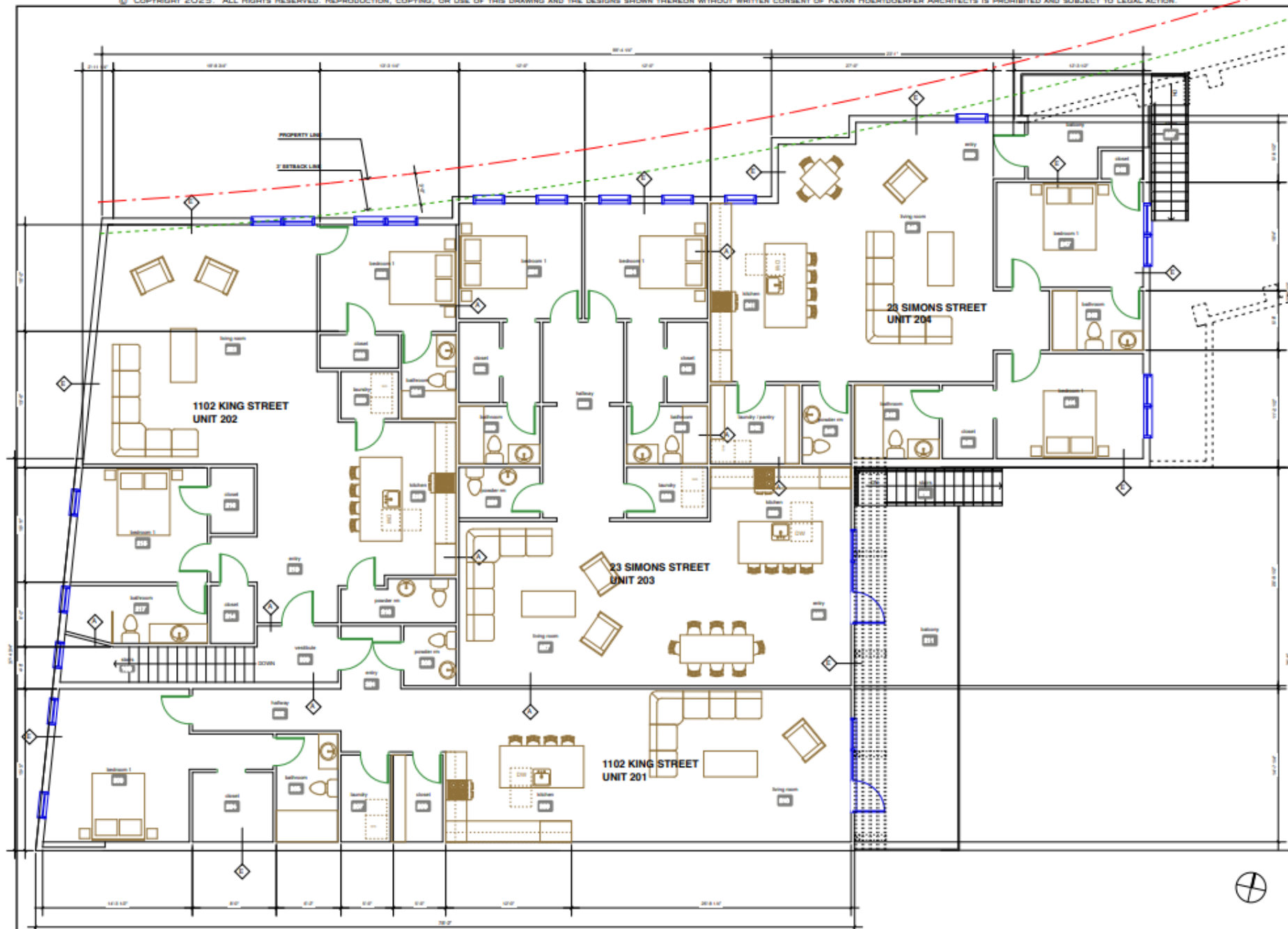


MARK	DESCRIPTION	DATE
◆	CITY OF CHANDLER BUILDING DEPARTMENT	7.14.2025
◆	CITY OF CHANDLER DD - REV 1	10.09.2025



PROJECT
1100 KING STREET

TO: AR 2025A KHH/MLP JAC
A103
SECOND FLOOR PLAN - PROPOSED



A1 SECOND FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



KEVAN HOERTDOERFER ARCHITECTS
 27 GULLBUSH STREET | CHARLESTON, SC 29405
 843.754.8088 | WWW.HOERTDOERFERARCHITECTS.COM

GENERAL NOTES		

MARK	DESCRIPTION	DATE
◆	CITY OF CHARLESTON BUILDING DEPARTMENT	7.14.2025
◆	CITY OF CHARLESTON RD - REV 1	10.09.2025

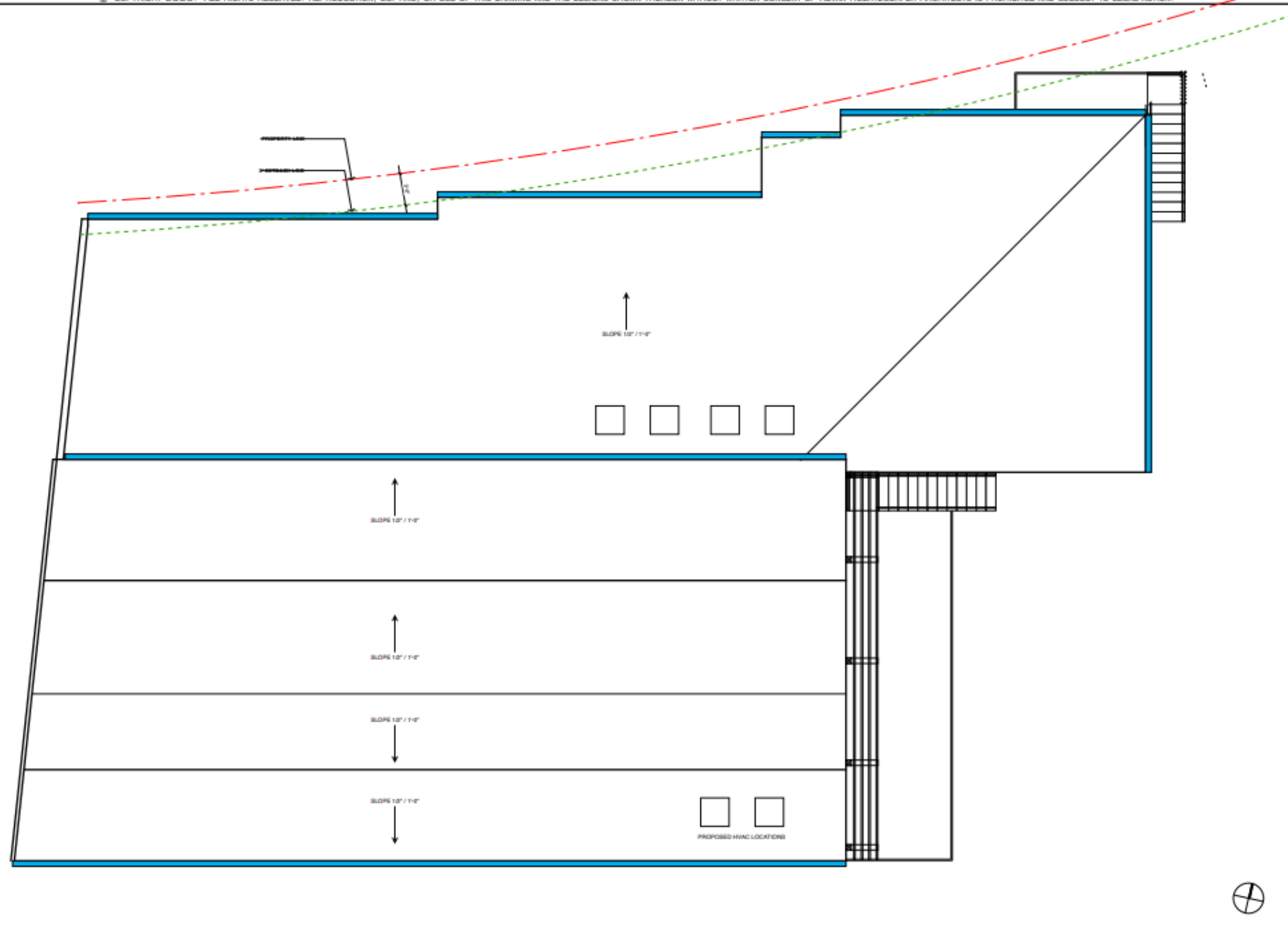


PROJECT
 1100
 KING STREET

10.29.2025 KHH/ML/JP 2.009

A104

SECOND FLOOR PLAN - PROPOSED



A1 SECOND FLOOR PLAN - PROPOSED
 SCALE: 1/2" = 1'-0"



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417 COLUMBIA STREET, SUITE 200, SEASIDE, NJ 08063
856.733.8000 WWW.KHOERDORFERARCHITECTS.COM

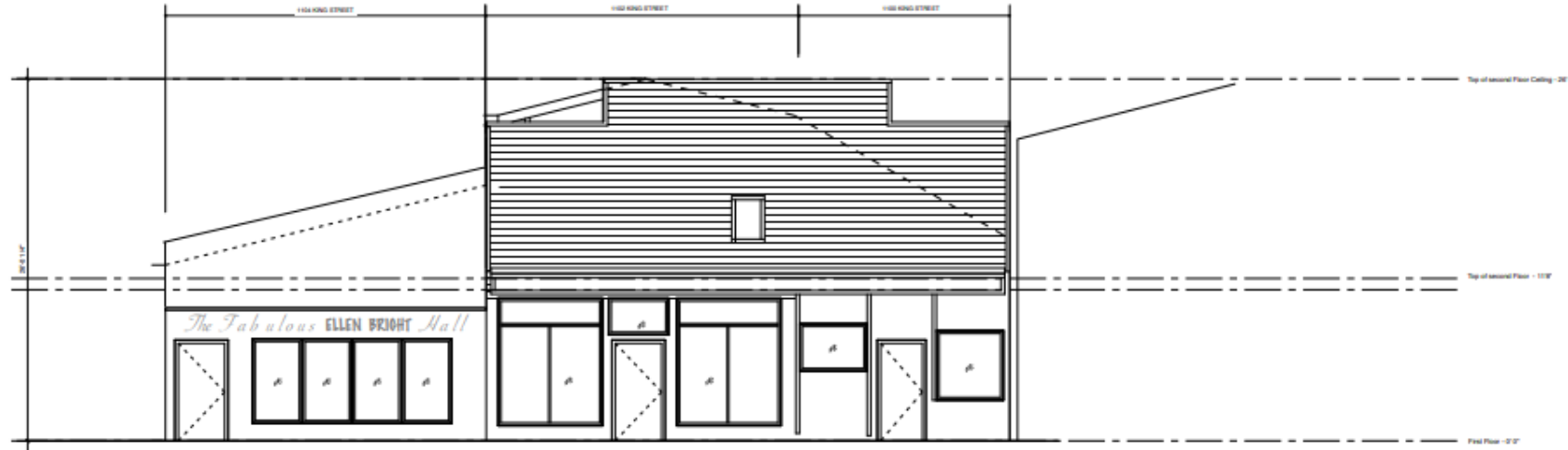
GENERAL NOTES

MARK	DESCRIPTION	DATE
◆	BY OF CHAIRMAN BUILDING DEPARTMENT	7.14.2008
◆	BY OF CHAIRMAN SD - REV 1	10.08.2008



PROJECT

1100
KING STREET



A2 WEST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



A1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

1100 KING STREET



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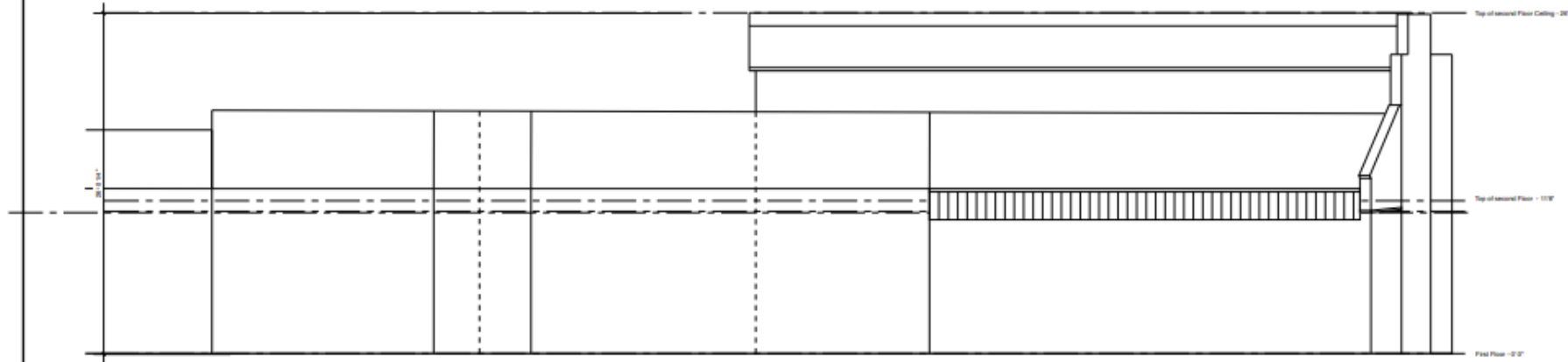
GENERAL NOTES

MARK	DESCRIPTION	DATE
◆	CITY OF CHALMERS BUILDING DEPARTMENT	7.14.2025
◆	CITY OF CHALMERS SD - REV 1	10.28.2025

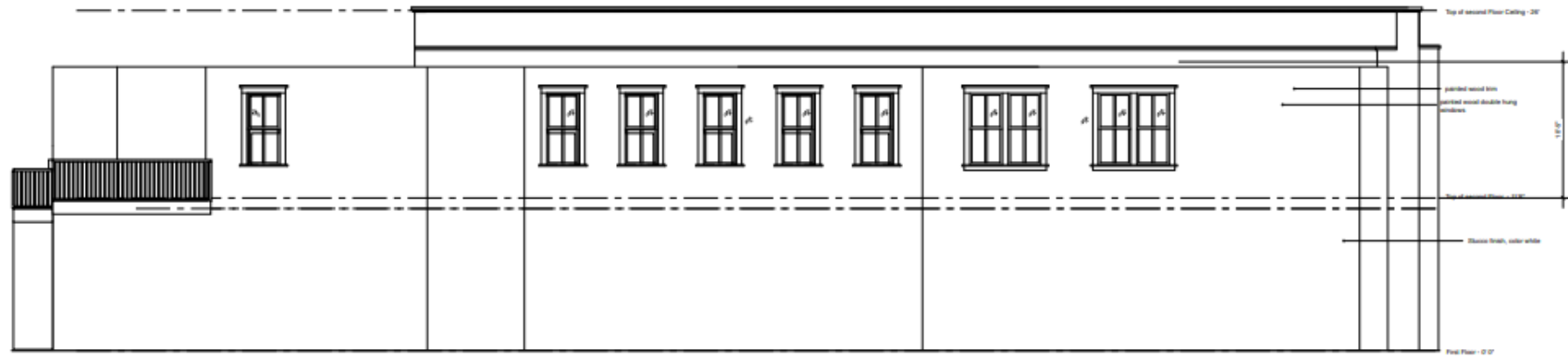


PROJECT
 1100
 KING STREET

10.28.2025 KHH/MLJ/P 2/208
A201
 EXTERIOR ELEVATIONS
 Kevan Hoerderfer Architects, Kevan Hoerderfer Architects



A2 NORTH ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"

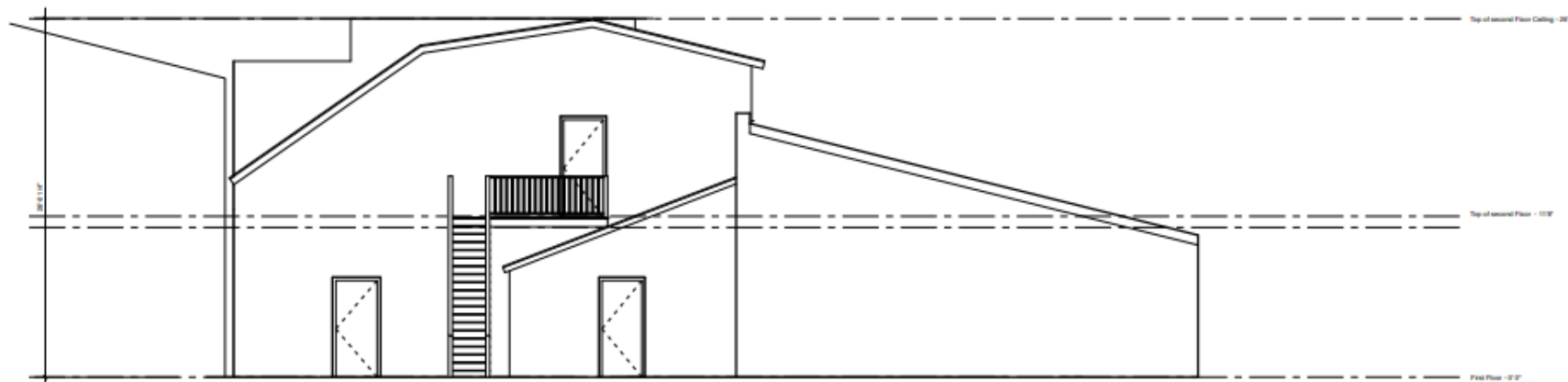


A1 NORTH ELEVATION - PROPOSED
 SCALE: 1/8" = 1'-0"



KEVAN HOERDOERFER ARCHITECTS
 47 CLEVELAND AVENUE, SUITE 100, CLEVELAND, OH 44115
 216.344.8000 WWW.HOERDOERFERARCHITECTS.COM

GENERAL NOTES



A2 EAST ELEVATION - EXISTING
 SCALE: 1/4" = 1'-0"

MARK	DESCRIPTION	DATE
◆	CITY OF CLEVELAND BUILDING DEPARTMENT	7.14.2025
◆	CITY OF CLEVELAND SD - REV 1	10.22.2025



1100 KING STREET

A1 EAST ELEVATION - PROPOSED
 SCALE: 1/4" = 1'-0"



PROJECT

1100
KING STREET





KEVAN HOERTDOERFER ARCHITECTS

47 CLEVELAND STREET CHARLESTON, SC 29403
803.734.8000 www.kevanhoertdoerferarchitects.com

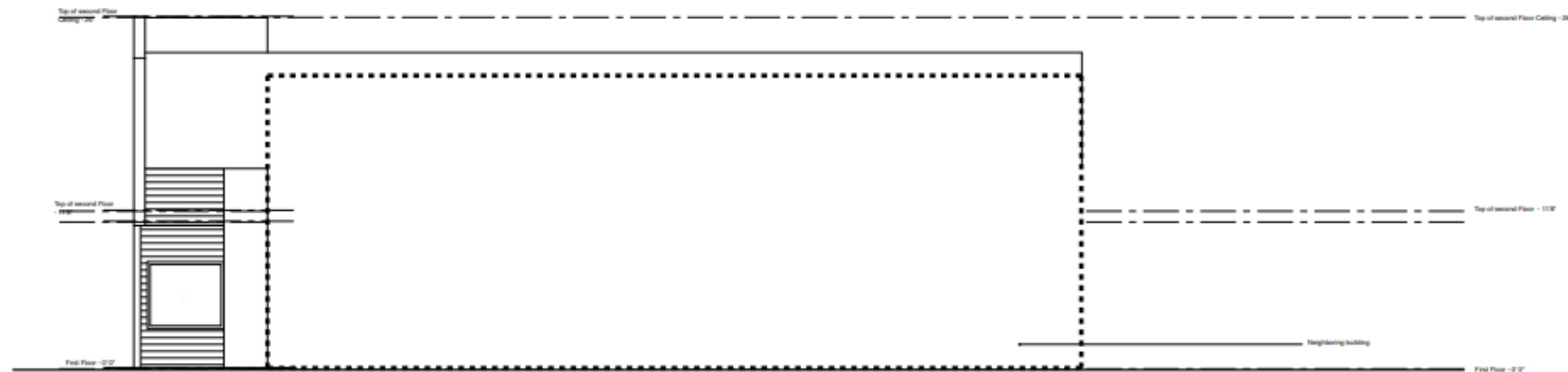
GENERAL NOTES

DATE	DESCRIPTION
7.14.2025	REV 1
10.09.2025	REV 2

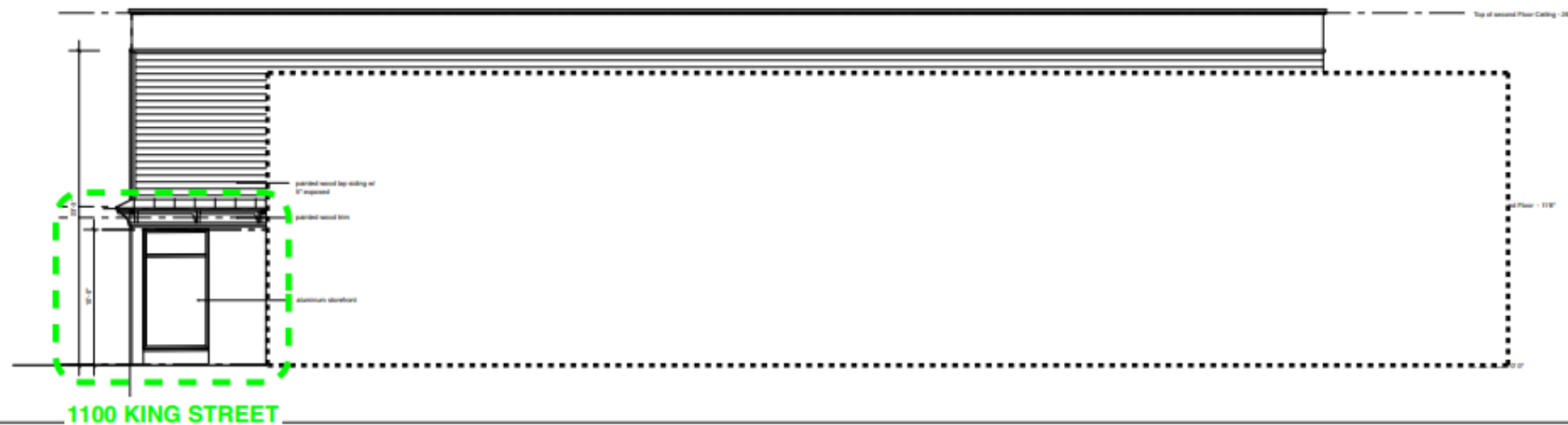


PROJECT
1100
KING STREET

10.09.2025 KHH/BLJ/P 2403
A203
BUILDING ELEVATION



A2 SOUTH ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



A1 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

Agenda Item #B-8

0 Deleston St.

(James Island)

TMS # 334-15-00-072

Request variance from Sec. 54-301 to build a detached single-family home with a 12' front setback, 7' rear setback, and an 8' west side setback (50', 35', and 15' required).

Zoned: RR-1







City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: _____

Property Address 0 Deleston TMS # 334-15-00-072

Property Owner Lazelle Walker Daytime Phone _____

Applicant Thomas P. King, III Trey Daytime Phone 843-270-7782

Applicant's Mailing Address 760 Sterling Dr

Charleston, SC 29412 E-mail Address Kingconstructions@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Buyer

Zoning of property RR-1

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES** or ☐ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Thomas P. King, III Date 12/8/2025

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

I have two issues. First is that I cannot find any normal plan that will fit inside these setbacks and allow for a normal family standard of living.

Second, given these setbacks I cannot fit a home inside the setbacks and comply with the maximum "300" rule that is now in place at JIPSD. What that means is the footprint of the home must be within 300' of the available sewer line. I will demonstrate on a survey where that line is and where the footprint of the home needs to be. This is critical because the lot itself is not big enough to be considered for any kind of septic system so public sewer access is mandatory.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

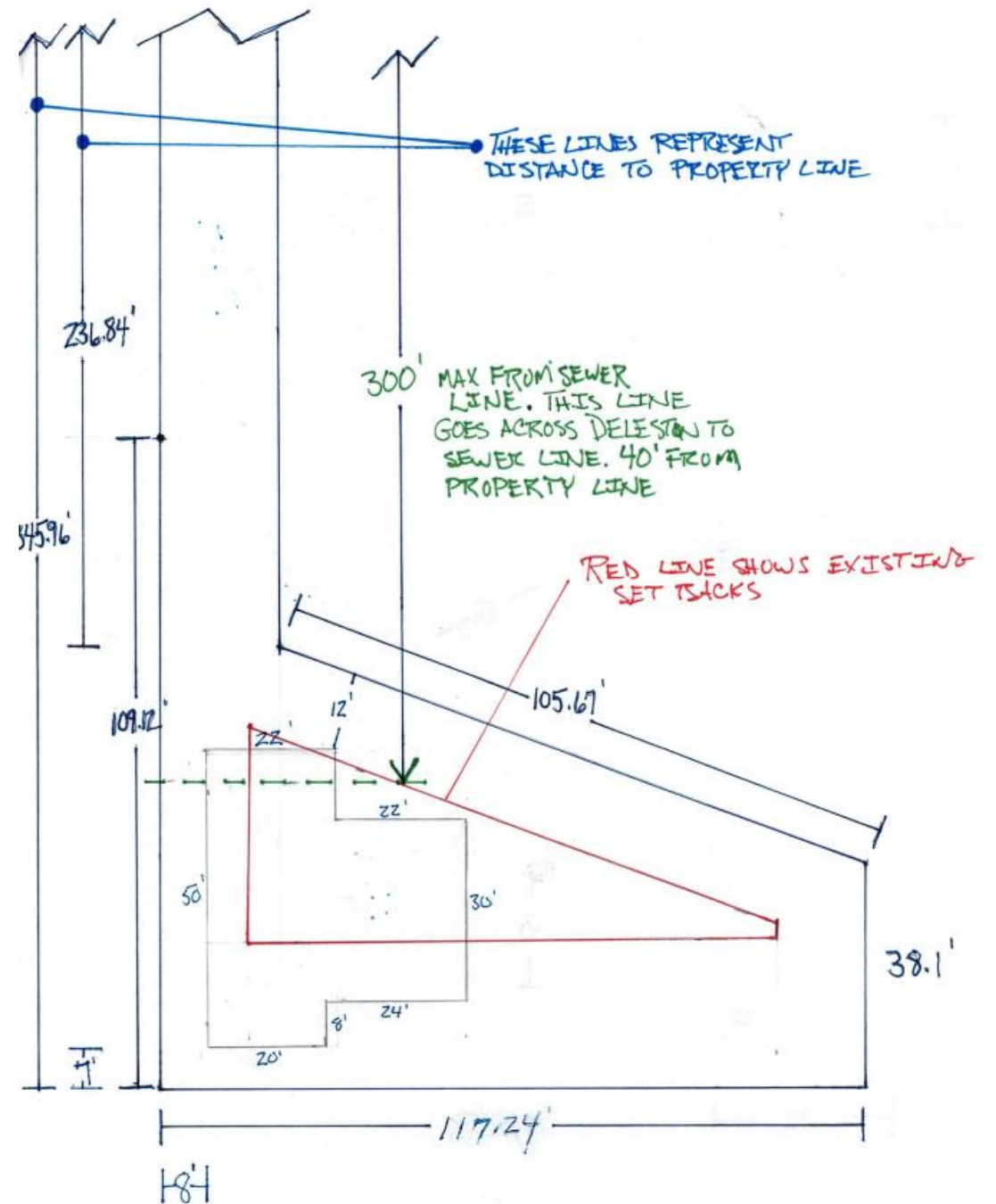
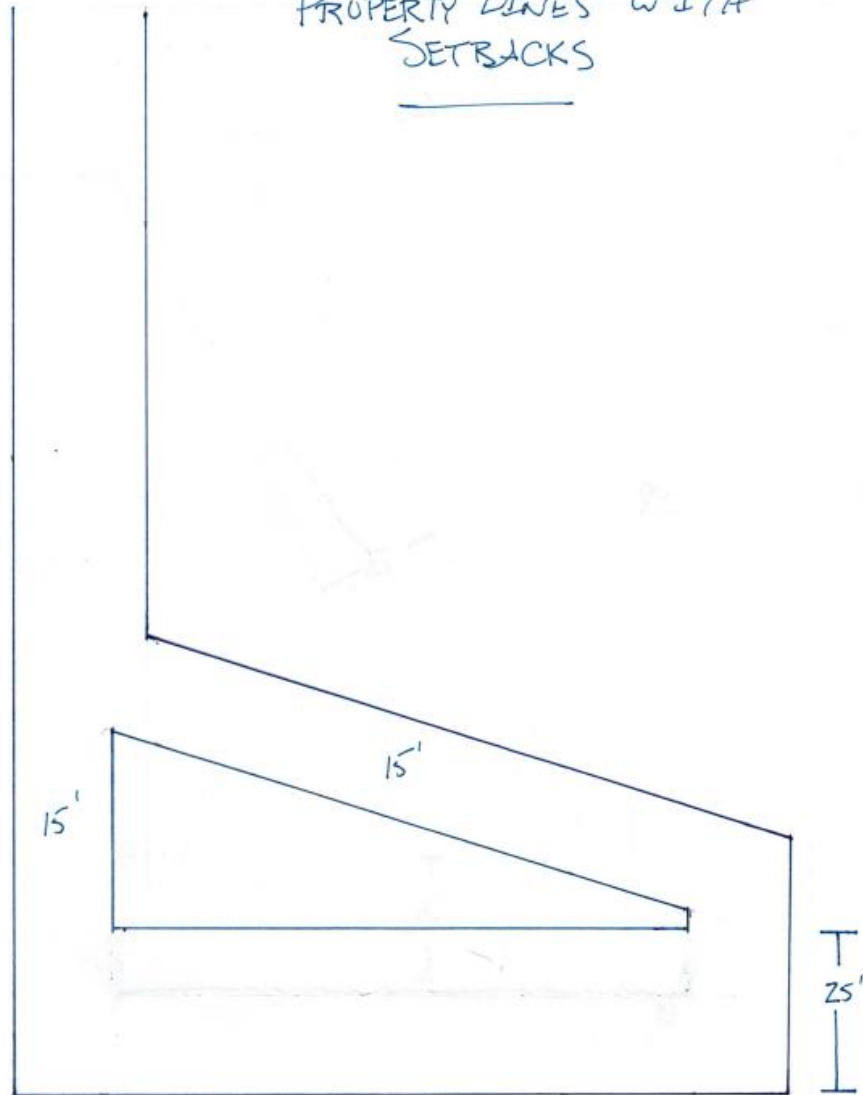
1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

PROPERTY LINES WITH
SETBACKS



Agenda Item #B-9

15 Bedons Aly.

(Charlestowne)

TMS # 457-11-02-037

Request variance from Sec. 54-301 to exceed maximum lot coverage (44.8% proposed, 35% allowed) to build a detached single-family home.

Zoned: SR-5





Workspaces ▾



City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: December 16, 2025

Property Address 15 Bedons Alley, Charleston, SC 29401 TMS # 458-09-03-087

Property Owner Elizabeth C. Simmons Daytime Phone 843.790.4924

Applicant Sebastian von Marshall Architect, LLC Daytime Phone 843.790.4924

Applicant's Mailing Address 39 Broad Street, Suite 100, Charleston, SC 29401

E-mail Address sebastian@svmarchitect.com

Relationship of applicant to owner (same, representative, prospective buyer, other) representative, design professional

Zoning of property SR-5

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
☒ Check, credit card or cash (make checks payable to the City of Charleston)
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☒ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant *Sebastian von Marshall* Date 11.04.2025

For office use only

Date application received _____ Time application received _____
 Staffperson _____ Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

SEE ATTACHED

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



SEBASTIAN von MARSCHALL ARCHITECT

www.svmarchitect.com

843.790.4924

15 Bedons Alley Variance Test:

1. A zoning variance for lot coverage (35% allowed, 42% previously requested) was approved at the February 15, 2022 BZA-Z Meeting. That lot coverage variance was based on a site plan (A101 Site Plan, Previously Approved at 2.15.2022 BZA Meeting) drawn by Martin Delo for Elizabeth C. Simmons, the same/ current owner. This site plan was drawn incorrectly, and did not accurately reflect the boundaries of the property, although the lot size (5298.5 sf) was accurate. As a result, the setbacks drawn from the incorrect property boundaries led to a smaller buildable area than was actually allowed, while maintain the lot size. This resulted in a building footprint that was designed to meet these incorrect building setbacks which resulted in a lower lot coverage variance request.
2. The error was discovered after the surveyor marked the location for the building piles and the footings were installed. At this time, it was discovered that the lot was in fact approximately 11' deeper and 3' wider than previously known. Because of the error, the building is in fact located further from the North property line (3' required and previously approved, 5'-2 1/8" existing) and East (front) property line (0' required at street front, 2' previously approved, 3'-7" existing) than originally anticipated. The applicant feels that this additional relief is a benefit to the neighbors and the community and street by providing more space than was originally anticipated and approved at the February 15, 2022 BZA-Z Meeting.
3. The design of the building originally assumed the use of the full extent of the buildable area and setbacks. The accurate survey shows that this was not the case, and that the correct width and depth of the site provide the opportunity to extend the building footprint, without a negative effect on the neighbors.
4. As mentioned above, additional relief has been provided to neighbors on the North side and from the Street to the East. The requested additional lot coverage (35% allowed, 42% previously requested, 44.8% revised request) is located entirely at the rear of the property, where additional depth exists on the site. The additional lot coverage in the form of a proposed addition to the previously approved building does not encroach any further upon the rear (West) neighbor or the rear (West) lot line (3' required) as it did in the original design. As a result, the impact of the revised property dimensions and lot coverage variance revision does not negatively impact the neighbors or the community. The design always assumed the building was going to be built 3' from the rear (West) property line. In fact, the additional setback to the North and the East beyond what is required and what was previously approved is a net benefit to the neighborhood.

15 BEDONS ALLEY
CHARLESTON, SC
29401

TMS #: 458-09-03-087

ARCHITECT

SEBASTIAN VON MARSHALL ARCHITECT, LLC
43 BROAD STREET, SUITE 200
CHARLESTON, SC 29401
TEL: 843.790.4924

DESIGN TEAM

HISTORICAL CONCEPTS
414 BILL KENNEDY WAY SE, SUITE 301
ATLANTA, GA 30316
TEL: 678.325.6665

CONTRACTOR

SIMCO INC. OF CHARLESTON
4600 GOER DR. SUITE 201
NORTH CHARLESTON, SC 29406
843.577.3348

STRUCTURAL ENGINEER

POWELL ENGINEERING
2225 ASHLEY CROSSING DR., SUITE 202
CHARLESTON, SC 29414
TEL: 843.763.7864

SHEET LIST

DRAWING #	DRAWING TITLE	ISSUANCE	ISSUE DATE
ARCHITECTURAL DRAWINGS			
A-000	COVER SHEET	BZA-Z REVISION	10.31.2025
A-001	SURVEY		9.25.2025
A-002	HISTORIC MAPS	PERMIT SET	06.16.2025
A-003	HISTORIC MAPS	BAR - CONCEPTUAL	06.16.2026
A-004	HISTORIC MAPS	BAR - CONCEPTUAL	06.16.2027
A-005	HISTORIC MAPS	BAR - CONCEPTUAL	06.16.2028
A-006	HISTORIC IMAGES	BAR - CONCEPTUAL	06.16.2029
A-007	AERIAL IMAGES	BAR - CONCEPTUAL	06.16.2030
A-008	CONTEXT IMAGES	BAR - CONCEPTUAL	06.16.2031
A-009	CONTEXT IMAGES	BAR - CONCEPTUAL	06.16.2032
A-010	STREETSCAPE ELEVATIONS	BAR - CONCEPTUAL	06.16.2033
A-011	PRECEDENT IMAGES	BAR - CONCEPTUAL	06.16.2034
A-012	PORTICO PRECEDENT IMAGES	BAR - CONCEPTUAL	06.16.2035
A-013	SITE IMAGES	BZA-Z REVISION	06.31.2025
A-014	PREVIOUSLY APPROVED SITE PLAN		1.12.2022
A-015	SITE PLAN	BZA-Z REVISION	06.31.2025
A-016	PREVIOUSLY APPROVED FIRST FLOOR PLAN		1.12.2022
A-017	FIRST FLOOR PLAN	BZA-Z REVISION	06.31.2025
A-018	PREVIOUSLY APPROVED SECOND FLOOR PLAN		1.12.2022
A-019	SECOND FLOOR PLAN	BZA-Z REVISION	06.31.2025
A-020	PREVIOUSLY APPROVED THIRD FLOOR PLAN		1.12.2022
A-021	THIRD FLOOR PLAN	BZA-Z REVISION	06.31.2025
A-022	PREVIOUSLY APPROVED ROOF PLAN		1.12.2022
A-023	ROOF PLAN	BZA-Z REVISION	06.31.2025
A-024	PREVIOUSLY APPROVED STREET SIDE ELEVATION		1.12.2022
A-025	EXTERIOR ELEVATIONS	BZA-Z REVISION	06.31.2025
A-026	PREVIOUSLY APPROVED GARDEN SIDE ELEVATION		1.12.2022
A-027	EXTERIOR ELEVATIONS	BZA-Z REVISION	06.31.2025
A-028	PREVIOUSLY APPROVED REAR ELEVATION		1.12.2022
A-029	EXTERIOR ELEVATIONS	BZA-Z REVISION	06.31.2025
A-030	PREVIOUSLY APPROVED NORTH SIDE ELEVATION		1.12.2022
A-031	EXTERIOR ELEVATIONS	BZA-Z REVISION	06.31.2025
A-032	3D MASSING MODEL	95% PERMIT SET	06.05.2025
A-033	3D MASSING MODEL	95% PERMIT SET	06.05.2025
A-034	3D MASSING MODEL	95% PERMIT SET	06.05.2025
A-035	3D MASSING MODEL	95% PERMIT SET	06.05.2025

STANDARD ABBREVIATIONS

ADJ	ADJUSTABLE	MECH	MECHANICAL
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
		MIN	MINIMUM
BD	BOARD	MO	MASONRY OPENING
BO	BOTTOM OF	MTD	MOUNTED
BR	BEDROOM	MTL	METAL
BLDG	BUILDING		
		N	NORTH
C	CENTERLINE	N/A	NOT APPLICABLE
CAB	CABINET	NIC	NOT IN CONTRACT
CONC	CONCRETE	NO	NUMBER
CL	CLOSET	NTS	NOT TO SCALE
CLG	CEILING		
		OC	ON CENTER
D	DETAIL	OPP	OPPOSITE
DIA	DIAMETER		
DN	DOWN	P	PLAN
DW	DISHWASHER	PLAS	PLASTER
DWG	DRAWING	PTD	PAINTED
E	ELEVATION	REQD	REQUIRED
EL	ELEVATION	RM	ROOM
ELEV	ELEVATOR	RO	ROUGH OPENING
EQ	EQUAL		
EXG	EXISTING	S	SECTION
EXT	EXTERIOR	SIM	SIMILAR
		STL	STEEL
FIN	FINISH	TBD	TO BE DETERMINED
FLR	FLOOR	TEMP	TEMPORARY
FS	FULL SCALE	TH	THICK
FB	FIRE BOX	TO	TOP OF
		TYP	TYPICAL
GA	GAUGE	VIF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR	VTR	VENT THROUGH ROOF
GYP	GYPSUM		
HB	HOSE BIB	W/	WITH
HT	HEIGHT	WC	WATER CLOSET
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	WD	WOOD
		W/D	WASHER/ DRYER
		W/OUT	WITHOUT
JT	JOINT		
LAM	LAMINATE		
LAV	LAVATORY		

PREVIOUS BOARD APPLICATIONS

2.15.2022 - BZA-Z LOT COVERAGE VARIANCE APPROVED, FEBRUARY 15 MEETING
4.14.2022 - BAR CONCEPTUAL APPROVAL, FINAL DETAILS TO STAFF
12.16.2025 - BZA-Z LOT COVERAGE VARIANCE REVISION - PENDING



REGULATORY REVIEW

ZONED SR-5	SINGLE FAMILY RESIDENTIAL		
OLD CITY HEIGHT DISTRICTS - 3			
OLD AND HISTORIC DISTRICT OVERLAY			
ZONING SHADER X - PERMITS FLOOR ZONE (1.26.2025 MAP)			
ZONING COMPLIANCE	ZONING REQUIREMENT	EXISTING	PROPOSED
SETBACK REQUIREMENTS			
TOTAL FRONT / REAR SETBACK	7'	7' Previously Approved	0'-0"
FRONT YARD SETBACK	NR	7' Previously Approved	0'-0"
REAR YARD SETBACK	7'	7' Previously Approved	7'
TOTAL SIDE SETBACKS	10'	10' 0" Previously Approved	10' 0" 1/8"
SOUTHWEST SIDE SETBACK	7'	17' 0" Previously Approved	17' 0"
NORTHEAST SIDE SETBACK	7'	7' Previously Approved	15' 2 1/8"
LOT COVERAGE, FENCES, ACCESSORY STRUCTURES			
MAX. BUILDING LOT COVERAGE	35% of 1206.5 sf = 408.3 sf	74.4% (2225.4 sf) previously approved	44.4% (2074.6 sf)
MAX HEIGHT LIMITS (STRUCTURES)	NR / 5.00K	NR previously approved	40' 0" 5/8"
MAX HEIGHT LIMITS (FENCES / WALLS)	6'	N/A	6'
ACCESSORY BLDG. SETBACK	N/A	N/A	N/A
FROM FRONT STREET	10'	N/A	N/A
FROM SIDE STREET	7'	N/A	N/A
ADJPT DWELLING DIST. FROM FRONT LOT LINE	NOT ALLOWED	N/A	N/A
OLD CITY HEIGHT DISTRICT LIMITS			
MAXIMUM BUILDING HEIGHT	MAX 3 STORIES	N/A	3 STORIES
ATTC. SHALL NOT BE HABITABLE		N/A	
NO. RES. FIRST FLOOR HEIGHT	MAX 14'	N/A	N/A
** SITE WAS GRANTED A VARIANCE FOR 45% LOT COVERAGE AT 1.15.2025 BZA-Z MEETING			

843.790.4924

SvMArchitect.com



SEBASTIAN von MARSHALL
ARCHITECT

Sebastian@SvMArchitect.com



△ BZA-Z REVISION	10.31.2025
△ ISSUE FOR CONSTRUCTION	10.27.2025
△ PERMIT SET REVISION	07.20.2025
△ REVISED PORTICO & PARAPET	06.20.2025
△ PERMIT SET	06.16.2025
△ 95% PERMIT SET	06.05.2025
△ BAR - CONCEPTUAL	3.28.2022
△ ISSUE:	D.4712

Project:

15 Bedons Alley
Charleston, SC
29401

COVER PAGE

Scale:

N/A

Drawing No.

Date:

3.14.2022

Drawn By:

SvM, LHH

Project No.

21011

A-000

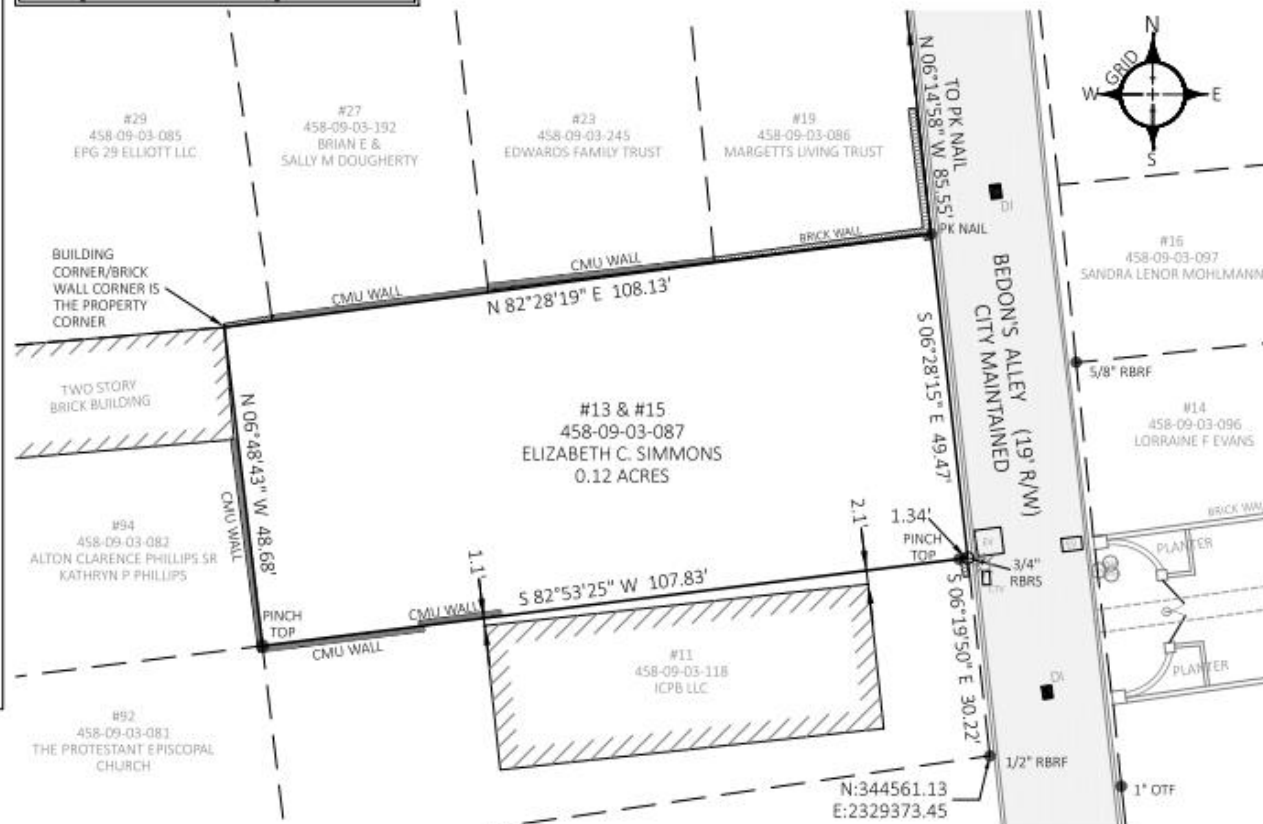


NOTES:

1. PROPERTY APPEARS TO BE LOCATED IN "X-SHADED" AS PER FIRM 45019C0518K, DATED JANUARY 29, 2021.
2. HORIZONTAL DATUM REFERENCED: SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM NAD83.
3. VERTICAL DATUM REFERENCED: NAVD88.
4. FEATURES OUTSIDE OF THE SUBJECT PROPERTY ARE SHOWN FOR DESCRIPTIVE PURPOSES ONLY.
5. ONLY EASEMENTS AND RIGHTS-OF-WAY SHOWN ON THE REFERENCES AND/OR OBVIOUS TO THE SURVEYOR ARE SHOWN.
6. PROPERTY ZONED CITY OF CHARLESOTN- SR-5.
 - a. SETBACKS: FRONT NR', SIDE 10' (COMBINED), REAR 3'
 - b. MAXIMUM BUILDING COVERAGE: 35%
 - c. MAXIMUM BUILDING HEIGHT: 50' / 3 STORIES

REFERENCES:

1. PLAT BY JOSEPH NEEDLE DATED 10/6/1951, RECORDED IN PLAT BK/PG H-104.
2. PLAT BY JOSEPH NEEDLE DATED 01/28/1956, RECORDED IN PLAT BK/PG K-66.
1. PLAT BY HAROLD J. LEA MOND DATED 07/12/1973, RECORDED IN PLAT BK/PG R-84.
2. PLAT BY F. STEVEN JOHNSON DATED 10/21/1997 RECORDED IN PLAT BK/PG EC-125.
3. PLAT BY F. STEVEN JOHNSON DATED 05/29/2000 RECORDED IN PLAT BK/PG EE-103.
4. DEED BK/PG 1043-355.
5. DEED BK/PG 1219-148.



LEGEND

	BOUNDARY
	BOUNDARY, ADJOINER
	MONUMENT FOUND (SIZE & TYPE GIVEN)
	MONUMENT SET (3/8" REBAR PIN)
	CALCULATED POINT, NO MONUMENT
	UTILITY POLE
	LIGHT POLE
	WATER METER

SEPTEMBER 25, 2025
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA

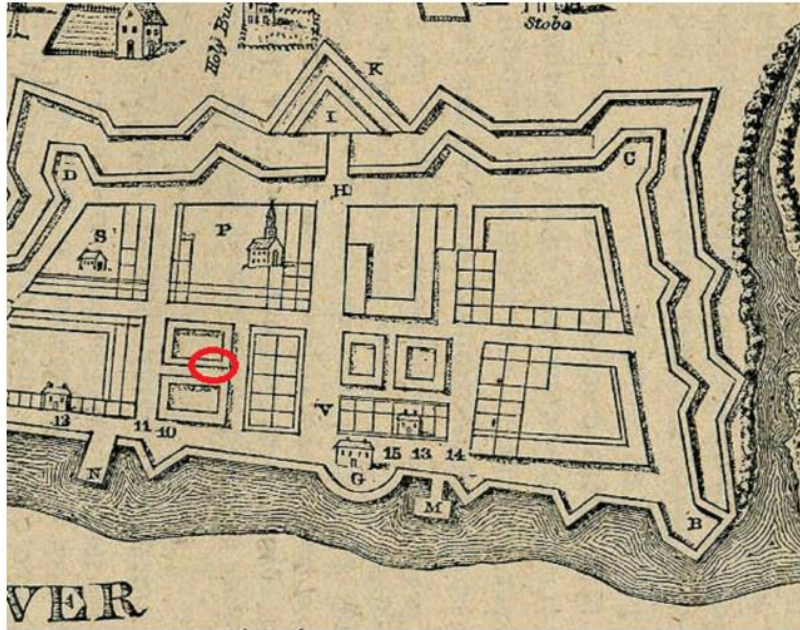
BOUNDARY SURVEY
LOT 13 & 15
TMS# 458-09-03-087
MEASURING 0.17 ACRES
OWNED BY ELIZABETH C. SIMMONS

BENCHMARK LDS, LLC
120 Sandhill Path
Summerville, SC 29483
843-514-9415
matt@benchmarklds.com

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.



SCALE: 1" = 20'



01
A-002 1704 PLAN OF CHARLES TOWN FROM A SURVEY OF EDWARD CRISP ESQ.
NTS
THE MAP SUGGESTS THE EXISTENCE OF A STRUCTURE, PERHAPS AS PART
OF A SERIES OF ATTACHED BUILDINGS AT THE PROPOSED SITE.



02
A-002 1711 PLAN OF TOWN & HARBOR OF CHARLES TOWN BY EDWARD CRISP FROM SURVEYS
BY JOHN LOVE, MAURICE MATTHEWS, AND CAPT. THOMAS SAURINE
NTS
FROM THE LIBRARY OF CONGRESS GEOGRAPHY AND MAPS DIVISION.
THE MAP SUGGESTS THE EXISTENCE OF A STRUCTURE, PERHAPS AS PART
OF A SERIES OF ATTACHED BUILDINGS AT THE PROPOSED SITE.

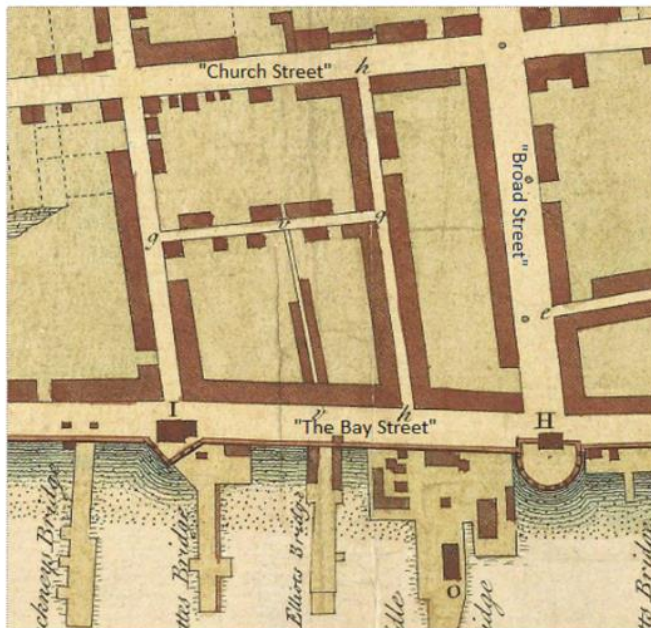


△ PERMIT SET 06.16.2025
△ 95% PERMIT SET 06.05.2025
BAR - CONCEPTUAL 3.28.2022
ESTEE D.1713

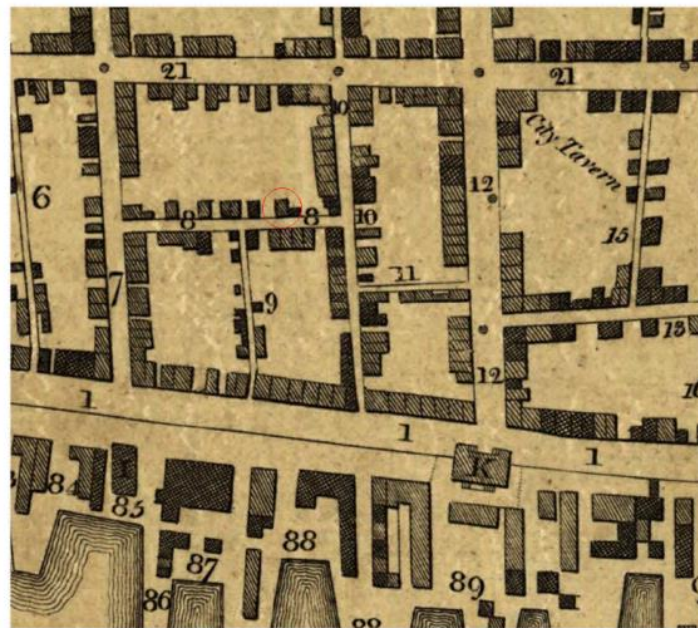
Project:
15 Bedons Alley
Charleston, SC
29401

HISTORIC MAPS

Scale: NTS	Drawing No: A-002
Date: 3.25.2022	
Drawn By: SvM, HJH	
Project No: 21011	



01 1739 ICHNOGRAPHY OF CHARLESTON
NTS
FROM THE JOHN CARTER BROWN LIBRARY, JCB MAP COLLECTION
THERE APPEARS TO BE A STRUCTURE AT OR NEAR THE PROPOSED SITE



02 1788 ICHNOGRAPHY OF CHARLESTON
NTS
FROM THE 1788 ICHNOGRAPHY OF CHARLESTON BY THE PHOENIX FIRE INSURANCE
COMPANY OF LONDON.
THE NUMBER 8 IS NOTED AS "BEDONS ALLEY"
THERE APPEARS TO BE A STRUCTURE AT OR NEAR THE PROPOSED SITE

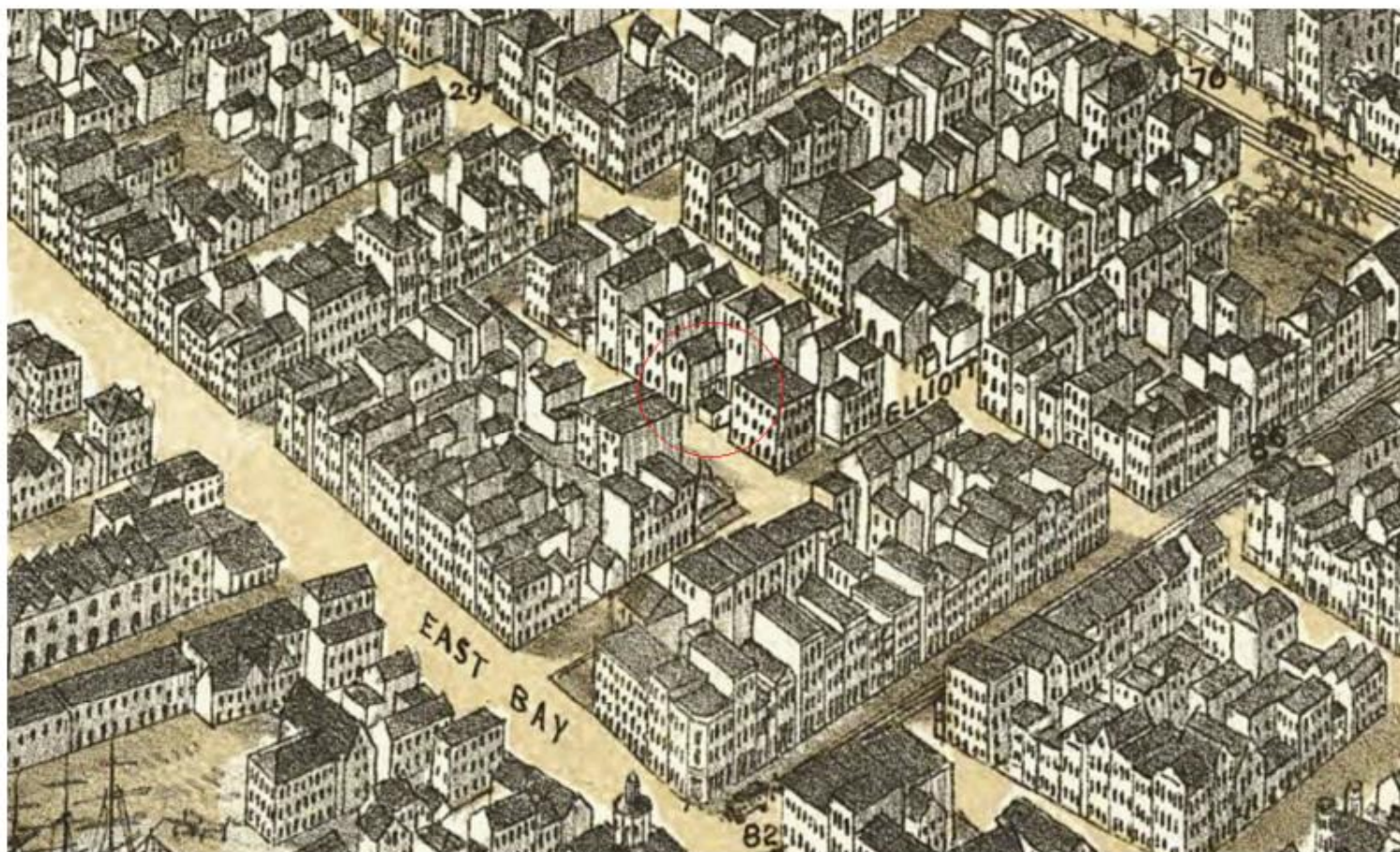


△ PERMIT SET 06.14.2021
△ 95% PERMIT SET 06.05.2021
BAR - CONCEPTUAL 1.28.2022
DATE: D.471

Project
15 Bedons Alley
Charleston, SC
29401

HISTORIC MAPS

Scale: NTS	Drawing No. A-003
Date: 3.25.2022	
Drawn By: SvM, HJH	
Project No. 21011	



1872 BIRD'S EYE VIEW OF THE CITY OF CHARLESTON, SOUTH CAROLINA
 FROM THE LIBRARY OF CONGRESS GEOGRAPHY AND MAPS DIVISION
 THE DRAWING SUGGESTS THE EXISTENCE OF A BUILDING AT THE PROPOSED SITE.



PERMIT SET 06.04.2021
 10% PERMIT SET 06.04.2021
 30% - CONCEPTUAL 1.28.2022
 45% 23.10.22

15 Bedons Alley
 Charleston, SC
 29401

HISTORIC MAPS

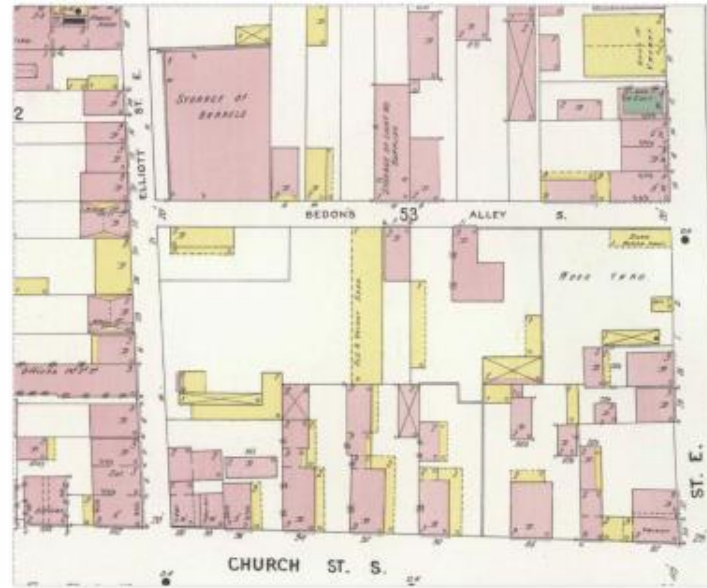
NTS
 3.25.2022
 A-004



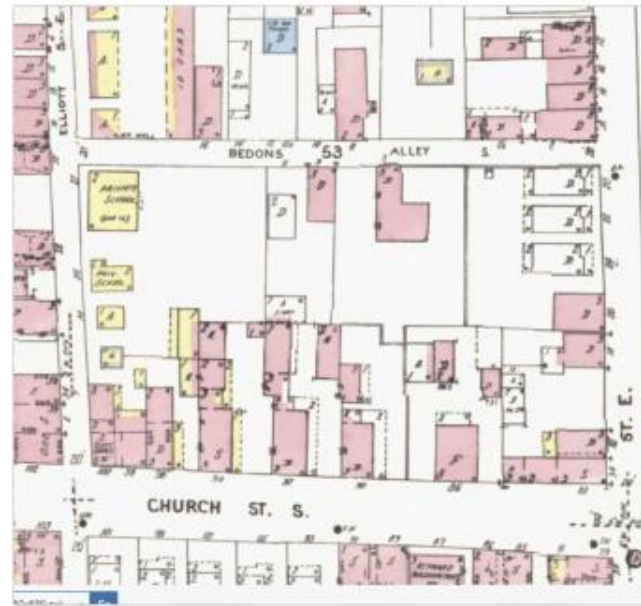
01 1908 SANBORN FIRE INSURANCE MAP
NTS



03 1911 SANBORN FIRE INSURANCE MAP
NTS



02 1902 SANBORN FIRE INSURANCE MAP
NTS



04 1915 SANBORN FIRE INSURANCE MAP
NTS

843.790.4924

Sebastian@SvM-Architect.com



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@SvM-Architect.com



△ DRAFT SET 06.30.2021
△ SFL DRAFT SET 06.16.2021
BAR - CONCEPTUAL 1.28.2022
REVISION 05.17.23

Sheet

15 Bedons Alley
Charleston, SC
29401

HISTORIC MAPS

Scale
NTS
Date
5.25.2022
Drawn By
SvM, LHH
Project No.

A-005

21061



04. IMAGE: "LOOKING NORTH ON BEDONS ALLEY"
NTS

FROM THE HISTORIC CHARLESTON FOUNDATION COLLECTION, ca. 1898-1912

IMAGE TAKEN NEAR THE INTERSECTION OF TRAD STREET AND BEDONS ALLEY, LOOKING NORTH. THE FIRES OF 1740 AND 1778 DESTROYED MANY OF THE EARLY HOUSES ON THE STREET.



05. PREVIOUS STRUCTURE AT 15 BEDONS ALLEY
NTS

TAKEN FROM BEDONS ALLEY LOOKING WEST. THE HOUSE WAS BUILT IN 1973 AND WAS APPROVED FOR DEMOLITION BY THE BAR ON OCTOBER 10, 2019. THE BUILDING WAS DEMOLISHED IN 2020.



07. PREVIOUSLY APPROVED STRUCTURE
NTS

TAKEN FROM THE DRAWING SET THAT WAS PREVIOUSLY APPROVED BY THE BAR IN 2020.

843.790.6924

SeMArchitect.com



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SeMArchitect.com



PERMIT SET

06.16.2021

10% PERMIT SET

06.16.2021

BAR - CONCEPTUAL

3.26.2022

DATE:

23.07.2022

Project:

15 Bedons Alley
Charleston, SC
29401

HISTORIC IMAGES

Scale:

NTS

Drawing Title:

Date:

3.25.2022

Drawn By:

SeM, LHH

Project Title:

A-006

2024.6



01 EXISTING AERIAL IMAGE (GOOGLE), VIEW LOOKING NORTH
NTS



02 EXISTING AERIAL IMAGE (GOOGLE), VIEW LOOKING EAST
NTS



03 EXISTING AERIAL IMAGE (GOOGLE), VIEW LOOKING SOUTH
NTS



04 EXISTING AERIAL IMAGE (GOOGLE), VIEW LOOKING WEST
NTS



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@SeMarschall.com



PERMIT SET 06.06.2021
REV. PERMIT SET 06.01.2021
S.D.B. CONCEPTUAL 1.26.2022
E.D.B. 03.07.2022

Project
15 Bedons Alley
Charleston, SC
29401

AERIAL IMAGES

Scale NTS	Drawing No. A-007
Date 5.25.2022	
Drawn By SVM, FJH	
Project No. 21001	



01 19 BEDONS ALLEY, LOOKING NORTH-WEST ON BEDONS ALLEY
N18
3-1018



02 16 BEDONS ALLEY, LOOKING NORTH-EAST ON BEDONS ALLEY
N18
3-1018



03 17 ELLIOTT STREET (NE CORNER OF ELLIOTT AND BEDONS ALLEY)
LOOKING SOUTH FROM ELLIOTT STREET
N18
3-1018



04 VIEW LOOKING NORTH ON BEDONS ALLEY WITH 15 BEDONS ALLEY ON THE LEFT
N18
3-1018



05 KEY PLAN
N18
3-1018

843.790.4924

SeM.vonMarshall.com



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@SeM.vonMarshall.com



PERMIT SET	06.30.2021
REV. PERMIT SET	06.08.2021
BAR - CONCEPTUAL	1.28.2021
DATE:	11.17.21

15 Bedons Alley
Charleston, SC
29401

CONTEXT IMAGES

DATE	N/A	Drawing No.
TITLE	3.14.2022	A-008
DESIGN BY	SeM, LHH	
PROJECT NO.		

2018.1



02 2 BEDONS ALLEY, LOOKING EAST FROM TRADD STREET
NTS



03 5 BEDONS ALLEY, LOOKING NORTH-WEST ON BEDONS ALLEY
NTS



04 8 BEDONS ALLEY, LOOKING SOUTH-EAST ON BEDONS ALLEY
NTS



06 9 BEDONS ALLEY, LOOKING NORTH-WEST ON BEDONS ALLEY
NTS



05 11 BEDONS ALLEY, LOOKING WEST ON BEDONS ALLEY
NTS



05 KEY PLAN
NTS

843.790.6924 363MArchitect.com

SEBASTIAN von MARSCHALL
ARCHITECT

Schwaner@363MArchitect.com



PERMIT SET	06.16.2022
10% PERMIT SET	06.16.2022
BAR - CONCEPTUAL	3.26.2022
DATE:	11.07.22

15 Bedons Alley
Charleston, SC
29401

CONTEXT IMAGES

Sheet	N/A	Drawing Title
Date	3.14.2022	A-009
Drawn By	SVM, LHH	
Project No.		20161



SEBASTIAN von MARSHALL
ARCHITECT

Sebastian@SVMArchitect.com



PERMIT SET 06.16.2021
 VPL PERMIT SET 06.16.2021
 S.A.R. - CONCEPTUAL 5.28.2022
 DESIGNED 23.07.2021

Project:

15 Bedons Alley
 Charleston, SC
 29401

STREETSCAPE
 ELEVATIONS

Scale:
 1/8" = 1'-0"
 Date:
 5.25.2022
 Drawn By:
 HJH, SvM
 Project No:

A-010

2101.1



01 BEDONS ALLEY WEST ELEVATION
 1/8" = 1'-0"



02 BEDONS ALLEY EAST ELEVATION
 1/8" = 1'-0"



01 45 KING STREET, NEW BUILD USING SINGLE HOUSE TYPOLOGY WITH OVERTLY EXPRESSED HYPHEN AND REAR HOUSE
N15



02 47 KING STREET, TRADITIONAL CHARLESTON 3 BAY STREET FACADE WITH TRANSITIONAL APPENDAGES
N15



03 64 TRADD STREET, HISTORIC HOME CONNECTED TO NEW TRANSITIONAL ADDITION WITH A CONTEMPORARY HYPHEN
N15



04 64 TRADD STREET, HISTORIC HOME CONNECTED TO NEW TRANSITIONAL ADDITION WITH A CONTEMPORARY HYPHEN
N15



05 51 KING STREET WITH CONTEMPORARY HYPHEN VISIBLE FROM STREET
N15



06 20 TRADD STREET LOOKING SOUTH FROM TRADD W/ DRESSED SIDE WALL AND DOOR
N15



PERMIT SET	06.16.2021
10% PERMIT SET	06.16.2021
FOR CONCEPTUAL	1.28.2022
LISTED	11.17.22

Project:
15 Bedons Alley
Charleston, SC
29401

PRECEDENT IMAGES

Scale:	N/A	Drawing No.
Date:	3.14.2022	A-011
Drawn by:	SOM, HJI	
Project No.	21011	



01
A-012
MILES BREWTON HOUSE WITH ACCESSIBLE
PORTICO ON GRADE NTS



02
A-012
CHARLESTON COUNTY COURTHOUSE WITH
RUSTICATED THREE BAY PORTICO AT GRADE NTS



03
A-012
BAVENEL HOUSE THREE BAY RUSTICATED PORTICO NTS



04
A-012
FIREPROOF BUILDING WITH THREE BAY
PORTICO NTS



05
A-012
CITY HALL PORTICO WITH ACCESS AT GRADE NTS



06
A-012
114 BROAD STREET PORTICO WITH ARTICULATED
BAYS AT BASE NTS

843.790.4924 se@marshall.com

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ARCHITECT

Sebastian@Se-M-Architect.com



△ PERMIT SET 06.16.2021
△ FULL PERMIT SET 06.16.2021
EJG:DL 03.17.21

15 Bedons Alley
Charleston, SC
29401

PORTICO PRECEDENT
IMAGES

NTS
4.14.2022
JHJ
Page No. 2016.1

A-012



02 VIEW LOOKING SOUTH-EAST TOWARDS THE SITE
A-013 NTS



VIEW LOOKING EAST TOWARDS THE SITE



04 VIEW LOOKING NORTH ON BIDONS ALLEY
A-015 NTS



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@25r MArchitect.com



△ LOCAL EFFORT

18.01.2020
11:47:00

Figure 1

Figure 1

15 Bedons Alley
Charleston, SC
29401

SITE IMAGES

Number

N/A

Category	Value
Category 1	Value 1
Category 2	Value 2
Category 3	Value 3
Category 4	Value 4
Category 5	Value 5
Category 6	Value 6
Category 7	Value 7
Category 8	Value 8
Category 9	Value 9
Category 10	Value 10
Category 11	Value 11
Category 12	Value 12
Category 13	Value 13
Category 14	Value 14
Category 15	Value 15
Category 16	Value 16
Category 17	Value 17
Category 18	Value 18
Category 19	Value 19
Category 20	Value 20
Category 21	Value 21
Category 22	Value 22
Category 23	Value 23
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Category 27	Value 27
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Category 87	Value 87
Category 88	Value 88
Category 89	Value 89
Category 90	Value 90
Category 91	Value 91
Category 92	Value 92
Category 93	Value 93
Category 94	Value 94
Category 95	Value 95
Category 96	Value 96
Category 97	Value 97
Category 98	Value 98
Category 99	Value 99
Category 100	Value 100

11A

THE

SvM

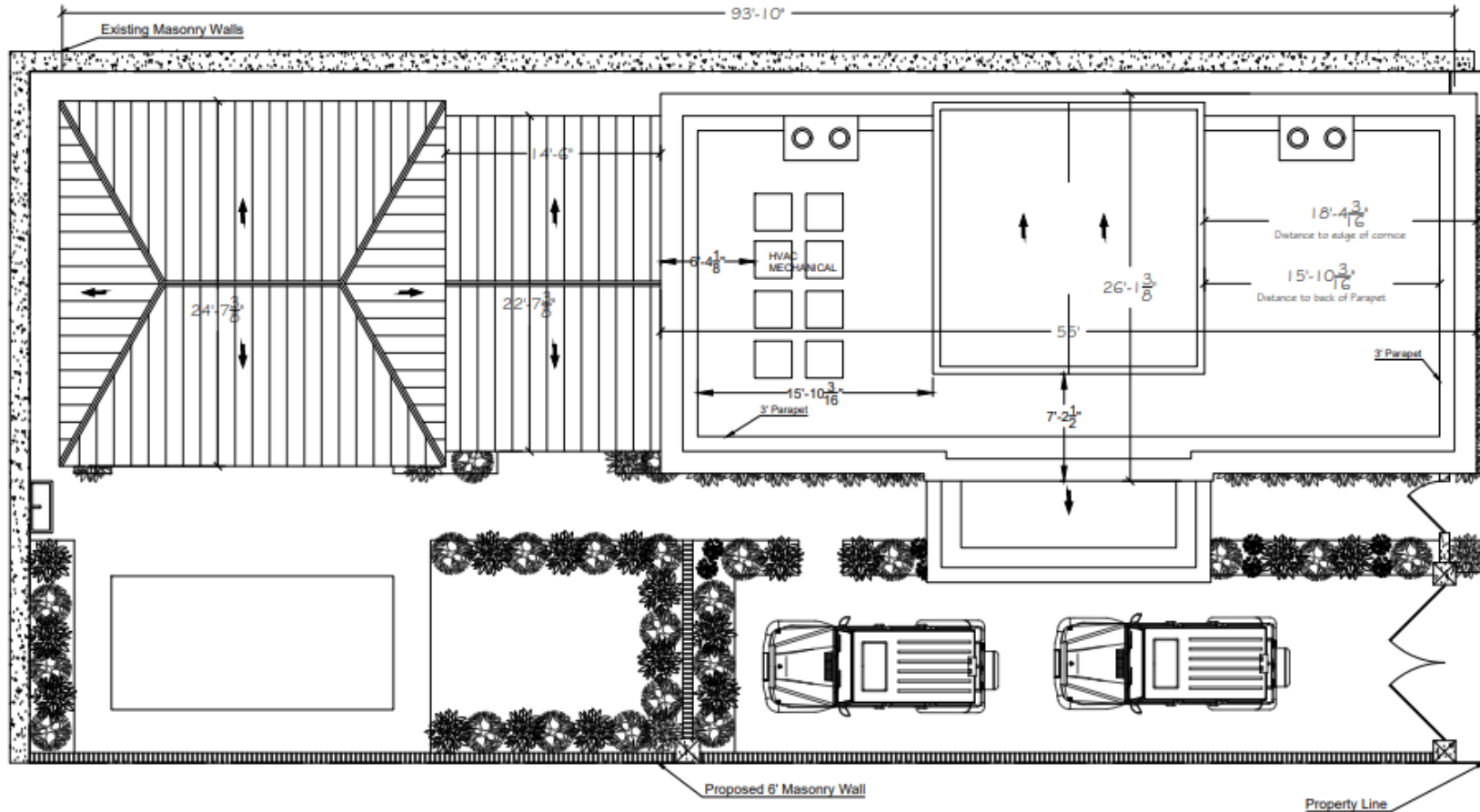
Frequency (%)

1	2
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Thomson Site

A-013

21041



Site Plan

Scale: $\frac{1}{8}" = 1'-0"$

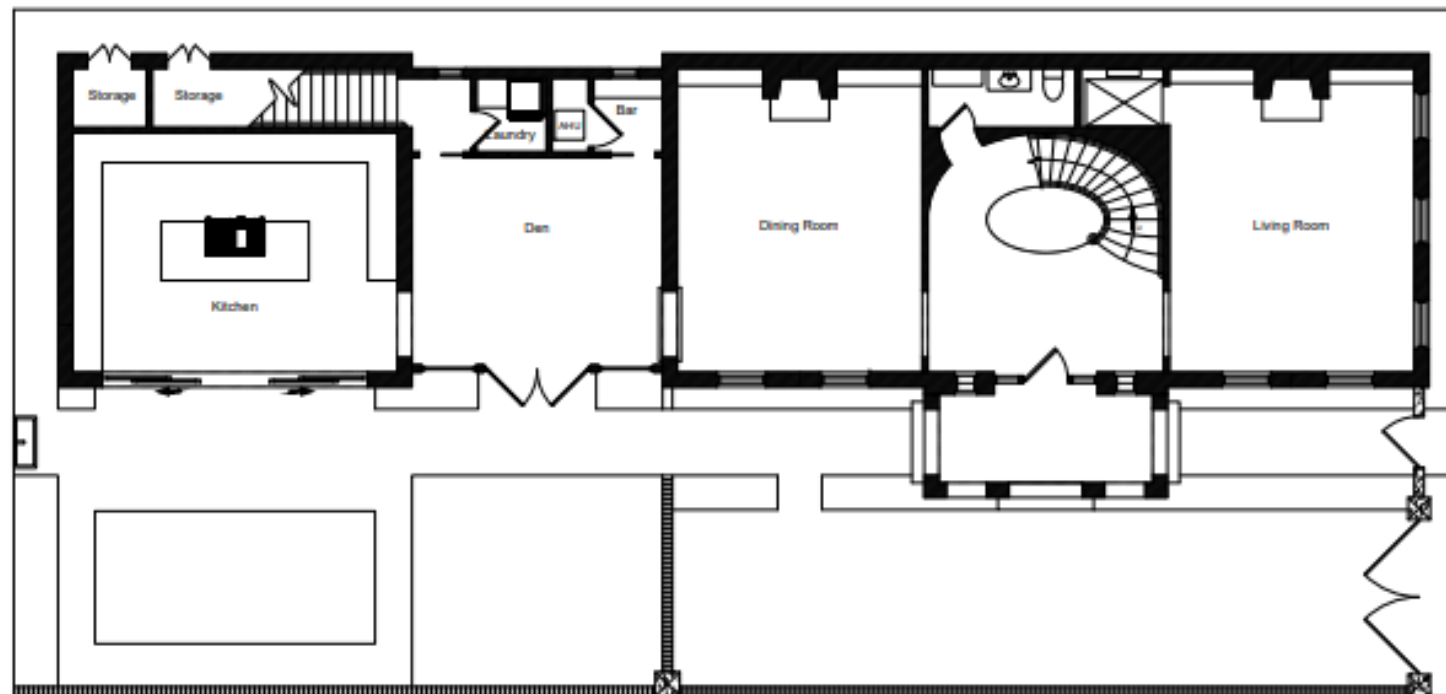
PREVIOUSLY APPROVED AT 2.15.2022 BZA MEETING

A101	12-Jan-22
15 BEDON'S ALLEY CHARLESTON, SC	
	DRAWN BY: MARTYN DELO



21011





PREVIOUSLY APPROVED AT 2.15.2022 BZA MEETING

First Floor Plan

Scale: $\frac{1}{8}" = 1'-0"$



A102

12-Jan-22

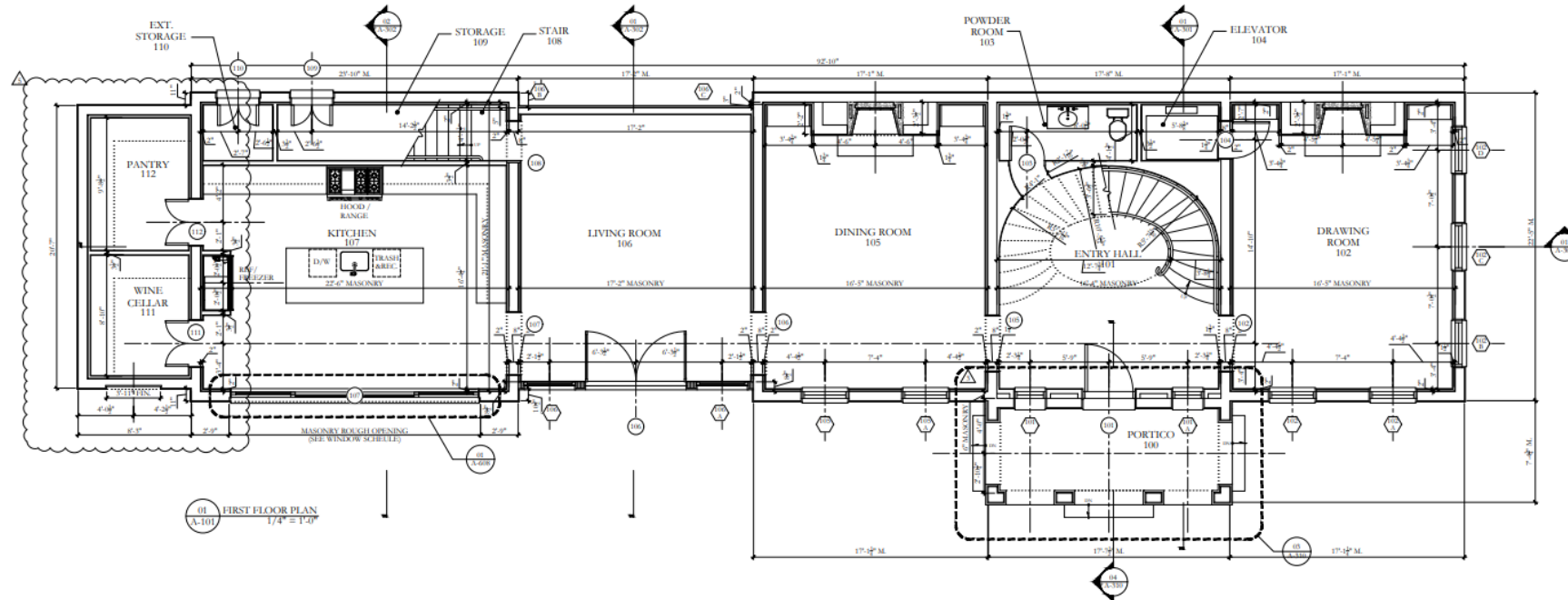
15 BEDON'S ALLEY
CHARLESTON, SC

DRAWN BY:
MARTIN DELO



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



01 FIRST FLOOR PLAN
A-101
1/4" = 1'-0"

△ R-Z-A REVISION	10.31.2025
△ ISSUE FOR CONSTRUCTION	10.27.2025
△ REVISED PORTICO & PARAPET	06.20.2025
△ PERMIT SET	06.16.2025
△ 95% PERMIT SET	06.05.2025
△ BAR - CONCEPTUAL	5.28.2022
EXIST:	D. GTE

Project

15 Bedons Alley
Charleston, SC
29401

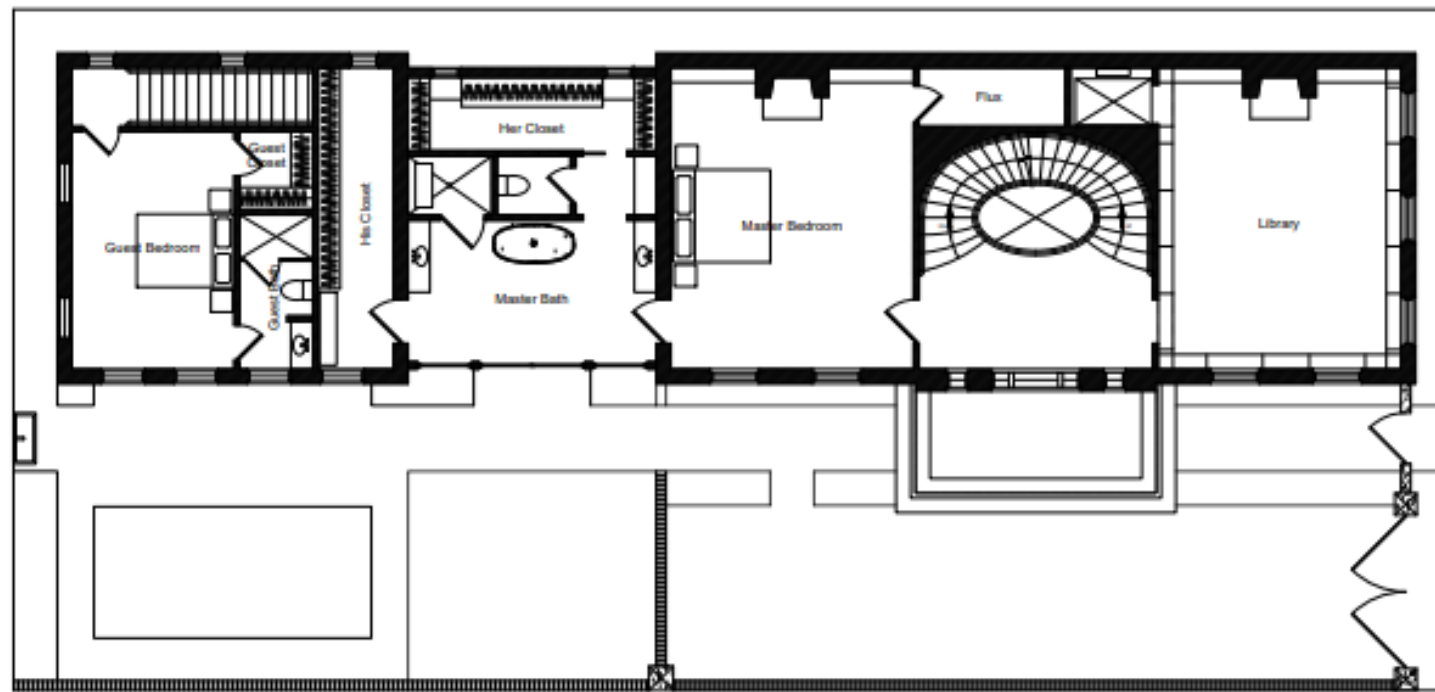
FIRST FLOOR PLAN

Scale:
1/4" = 1'-0"
Date:
3.22.2022
Drawn by:
SvM, HH, JD
Project No:

Drawing No.

A-101

21011



PREVIOUSLY APPROVED AT 2.15.2022 BZA MEETING

Second Floor Plan
Scale: $\frac{1}{8}" = 1'-0"$

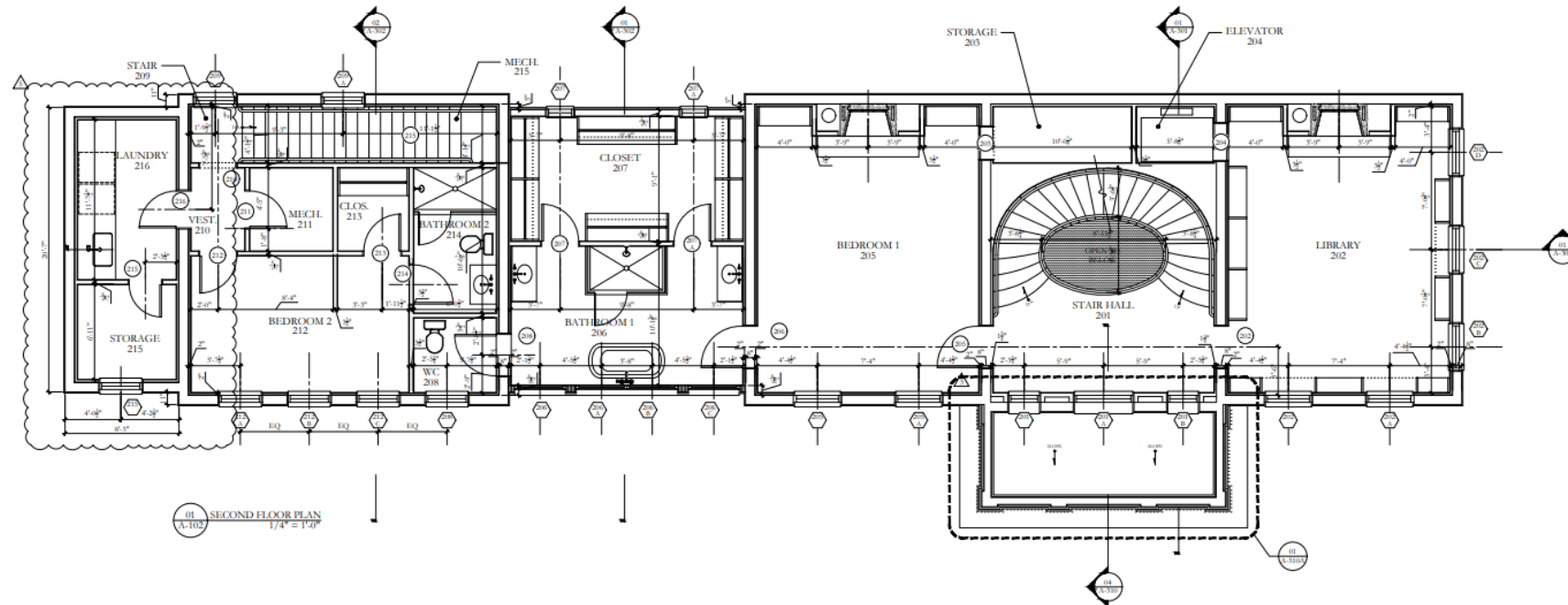


A103	15 BEDON'S ALLEY CHARLESTON, SC	
12-Jan-22		DRAWN BY: MARTIN DELD



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



01 SECOND FLOOR PLAN
A-102
1/4" = 1'-0"

△ B2-A-Z REVISION	10/31/2025
△ ISSUE FOR CONSTRUCTION	10/27/2025
△ REVISED PORTECO & PARAPET	06/26/2025
△ PERMIT SET	06/14/2025
△ 95% PERMIT SET	06/05/2025
BAR - CONCEPTUAL	3/26/2022
ISSUE:	D-ATTU

Page:

15 Bedons Alley
Charleston, SC
29401

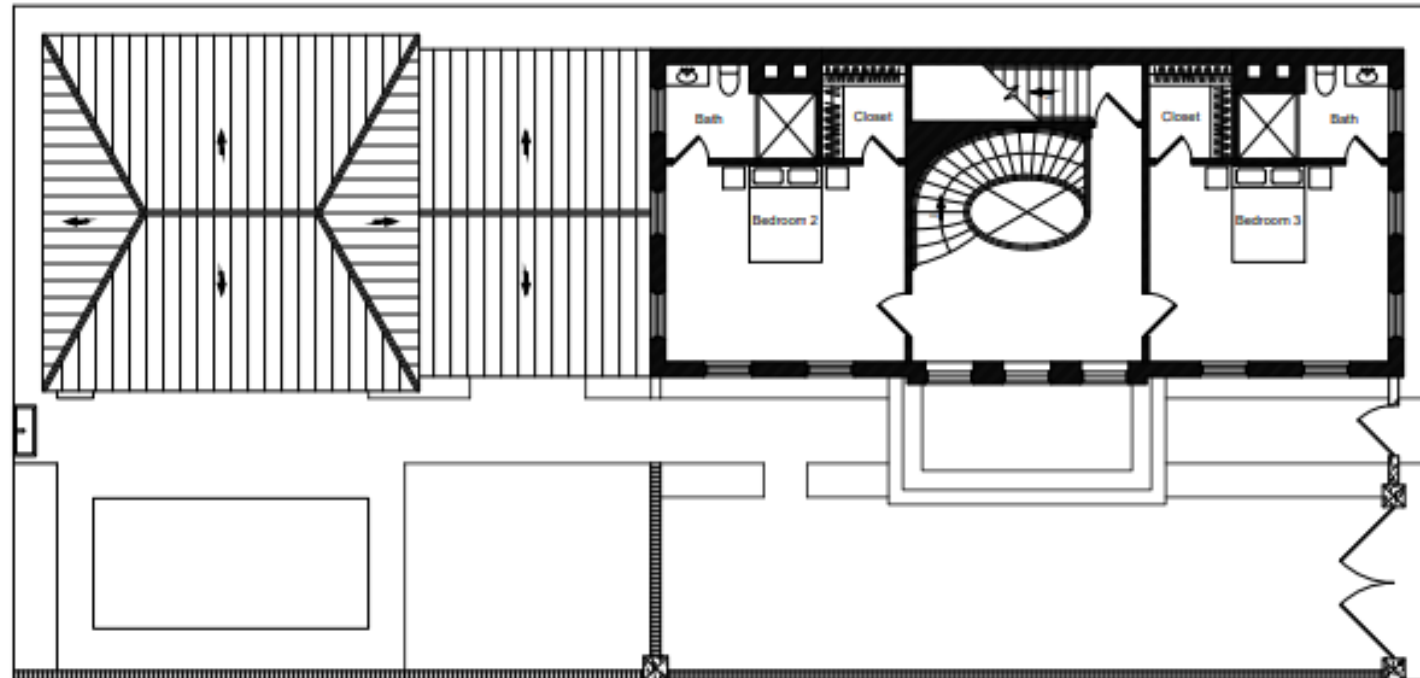
SECOND FLOOR PLAN

Scale:
1/4" = 1'-0"
Date:
3.22.2022
Drawn By:
SvM, HH, JD
Project No:

Drawing No:

A-102

21011



PREVIOUSLY APPROVED AT 2.15.2022 BZA MEETING

Third Floor Plan

Scale: $\frac{1}{8}" = 1'-0"$

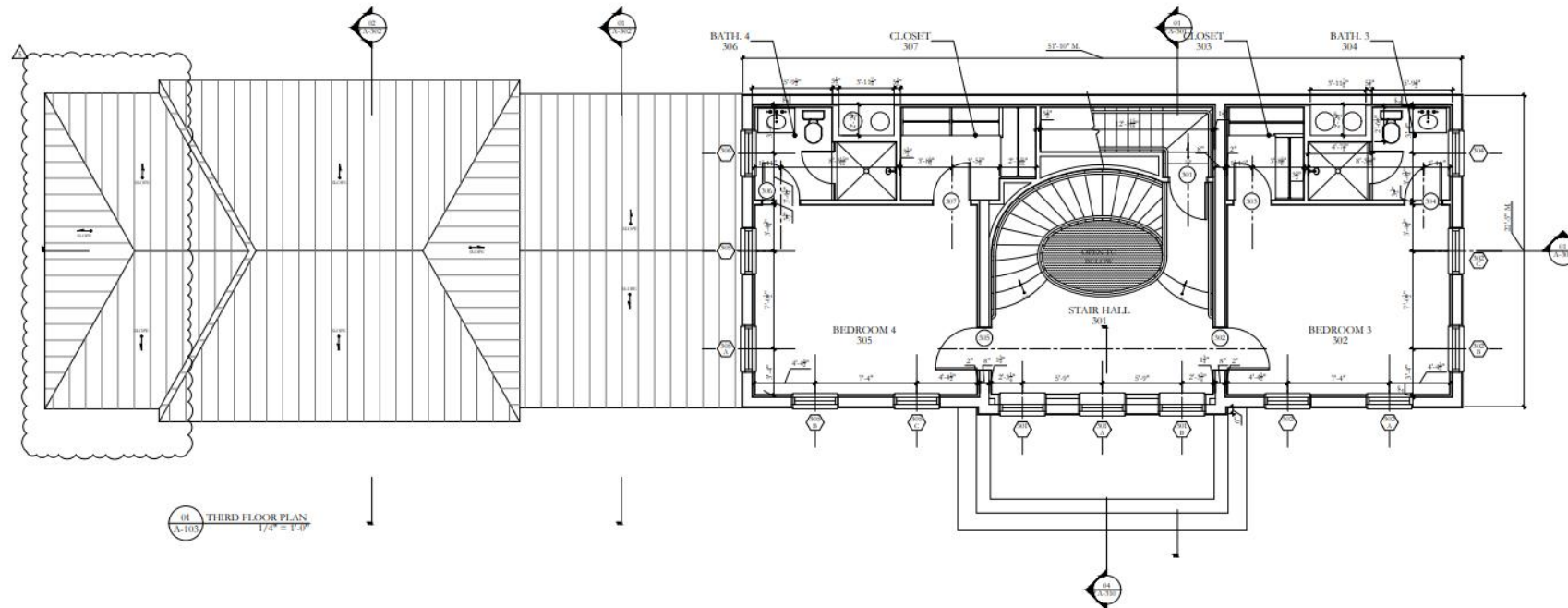


A104

12-Jan-22

15 BEDON'S ALLEY
CHARLESTON, SC

DESIGNED BY:
MARTIN W. COLE, D



01 THIRD FLOOR PLAN
A-103
1/4" = 1'-0"

843.790.4924 SvMArchitect.com



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



△ B-A-Z REVISION 10/31/2023
 ISSUE FOR CONSTRUCTION 10/27/2023
 △ PERMIT SET 08/16/2023
 △ 95% PERMIT SET 06/05/2023
 BAK - CONCEPTUAL 3/28/2022
 EXIST: D-ATL

Page:

15 Bedons Alley
Charleston, SC
29401

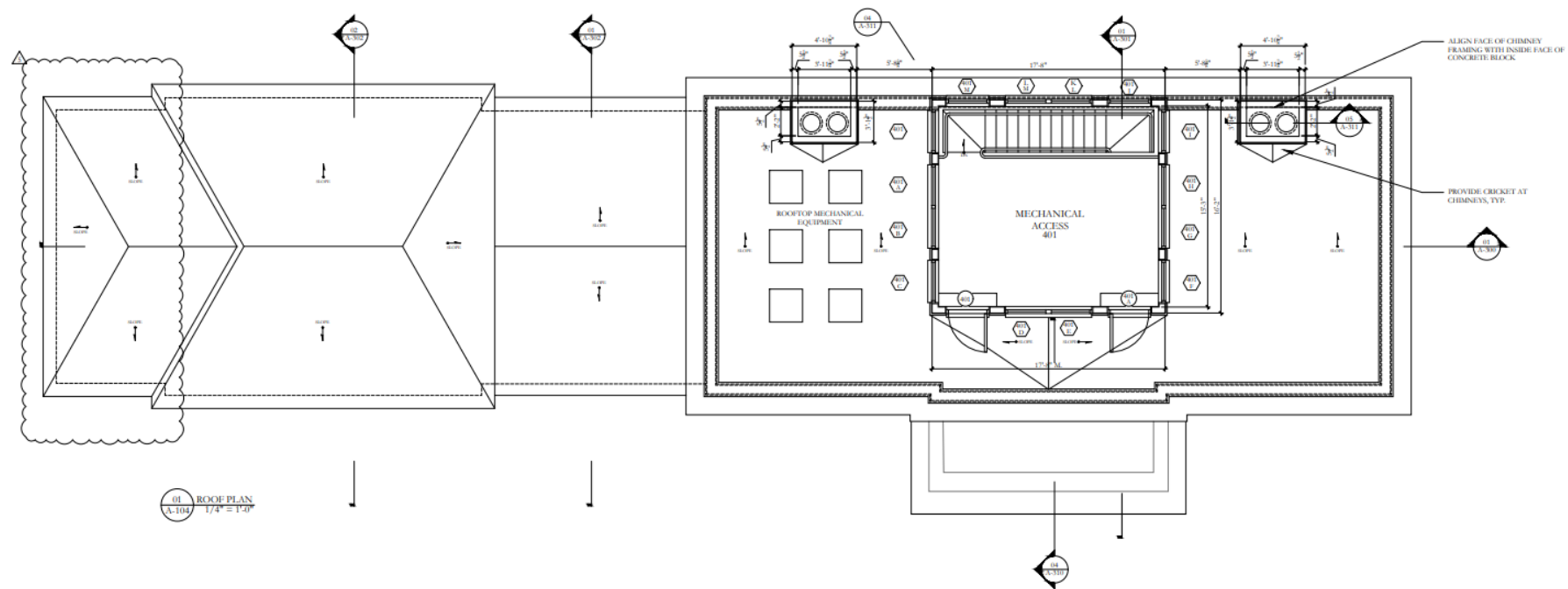
THIRD FLOOR PLAN

Scale:
1/4" = 1'-0"
Date:
3.2.2022
Drawn By:
SvM, HLL, JD
Project No:

Drawing No:

A-103

21011

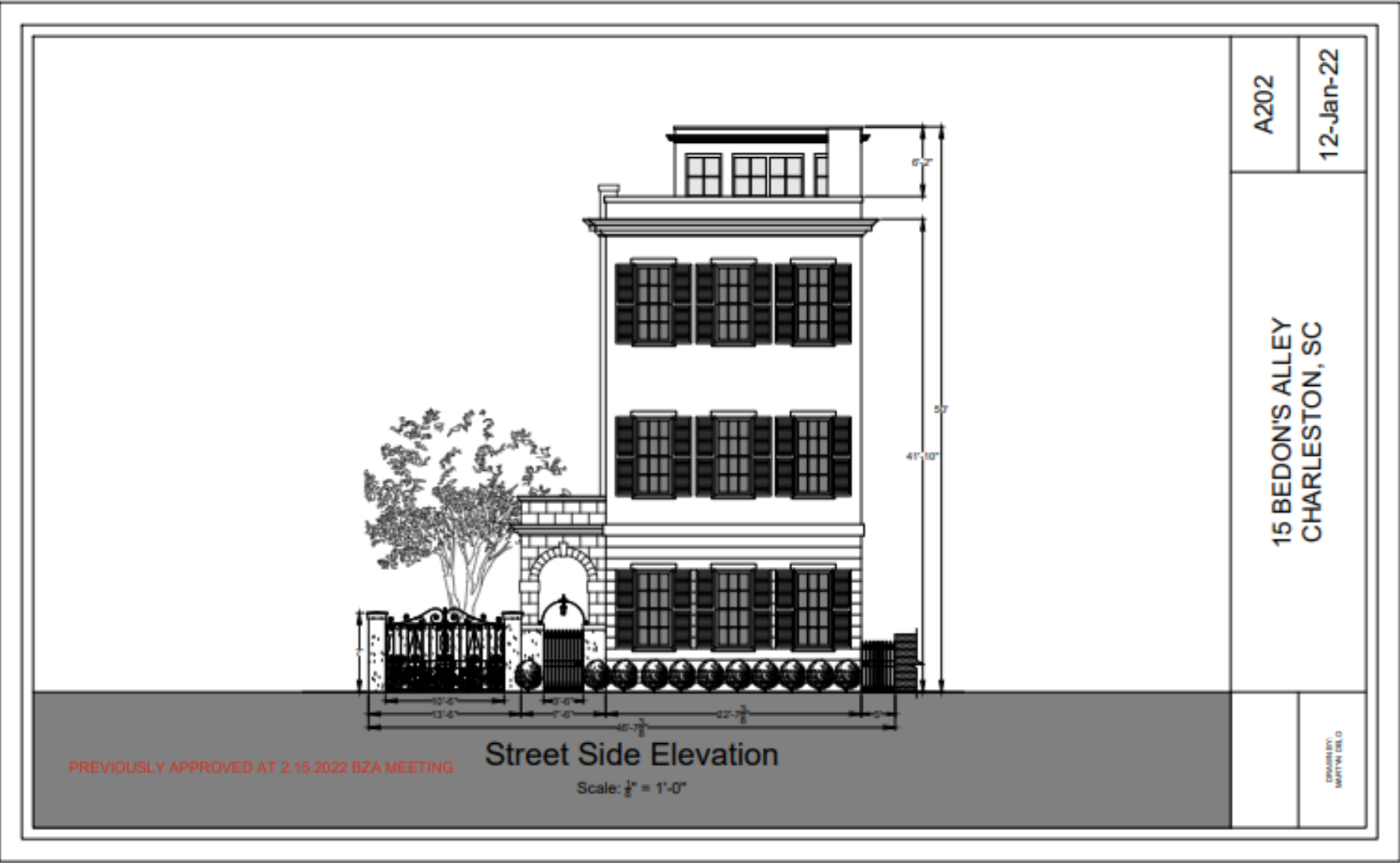


△ IGA-Z REVISION	10.31.2025
△ ISSUE FOR CONSTRUCTION	10.27.2025
△ PERMIT SET	06.16.2025
△ 95% PERMIT SET	06.05.2025
BAR - CONCEPTUAL	3.28.2022
ISSUE:	D-1775

Project:

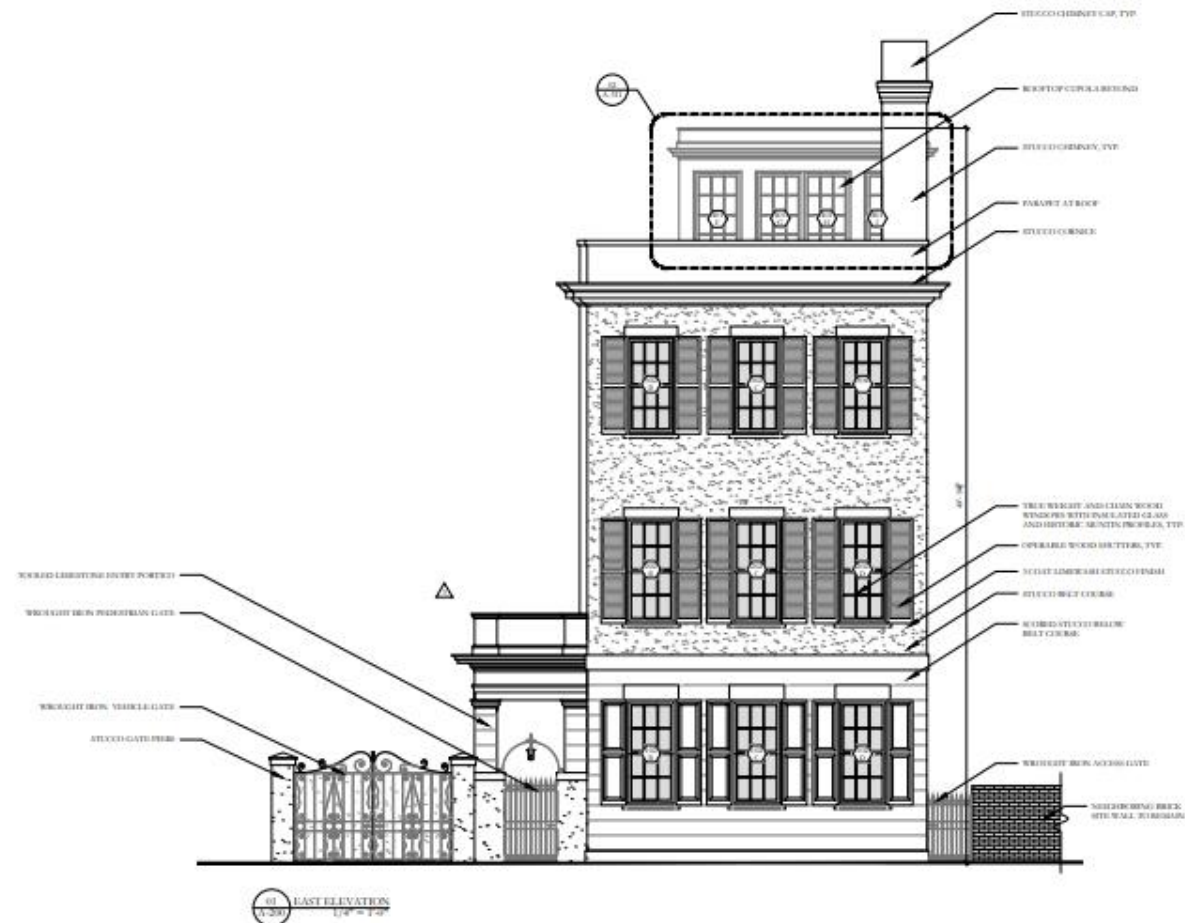
15 Bedons Alley
Charleston, SC
29401

ROOF PLAN	
Scale: 1/4" = 1'-0"	Drawing No: A-104
Date: 3.22.2022	Drawn By: SvM, HH, JD
Project No: 21011	





Sebastian@CSvM.Archipetr.com



△ ANAL. RETURN	10.11.2019
DELIVER CONNECTIONS	10.27.2019
△ KNITTED PIERCE & PARAPET	06.20.2019
△ PERMIT SET	06.16.2019
△ PG. PERMIT SET	06.08.2019
WAR. CONCEPTUAL	5.29.2012
INITIAL	21.11.11

Project

15 Bedons Alley
Charleston, SC
29401

EXTERIOR ELEVATIONS

Grade: 1/4" = 1'-0"	Drawing No. A-200
Date: 5.22.2022	
Drawn By: S/M, HHS, JD	
Project No.	



PREVIOUSLY APPROVED AT 2.15.2022 BZA MEETING

Garden Side Elevation

Scale: $\frac{1}{8}" = 1'-0"$

A201

12-Jan-22

15 BEDON'S ALLEY
CHARLESTON, SC

DRAWN BY:
MARTYN DEL O



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



△ RZA-Z REVISION	10/31/2025
△ ISSUE FOR CONSTRUCTION	10/27/2025
△ REVISED PORTICO & PARAPET	06/26/2025
△ PERMIT SET	06/16/2025
△ 95% PERMIT SET	06/05/2025
BAR - CONCEPTUAL	3/28/2022
EST:JE	D:JTE

Page:

15 Bedons Alley
Charleston, SC
29401

EXTERIOR ELEVATIONS

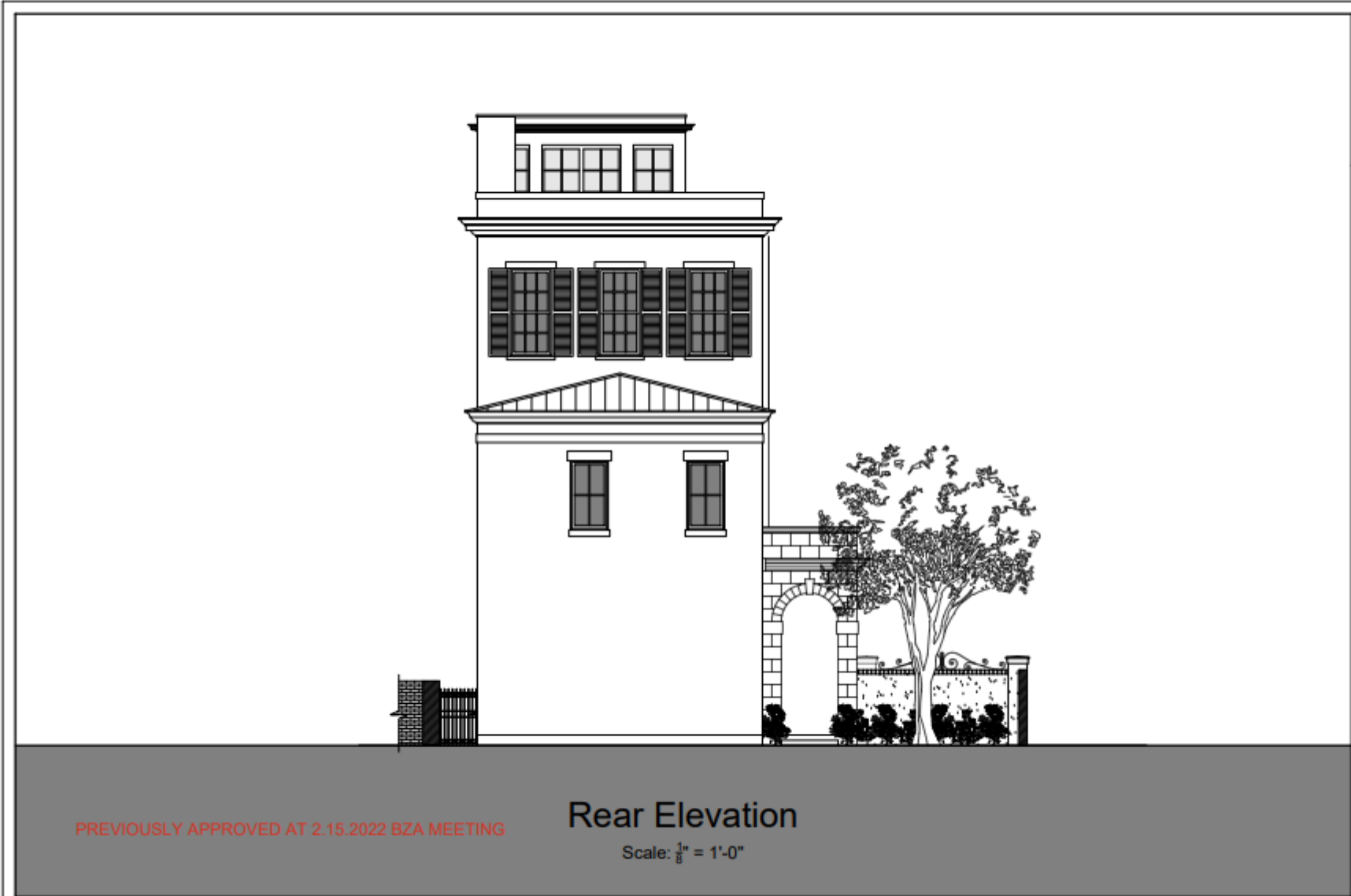
Scale:
1/4" = 1'-0"
Date:
3/22/2022
Drawn By:
SvM, IHL, JD
Project No:

Sheet No:

A-201

21011





PREVIOUSLY APPROVED AT 2.15.2022 BZA MEETING

Rear Elevation

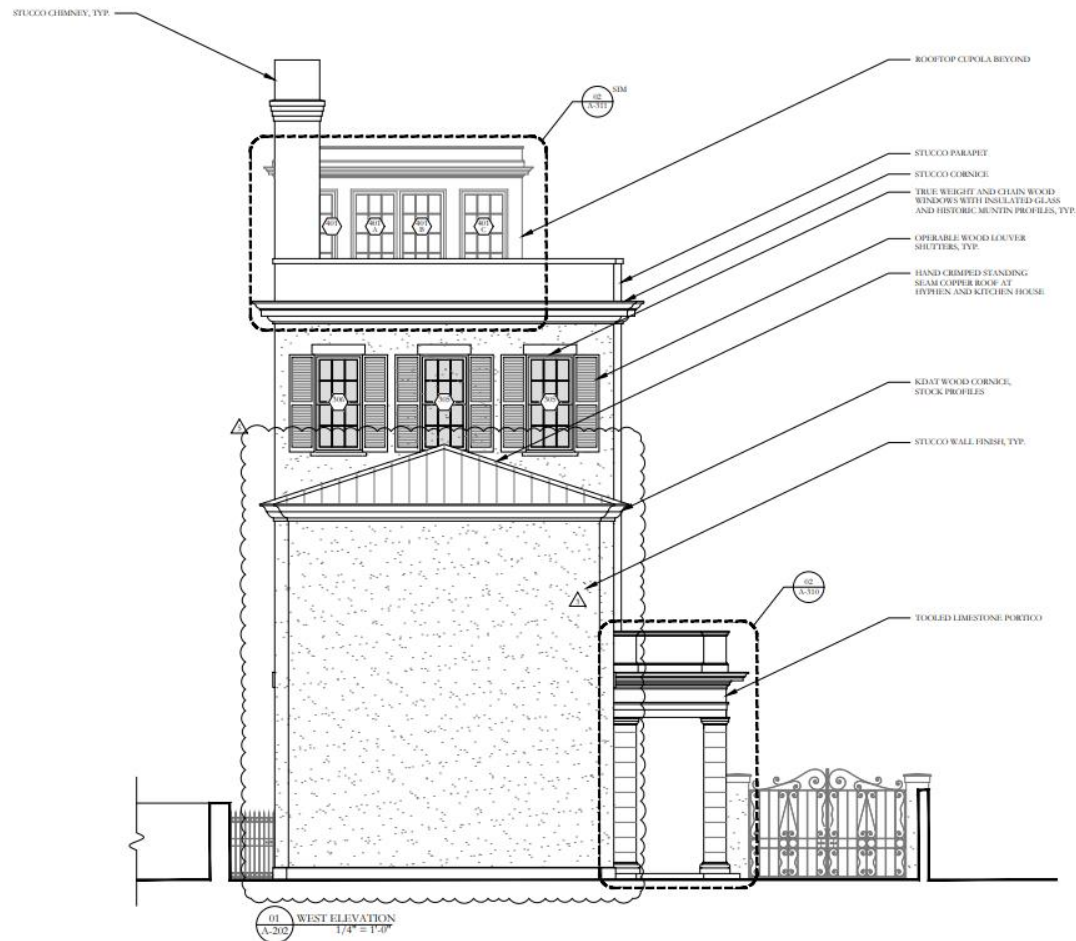
Scale: $\frac{1}{8}" = 1'-0"$

A203

12-Jan-22

15 BEDON'S ALLEY
CHARLESTON, SC

DRAWN BY:
MARTIN DEL O



SEBASTIAN von MARSHALL
ARCHITECT

Sebastian@SvMArchitect.com



△ R/A-Z REVISION	10.31.2015
△ ISSUE FOR CONSTRUCTION	10.27.2015
△ REVISED PORTICO & PARAPET	06.20.2015
△ PERMIT SET	06.14.2015
△ 95% PERMIT SET	06.05.2015
BAR - CONCEPTUAL	3.28.2012

DATE: DATE:

Project:

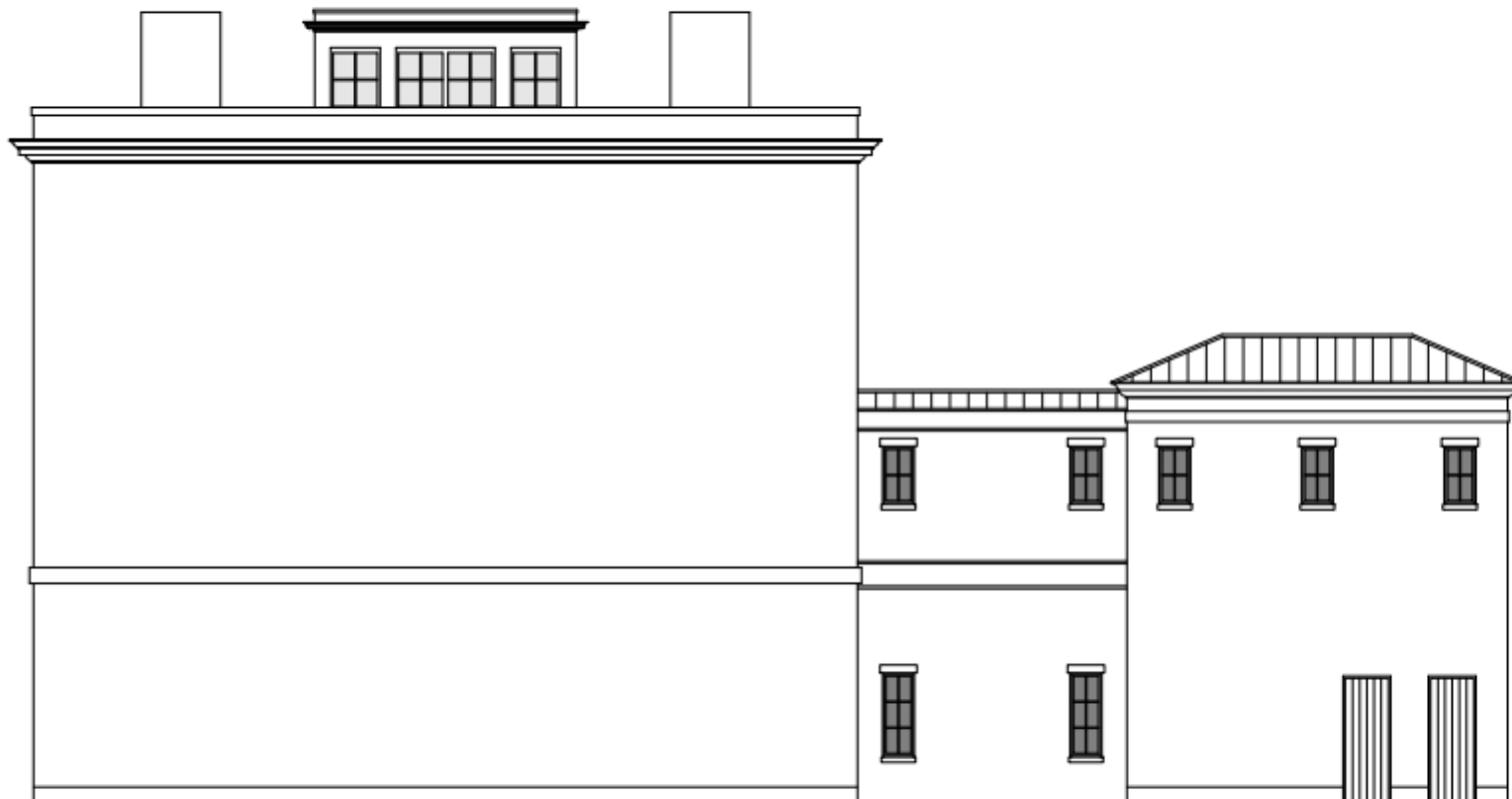
15 Bedons Alley
Charleston, SC
29401

EXTERIOR ELEVATIONS

Scale:
1/4" = 1'-0"
Date:
3.2.2022
Drawn By:
SvM, HH, JD
Project No:

Drawing No:

A-202



PREVIOUSLY APPROVED AT 2.15.2022 BZA MEETING

North Side Elevation

Scale: $\frac{1}{8}" = 1'-0"$

A201

12-Jan-22

15 BEDON'S ALLEY
CHARLESTON, SC

DRAWN BY:
MARTYN DEL O



843.790.4924

SvMArchitect.com



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ARCHITECT

Sebastian@SvMArchitect.com



△ R/A-Z REVISION 10/31/2025
 △ ISSUE FOR CONSTRUCTION 10/27/2025
 △ PERMIT SET 06/16/2025
 △ 95% PERMIT SET 06/05/2025
 BAR - CONCEPTUAL 3/28/2022
 ISSUE: D-4752

Project:

15 Bedons Alley
Charleston, SC
29401

EXTERIOR ELEVATIONS

Scale:
1/4" = 1'-0"
Date:
3.2.2022
Drawn By:
SvM, HH, JD
Project No:

Drawing No.

A-203

21011



01 VIEW FROM 9 BEDONS ALLEY, LOOKING NORTH
NTS



02 KEY PLAN
NTS



843.790.4924

SeMArchitect.com



SEBASTIAN VON MARSCHALL
ARCHITECT

Schlaesing@SeMArchitect.com



△ VON MARSCHALL ARCHITECT
P.A.R. - CONCEPTUAL
DATE: 12.28.2022

16.04.2021
1.28.2022
13.10.2022

15 Bedons Alley
Charleston, SC
29401

3D MASSING MODEL

NTS
Date:
1.28.2022
Drawn by:
SWM, LHA, JD
Project No:

Sheet No.
A-900

21061



15 BEDONS ALLEY, LOOKING WEST FROM BEDONS ALLEY
NTS

04.5.7901.4924 Sebastian von Marschall



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@SvM-Architect.com



△ 3D MASSING MODEL 06.09.2021
R.A.R. CONCEPTUAL 03.20.2022
11/12/20 01.07/20

Project
15 Bedons Alley
Charleston, SC
29401

3D MASSING MODEL

Scale
NTS
Date
5.26.2022
Drawn By
SvM, HHA, JD
Project No.

Drawing No.

A-901

21001



01 15 BEDONS ALLEY, SEEN FROM BEDONS ALLEY LOOKING UP AT THE PROPOSED BUILDING
NTS

843.790.4924 sebastian@vmmarchitect.com



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@vmmarchitect.com



APR. PROJEKT SET	04/01/2022
REL. CONCEPTUAL	03/28/2022
DATE:	03/28/2022

15 Bedons Alley
Charleston, SC
29401

3D MASSING MODEL	
Scale: NTS	Drawing No: A-902
Date: 3/28/2022	
Drawn By: SVM, HLL, JD	
Project No: 21001	



SketchUp

843.790.4924

svM.architect.com



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvM-Architect.com



10% PERMIT SET

06.09.2021

10% - CONCEPTUAL

1.26.2022

10% SET

11.11.2021

Project:

15 Bedons Alley
Charleston, SC
29401

3D MASSING MODEL

Scale:

NTS

Drawing Title:

Date:

5.20.2022

Drawn By:

svM, LHL, JD

Sheet Title:

A-903

2024.6

01 15 BEDONS ALLEY SEEN FROM ELLIOTT STREET LOOKING SOUTH
A-903 NTS

Agenda Item #B-10

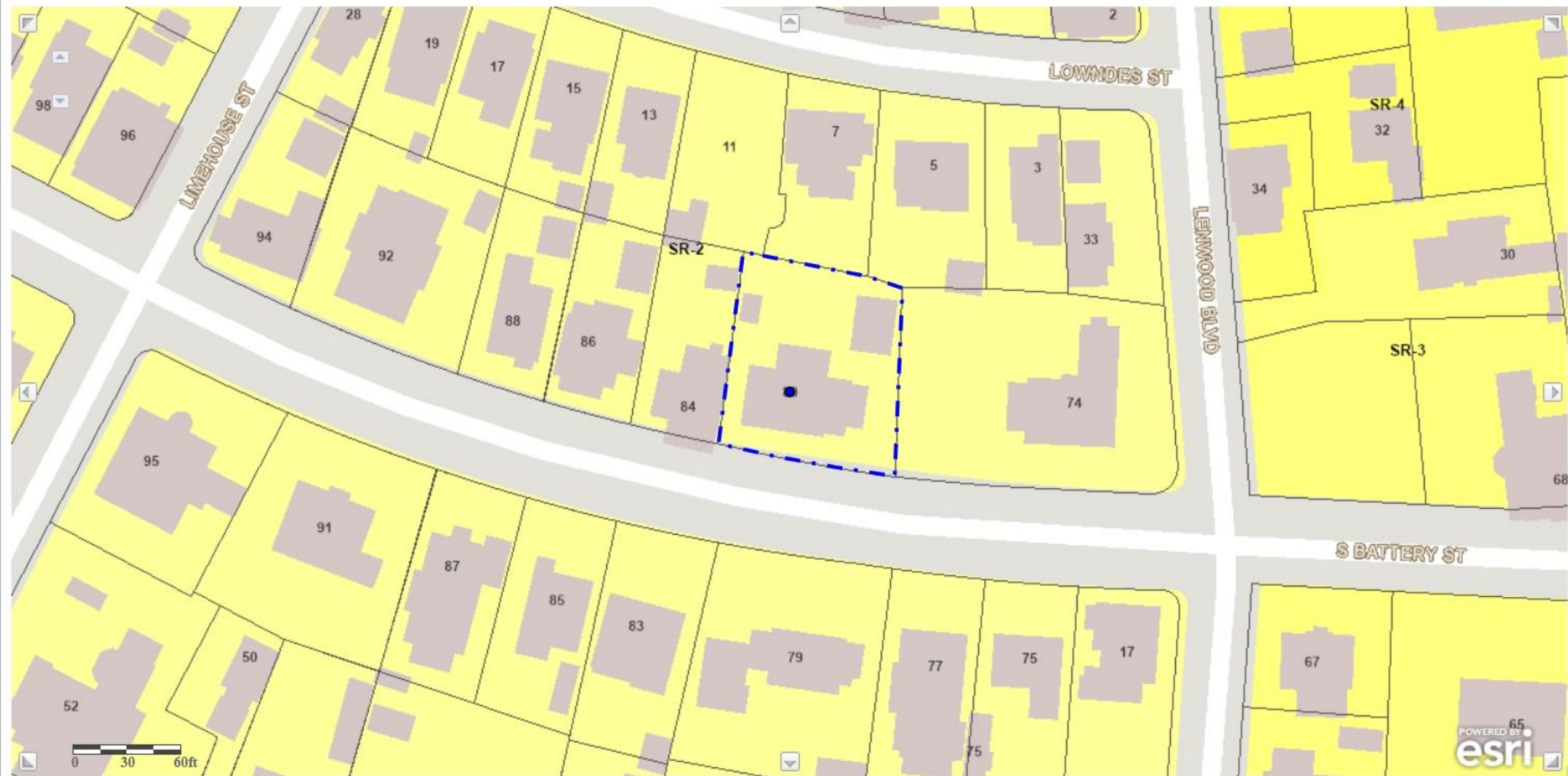
80 S. Battery St.

(Charlestowne)

TMS # 457-11-02-037

Request a variance from Sec. 54-301 to build an addition with an 8' rear setback and a 3' south side setback (25' and 9' required).

Zoned: SR-2





Workspaces ▼



Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: January 20, 2026

Property Address 80 South Battery Street TMS # 457-11-02-037

Property Owner Teresa J. Tarrant Trust Daytime Phone 843.412.6655

Applicant Sebastian von Marschall Architect, LLC Daytime Phone 703.589.4821

Applicant's Mailing Address 39 Broad Street, Suite 100, Charleston, SC 29401

E-mail Address sebastian@svmarchitect.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Design Professional

Zoning of property SR-2

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☒ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☒ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date December 5, 2025

For office use only
 Date application received _____ Time application received _____
 Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Please see attached page for Variance Test description.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



SEBASTIAN von MARSCHALL ARCHITECT

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80 S Battery Variance Test:

1. The aging owners have explored various options to maintain access to a bedroom suite, by adding an elevator to the existing second floor bedrooms, and by adding a new Master Bedroom on the first floor. Adding an elevator was deemed to be unfeasible in the historic building envelope and an addition is being explored. In conversation with the city zoning staff, aging in place was discussed as being reasonable grounds for a zoning variance request. The proposed addition is designed for this purpose, and includes door openings and floor areas that are sized for wheelchair access and maneuverability.
2. An existing swimming pool and garage structure limit the potential locations for an addition of sufficient size to accommodate a bedroom, closet and bathroom that meet these accessibility requirements. In addition, a level change within the first floor of the existing house limits the possibility of renovating the interior of the first floor to include a bedroom suite.
3. If an addition with a Master Bedroom cannot be added this location, it would be challenging for the owners to continue using the house, as climbing stairs to the bedroom would become unfeasible.
4. The neighbors who are impacted directly by the proposed addition (immediately to the West and immediately to the North) have signed letters supporting the request. The addition is proposed at the rear of the structure and is designed to be subordinate in scale to the main house. It would have limited visibility from the public right of way in keeping with best practices in renovations and additions of historic structures.

TMS #: 457-11-02-037

ARCHITECT

SEBASTIAN VON MARSHALL ARCHITECT, LLC
43 BROAD STREET, SUITE 200
CHARLESTON, SC 29401
TEL: 843.790.4924

STRUCTURAL ENGINEER

T.B.D.

CONTRACTOR

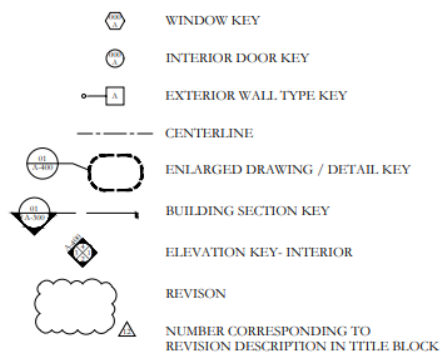
T.B.D.



SHEET LIST

DRAWING #	DRAWING TITLE	ISSUANCE	ISSUE DATE
	ARCHITECTURAL DRAWINGS		
A-000	COVER SHEET	RZA-Z APPLICATION & REVIEW	12-3-2025
A-001	GENERAL NOTES	RZA-Z APPLICATION & REVIEW	12-3-2025
A-002	HISTORIC MAPS	RZA-Z APPLICATION & REVIEW	12-3-2025
A-003	AERIAL IMAGES	RZA-Z APPLICATION & REVIEW	12-3-2025
A-004	STIC CONTEXT IMAGES	RZA-Z APPLICATION & REVIEW	12-3-2025
A-005	STIC IMAGES	RZA-Z APPLICATION & REVIEW	12-3-2025
A-006	STIC PLANS	RZA-Z APPLICATION & REVIEW	12-3-2025
ES-100	STIC PLAN - EXISTING	RZA-Z APPLICATION & REVIEW	12-3-2025
ES-100	STIC PLAN - PROPOSED	RZA-Z APPLICATION & REVIEW	12-3-2025
ES-101	EXISTING GROUND & FIRST FLOOR PLAN	RZA-Z APPLICATION & REVIEW	12-3-2025
ES-101	GROUND & FIRST FLOOR DEMOLITION PLAN	RZA-Z APPLICATION & REVIEW	12-3-2025
A-101	PROPOSED FIRST FLOOR PLAN	RZA-Z APPLICATION & REVIEW	12-3-2025
A-102	EXISTING ROOF PLAN	RZA-Z APPLICATION & REVIEW	12-3-2025
A-102	PROPOSED ROOF PLAN	RZA-Z APPLICATION & REVIEW	12-3-2025
A-200	EXTERIOR ELEVATIONS	RZA-Z APPLICATION & REVIEW	12-3-2025
A-201	EXTERIOR ELEVATIONS	RZA-Z APPLICATION & REVIEW	12-3-2025
A-202	EXTERIOR ELEVATIONS	RZA-Z APPLICATION & REVIEW	12-3-2025
A-203	EXTERIOR ELEVATIONS	RZA-Z APPLICATION & REVIEW	12-3-2025
A-204	EXTERIOR ELEVATIONS	RZA-Z APPLICATION & REVIEW	12-3-2025

COMMON SYMBOLS AND REFERENCES



STANDARD ABBREVIATIONS

ADJ	ADJUSTABLE	MECH	MECHANICAL
AFB	ABOVE FINISHED FLOOR	MAX	MAXIMUM
		MIN	MINIMUM
BD	BOARD	MO	MASONRY OPENING
BO	BOTTOM OF	MTD	MOUNTED
BR	BEDROOM	MTL	METAL
BLDG	BUILDING		
		N	NORTH
C	CENTERLINE	N/A	NOT APPLICABLE
CAB	CABINET	NIC	NOT IN CONTRACT
CONC	CONCRETE	NO	NUMBER
CL	CLOSET	NTS	NOT TO SCALE
CLG	CEILING		
		OC	ON CENTER
D	DETAIL	OPP	OPPOSITE
DA	DIAMETER		
DN	DOWN	P	PLAN
DW	DISHWASHER	PLAS	PLASTER
DWG	DRAWING	PTD	PAINTED
E	ELEVATION	REQ'D	REQUIRED
EL	ELEVATION	RM	ROOM
ELEV	ELEVATOR	RO	ROUGH OPENING
EQ	EQUAL		
EXG	EXISTING	S	SECTION
EXT	EXTERIOR	SIM	SIMILAR
		STL	STEEL
FIN	FINISH		
FLR	FLOOR	TBD	TO BE DETERMINED
FS	FULL SCALE	TEMP	TEMPORARY
FB	FIRE BOX	TH	THICK
		TO	TOP OF
GA	GAUGE	TYP	TYPICAL
GC	GENERAL CONTRACTOR		
GYP	GYPSUM	VIF	VERIFY IN FIELD
		VTR	VENT THROUGH ROOF
HB	HOSE BIB	W/	WITH
HT	HEIGHT	WC	WATER CLOSET
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	WD	WOOD
		W/D	WASHER/ DRYER
JT	JOINT	W/OUT	WITHOUT
LAM	LAMINATE		
LAV	LAVATORY		

ZONING INFORMATION

SE-2		SMALL-FAMILY RESIDENCE-2	
PEMA PLAZA ZONE- AE-11			
ZONING COMPLIANCE	ZONING REQUIREMENT	EXISTING	PROPOSED
SETBACK REQUIREMENTS			
MIN. FRONT SETBACK SIDE SETBACK	25'-0"	25'-1 1/4"	25'-1 1/4"
MIN. REAR SETBACK	25'-0"	25'-8 1/4"	8'-0"
MIN. TOTAL FRONT / REAR SETBACKS	50'-0"	66'-1 1/2"	33'-1 1/4"
MIN. NORTH/WEST SETBACK	9'-0"	9'-0"	9'-0"
MIN. SOUTH / EAST SETBACK	9'-0"	6'-8 1/4"	6'-8 1/4"
MIN. TOTAL SIDE SETBACKS	18'-0"	10'-1 1/4"	9'-8 1/4"
LOT COVER, FENCES, ACCESSORY STRUCTURES			
LOT COVER			
MAX. BUILDING / LOT COVER	50% OF LOT / 10% OF LOT - 100% 30'	10.0% (20.2%)	37.6% (34.6%)
MAX HEIGHT LIMITS (STRUCTURES)	7' / 2.5 STORIES	2 STORY (20')	2 ST.
CITY CITY HEIGHT DISTRICT	5 STORIES	2 STORY (20')	2 ST.
MAX HEIGHT LIMITS (FENCES / WALLS)	7'	N/A	N/A
ACCESSORY BUILD. SETBACK FROM STREET	60'-0"	60'	60'
ACCESSORY BUILD. SETBACK FROM SIDE STREET	25'-0"	25'	25'

PREVIOUS REGULATORY REVIEWS

BZA REVIEW: APPROVAL PENDING JANUARY 20, 2026 ZONING REVIEW

BAR REVIEW: T.B.D.



BZA-Z APPLICATION & REVIEW 1.20.2

ISSUE: D.4

10

80 South Battery
Charleston, SC
29401

COVER SHEET

Name: NTS	Drawing No. A-000
Date: 1.13.2025	
Drawn By: SvM, BAH	
Project No	



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



GENERAL NOTES

1. ALL DRAWINGS, NOTES, AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT. ALL RIGHTS RESERVED. THESE DRAWINGS MAY NOT BE USED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
2. APPLICATION TO BE EXAMINED UNDER LOCAL RESIDENTIAL CODE.
3. NO WORK SHALL COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN ISSUED. PULLING PERMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. WORK SHALL BE DONE IN CONFORMANCE WITH ALL GOVERNING FEDERAL, STATE AND LOCAL BUILDING CODES, INCLUDING LOCAL AMENDMENTS, BULLETINS, ETC.
5. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS CAREFULLY AND SHALL AT ONCE REPORT ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, CONTRACT DOCUMENTS, ALL OTHER CONTRACT DOCUMENTS, FIELD CONDITIONS, AND THE INTENT OF THE WORK IN WRITING TO THE ARCHITECT.
6. COORDINATE SCHEDULING AND PHASING OF ALL WORK TO BE PERFORMED WITH ARCHITECT. CONTRACTOR SHALL SUBMIT TO THE OWNER A SCHEDULE FOR THE COMPLETION OF THE WORK. CONSTRUCTION WORK TO BE LIMITED TO REGULAR WORKING HOURS 8AM TO 6PM EXCLUDING WEEKENDS AND LEGAL HOLIDAYS. CONTRACTOR TO OBTAIN THE WRITTEN CONSENT OF ALL PARTIES AFFECTED BY HIS WORKING AT TIMES OTHER THAN REGULAR HOURS.
7. CONTRACTOR SHALL COORDINATE AND VERIFY ALL STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING CONDITIONS REQUIRING ENGINEER OR CONSULTANTS APPROVAL WITH THE OWNER AND/ OR ARCHITECT.
8. BEFORE WORK COMMENCES, CONTRACTOR SHALL OBTAIN AND PROVIDE ALL OF THE FOLLOWING:
 - a1. WORK PERMIT
 - a2. CERTIFICATE OF LIABILITY INSURANCE IN THE AMOUNT STIPULATED BY BUILDING OWNER OR ARCHITECT
9. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHENEVER ANY STRUCTURAL WORK IS INVOLVED.
10. THE CONTRACTOR SHALL NOT DAMAGE OR ENDANGER ANY PORTION OF THE WORK OF THE OWNER OR THE OTHER CONTRACTORS.
11. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
12. PROVIDE A SITE SUPERINTENDENT'S OFFICE EQUIPPED WITH TELEPHONE AND INTERNET CONNECTIVITY AS REQUIRED. PROVIDE TEMPORARY BATHROOM FACILITY AND WASHROOM AT THE SITE. PROVIDE TEMPORARY LIGHTING AS REQUIRED FOR THE WORK AND FOR EGRESS. THE CONTRACTOR SHALL CARRY THE COST FOR TEMPORARY POWER AND TELEPHONE UTILITIES.
13. PROVIDE SECURITY DOORS, SECURITY WINDOW COVERINGS, AND HARDWARE NECESSARY TO SECURE WORK SITE AT ALL TIMES. PROVIDE DOOR KEYS TO OWNER.
14. MAINTAIN A CLEAN WORK SITE AT ALL TIMES. CART AWAY RUBBISH PROMPTLY. PROVIDE ALL NECESSARY TEMPORARY WORK, INCLUDING OVERHEAD PROTECTION, LIGHTING, HEATING, DIRECTIONAL SIGNS AND OTHER TEMPORARY SAFETY MEASURES AS PRELUDING AND GOOD PRACTICE MAY INDICATE AND IN ACCORDANCE WITH PUBLIC LAW, TO OBTAIN AND MAINTAIN ALL SUCH INGRESS AND EGRESS REQUIREMENTS. ALL TEMPORARY WORK SHALL BE REMOVED WHEN NO LONGER REQUIRED AND THE AFFECTED PROPERTY RESTORED.
15. THE CONTRACTOR SHALL PROVIDE TEMPORARY HEATING EQUIPMENT TO MAINTAIN A MINIMUM OF 50 DEGREES F THROUGHOUT CONSTRUCTION TO PREVENT FIRE PROTECTION, AND DRAINAGE WATER PIPING FROM FREEZING IF APPLICABLE. THE CONTRACTOR SHALL CARRY THE COST OF OPERATING AND MAINTAINING TEMPORARY HEATING AND ASSOCIATED COSTS INCLUDING FUEL AND ELECTRICAL POWER.

BUILDING DEPARTMENT

1. ALL NEW WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF ALL APPLICABLE CODES.

FIRE SAFETY

1. ALL MATERIALS STORED AT THE CONSTRUCTION SITE ARE TO BE SECURED IN LOCKED AREAS. ACCESS TO SUCH AREAS TO BE CONTROLLED BY CONTRACTOR.
2. ALL MATERIALS STORED ON THE CONSTRUCTION SITE SHALL BE STORED IN AN ORDERLY FASHION. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS, STORED IN WELL VENTILATED AREAS, AWAY FROM HEAT OR FLAME SOURCES, AND AT TEMPERATURES PRESCRIBED BY MATERIAL MANUFACTURER'S SPECIFICATIONS.
3. MAINTAIN 24 HOUR OPERATION OF BUILDING SECURITY AND FIRE MONITORING SYSTEMS DURING DEMOLITION AND CONSTRUCTION AS REQUESTED BY THE OWNER OR ARCHITECT.
4. ALL ELECTRICAL POWER, EXCLUDING POWER REQUIRED FOR FIRE MONITORING AND SECURITY SYSTEM, IS TO BE SHUT OFF AFTER WORKING HOURS.
5. CONTRACTOR TO INSURE THAT THERE IS NO LEAKAGE OF NATURAL GAS OR OF ANY FLAMMABLE GAS USED DURING DEMOLITION OR CONSTRUCTION.
6. CONTRACTOR TO PROVIDE A MINIMUM OF TWO OR MORE OPERATING FIRE EXTINGUISHERS PER FLOOR AT ALL TIMES, UNLESS GREATER COVERAGE IS REQUIRED BY BUILDING OFFICIALS. PLACE ALL EXTINGUISHERS IN CLEARLY MARKED AND ACCESSIBLE LOCATIONS.
7. CONTRACTOR TO MAINTAIN PATH OF EGRESS FROM THE BUILDING AT ALL TIMES THROUGHOUT DEMOLITION AND CONSTRUCTION. KEEP PATH OF EGRESS FREE OF OBSTRUCTIONS.
8. CAP ALL UTILITIES NOT REQUIRED FOR TEMPORARY SERVICES.

SAFETY

1. WORK SHALL NOT INVOLVE INTERRUPTION OF GAS, HEAT, OR WATER SERVICES TO NEIGHBORING BUILDINGS.
2. CONSTRUCTION OPERATIONS SHALL NOT BLOCK STAIRS, CORRIDORS OR OTHER MEANS OF EGRESS.
3. CONTRACTOR TO MAINTAIN OPERATION OF STORM WATER, AND OTHER DRAINAGE SYSTEMS THROUGHOUT CONSTRUCTION. INSURE THAT CHANGES TO SITE AND INFRASTRUCTURE DO NOT REDIRECT WATER RUNOFF TO NEIGHBORING BUILDINGS AND PROPERTIES. PROVIDE TEMPORARY DRAINAGE SYSTEM AS REQUIRED.
4. DISPOSE OF ALL HAZARDOUS MATERIAL AND LIQUIDS TO MEET LOCAL APPLICABLE CODES. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR HANDLING AND STORAGE OF SUCH MATERIALS.

SMOKE DETECTORS

1. ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF LOCAL CODES.
2. AT A MINIMUM, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - a1. IN EACH SLEEPING ROOM
 - a2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - a3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS
3. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
4. EACH SMOKE DETECTOR SHALL HAVE AN INTEGRAL TEST MEANS TO PERMIT THE OCCUPANT TO CHECK THAT IT IS OPERATIONAL. A CONTINUOUS POWER INDICATOR LIGHT IS RECOMMENDED.
5. SMOKE DETECTORS SHALL BE LOCATED ON OR NEAR THE CEILING AND WITHIN FIFTEEN FEET OF ALL ROOMS USED FOR SLEEPING PURPOSES.
6. IF CEILING MOUNTED, THE CLOSEST EDGE OF THE DETECTOR SHALL BE A MINIMUM OF FOUR INCHES FROM ANY WALL.
7. IF WALL MOUNTED, THE CLOSEST EDGE OF THE DETECTOR SHALL BE A MINIMUM OF FOUR INCHES AND A MAXIMUM OF TWELVE INCHES FROM THE CEILING.

EXCAVATION

1. BEFORE EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES IN THE FIELD.
2. ANY EXISTING ADJACENT STRUCTURES SHALL BE ADEQUATELY SHORED, BRACED AND UNDERPINNED AS NECESSARY.

CARBON MONOXIDE DETECTORS

1. ALL CARBON MONOXIDE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF LOCAL RESIDENTIAL CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
2. AT A MINIMUM, CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - a1. WITHIN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA
 - a2. ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES OR ATTACHED GARAGES ARE LOCATED
 - a3. IF GREATER COVERAGE IS REQUIRED BY BUILDING AND SAFETY OFFICIALS, CONTRACTOR SHALL COMPLY WITH THOSE REQUIREMENTS AS WELL.
3. WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
4. ALL CARBON MONOXIDE DETECTING DEVICES REQUIRED TO BE PROVIDED AND INSTALLED PURSUANT TO NATIONAL, STATE AND LOCAL REQUIREMENTS AND SHALL BE OF A TYPE AUTHORIZED BY SAID REQUIREMENTS.
5. THE CARBON MONOXIDE DETECTING DEVICE SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR AND BE REPLACED IN CASE SUCH DEVICE IS STOLEN, REMOVED, MISSING, OR RENDERED INOPERABLE.
6. IT SHALL BE UNLAWFUL FOR ANY PERSON TO TAMPER WITH OR RENDER INOPERABLE CARBON MONOXIDE DETECTING DEVICES, EXCEPT FOR REPLACING THE BATTERIES OR FOR OTHER MAINTENANCE PURPOSES.

RZA-Z APPLICATION & REVIEW 12/5/2025

ESTIMATE D-072

Project:

80 South Battery
Charleston, SC
29401

GENERAL NOTES

Scale:

NTS

Date:

12.4.2025

Drawn By:

SvM, BAH

Project No:

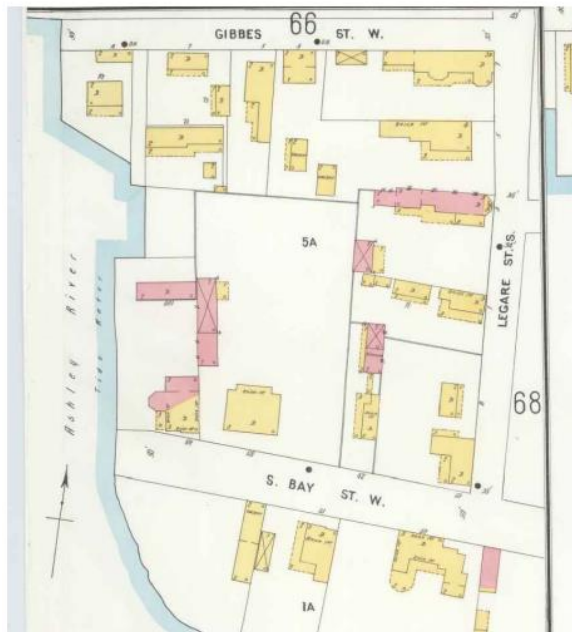
24028

A-001

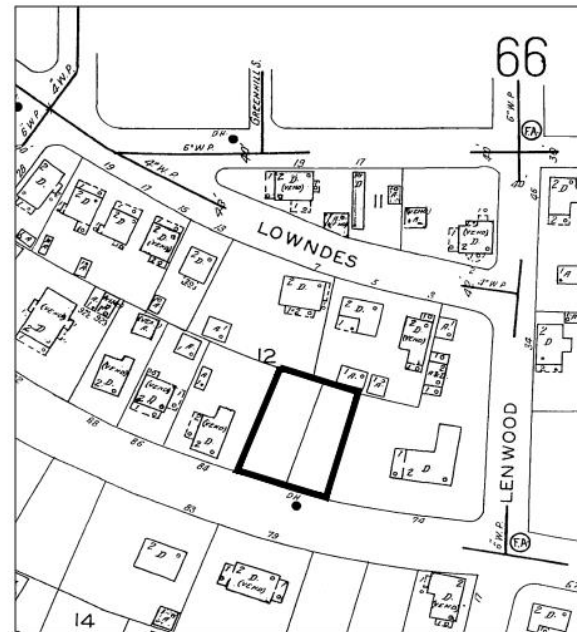


SEBASTIAN von MARSHALL
ARCHITECT

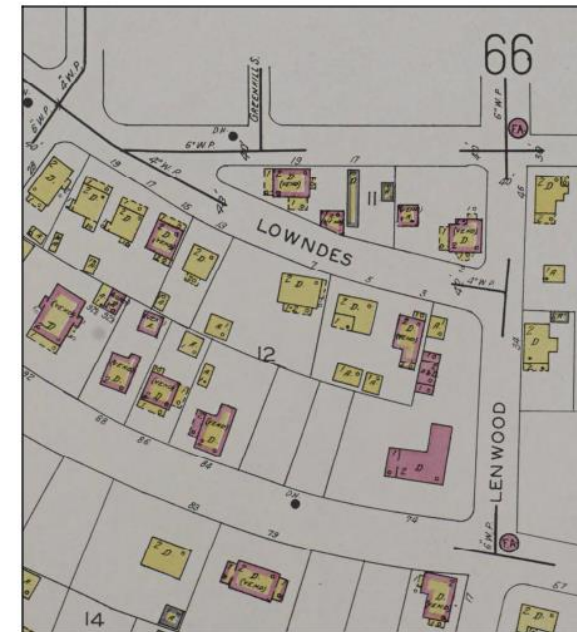
Sebastian@SeMArchitect.com



01 SANBORN MAP 1902
A-002 NTS



02 SANBORN MAP 1944
A-002 NTS



03 SANBORN MAP 1951
A-002 NTS

RZA-Z APPLICATION & REVIEW 1.20.2025

ESTATE D-07E

Project:

80 South Battery
Charleston, SC
29401

HISTORIC MAPS

Scale:

NTS

Date:

12.4.2025

Drawn By:

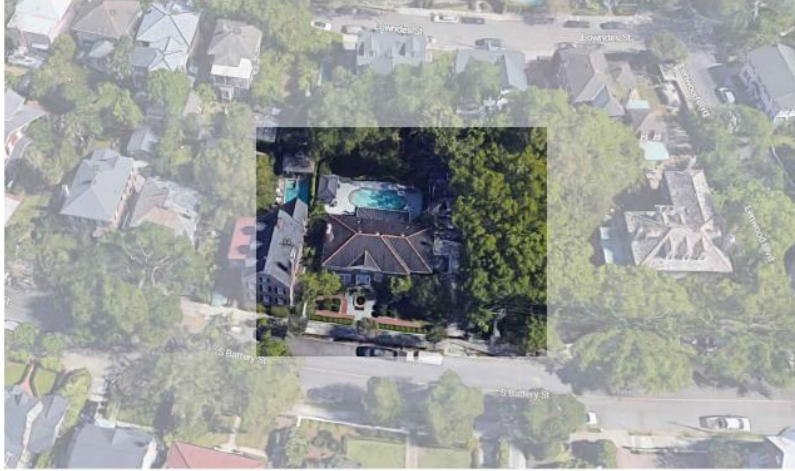
SeM, BAH

Project No:

24028

Drawing No:

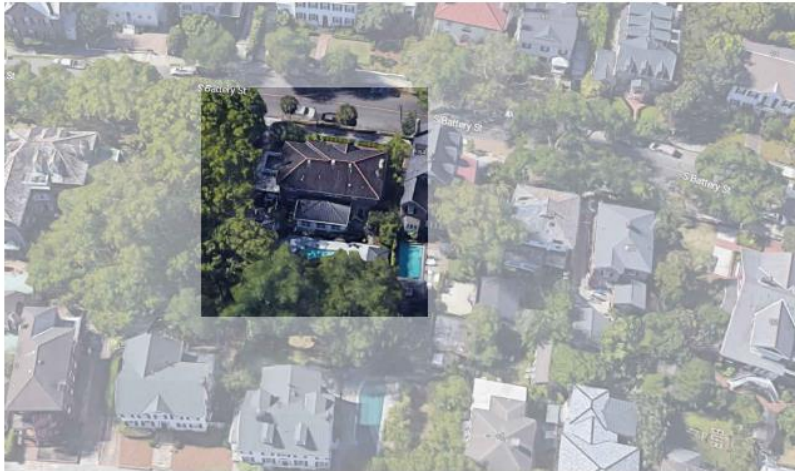
A-002



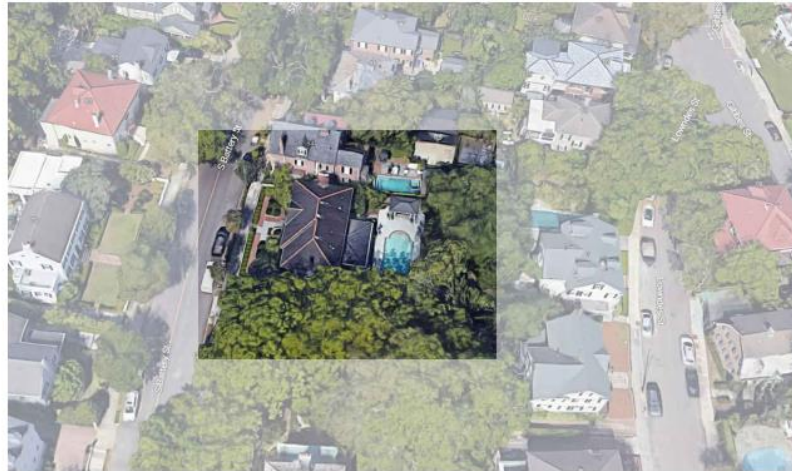
01 AERIAL VIEW LOOKING NORTH
A-003 NTS



02 AERIAL VIEW LOOKING EAST
A-003 NTS



03 AERIAL VIEW LOOKING SOUTH
A-003 NTS



04 AERIAL VIEW LOOKING WEST
A-003 NTS



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Sebastian@SeMArchitect.com



BZA-Z APPLICATION & REVIEW

1.20.2024

DATE:

D-472

Project

80 South Battery
Charleston, SC
29401

AERIAL IMAGES

Scale:

NTS

Date:

12.4.2025

Drawn By:

SeM, BAH

Project No:

Drawing No:

A-003

24028



01 SITE CONTEXT - LOOKING NORTH AT 84 SOUTH BATTERY STREET
A-004 NTS



02 SITE CONTEXT - LOOKING NORTH AT 80 SOUTH BATTERY STREET
A-004 NTS



03 SITE CONTEXT - LOOKING NORTH EAST AT 78 SOUTH BATTERY STREET
A-004 NTS



04 SITE CONTEXT - LOOKING SOUTH AT 17 LENWOOD BLVD.
A-004 NTS



05 SITE CONTEXT - LOOKING SOUTH AT 81 SOUTH BATTERY STREET
A-004 NTS



06 SITE CONTEXT - LOOKING SOUTH AT 83 SOUTH BATTERY STREET
A-004 NTS

843.790.4924 SvMArchitect.com

SEBASTIAN von MARSHALL
ARCHITECT

Sebastian@SvMArchitect.com



RZA-Z APPLICATION & REVIEW 1.20.2026
DATE DATE

Project
80 South Battery
Charleston, SC
29401

SITE CONTEXT IMAGES

Scale NTS	Drawing No.
Date 12.4.2025	A-004
Drawn by SvM, BAH	
Project No. 24028	



01
A-005 EXISTING CABANA TO BE DEMOLISHED ON NORTH SIDE OF PROPERTY
NTS



02
A-005 EXISTING NORTHWEST CORNER OF HOUSE LOOKING WEST
NTS



03
A-005 NORTHWEST CORNER OF EXISTING HOUSE LOOKING EAST
NTS



04
A-005 EXISTING DECK TO BE DEMOLISHED AT NORTHWEST CORNER OF HOUSE
NTS



05
A-005 EXISTING HVAC STANDS & GATE TO REMAIN AT NORTHWEST CORNER OF HOUSE
NTS



06
A-005 EXISTING POOL & WEST SIDE OF GARAGE
NTS



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SoMArchitect.com



B2-A-Z APPLICATION & REVIEW 1/20/2020
ISSUE DATE

Project
80 South Battery
Charleston, SC
29401

SITE IMAGES

Scale: NTS	Drawing No. A-005
Date: 12.4.2025	
Drawn By: SvM, BAH	
Project No: 24028	



MITCHELL I. SONKIN
DEBRA K. SONKIN
TMS 457-11-02-084

JOHN W. SHIVER
JAYNE B. SHIVER
TMS 457-11-02-008

ELIZABETH DEROSSET PRIOLEAU
TMS 457-11-02-005

ANDREW J. MILLER
MARGARET B. MILLER
TMS 457-11-02-036

ELEANOR LAURENS HASTIE PARKER LIFE ESTATE
TMS 457-11-02-038



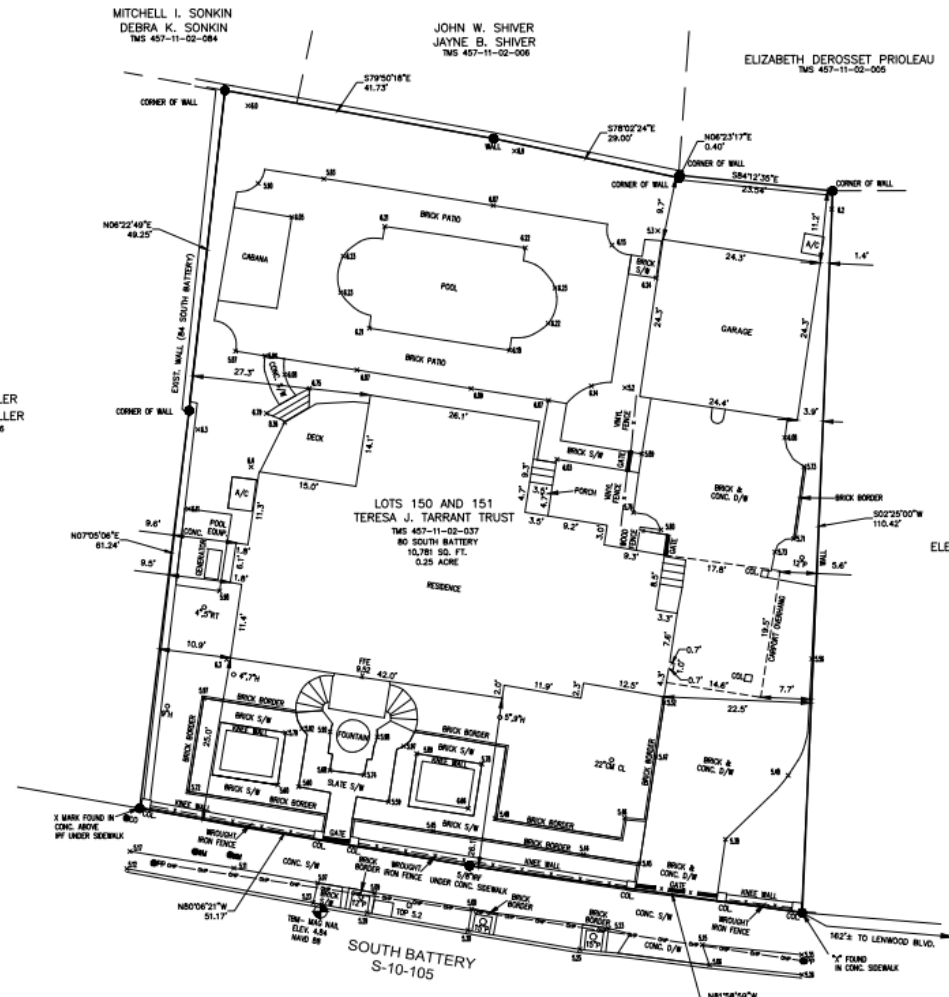
TREE LEGEND
CL CLUSTER
CH CHAIR WRESTLE
H HOLLY
P PALMETTO

LEGEND
CO CLEANKOUT
COL COLUMN
IRF IRON REBAR FOUND
PP POWER POLE
XS.2 EXISTING ELEVATION
F FENCE
OP OVERHEAD POWER LINE

REF. PLAT BY G. M. HOME
DATED JAN. 12, 1915
RECORDED IN THE CHARLESTON
COUNTY REC. OFFICE IN BOOK C PAGE 89
REF. PLAT BY CHARLES F. DANLEY, JR.
DATED FEB. 22, 1985

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE,
INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN
ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE
MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS
THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

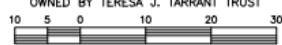
E. M. Seabrook
LEWIS E. SEABROOK
CIVIL ENGINEER & LAND SURVEYOR
S. C. REG. NO. 09860
P. O. BOX 96
MOUNT PLEASANT, S. C. 29465
(843) 884-4496



CITY OF CHARLESTON

CHARLESTON COUNTY, S. C.

SURVEY OF LOTS 150 AND 151 (TMS 457-11-02-037)
CONTAINING 0.25 ACRE
OWNED BY TERESA J. TARRANT TRUST



SCALE: 1" = 10'

JUNE 12, 2025

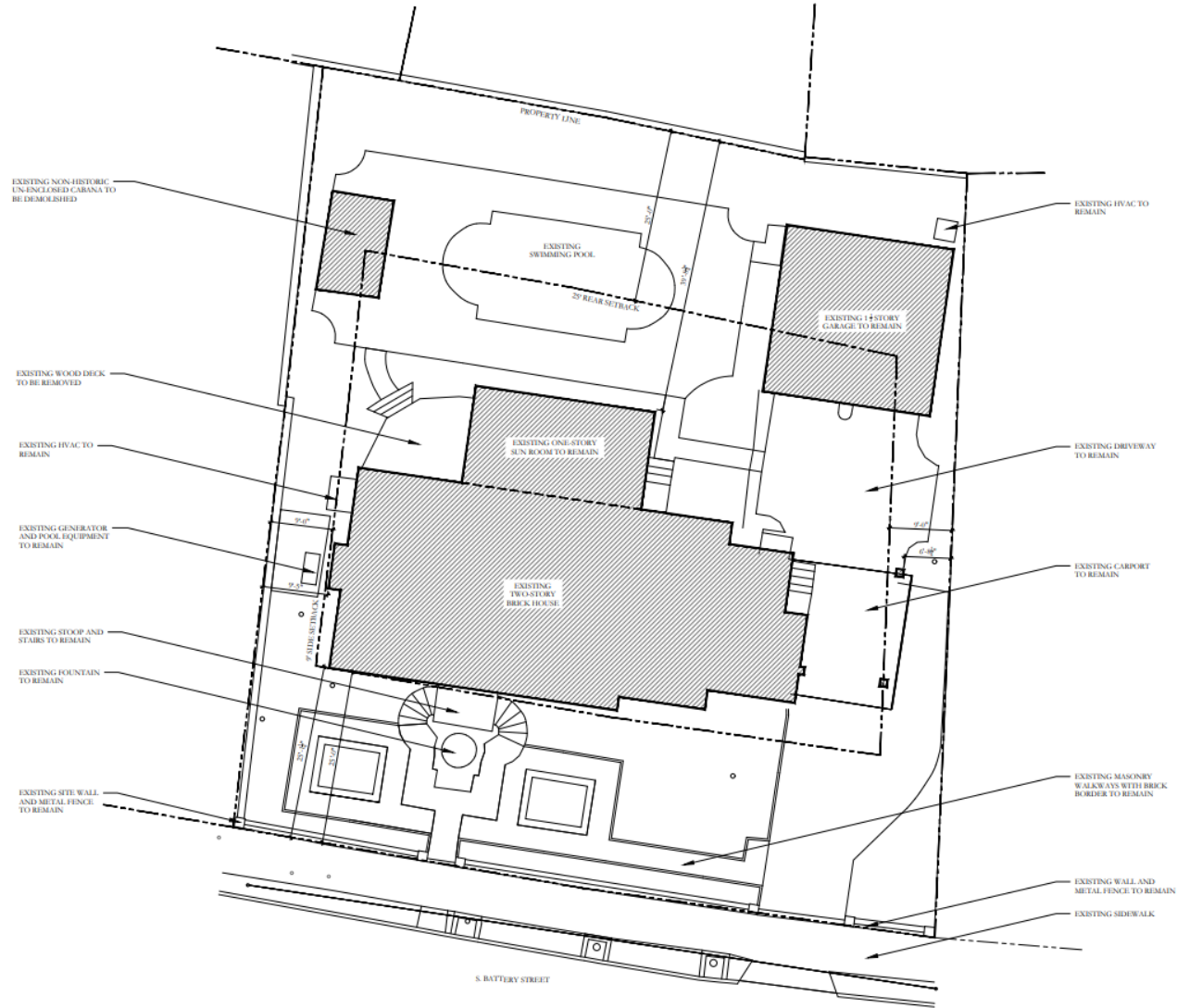
E.M. SEABROOK
Engineers | Surveyors
1037 Chuck Dowley Blvd.
Building F # Suite 200
Post Office Box 96
Mount Pleasant, SC 29465
Phone (843) 884-4496
www.emseabrook.com

ZONING:
THIS PROPERTY IS ZONED SR-2.
MINIMUM SETBACKS: 25 FEET
FRONT: 25 FEET
SIDE: 9 FEET
REAR: 25 FEET
MINIMUM LOT AREA: 8000 SQ. FT.
MAXIMUM BLDG. COVER: 30% OF LOT
MAXIMUM HEIGHT: 35 FEET / 2 1/2 STORIES
MINIMUM ACCESSORY BUILDINGS TO RESIDENCE SETBACKS:
FROM STREET: 50 FEET
FROM SIDE STREET: 25 FEET
MINIMUM ADDITIONAL DWELLING BUILDINGS SETBACKS:
NOT ALLOWED

THIS PROPERTY IS IN:
OLD CITY HEIGHT DISTRICT - 2.5
AMENDMENT & RECREATION OVERLAY
RESIDENTIAL SHORT TERM RENTAL CATEGORY - SR CAT 1
OLD AND HISTORIC DISTRICT

NOTES:
1. AREA DETERMINED BY COORDINATES
2. BASED ON INTERPRETATION OF FEMA FLOOD
INSURANCE RATE MAP NUMBER 45019C 0518 K
DATED JANUARY 25, 2021, THE PROPERTY
SHOWN HEREON LIES IN FLOOD ZONE
(ELEV. 111).
3. THERE IS NO OBSERVABLE EVIDENCE OF THE LOCATION OF
CONTESTED OR BURIAL GROUNDS ON THIS PROPERTY.
SUBSURFACE CONDITIONS WERE NOT EXAMINED OR CONSIDERED
AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING
ANY SUBSURFACE CONDITIONS THAT MAY AFFECT THE USE
OR FURTHER DEVELOPMENT OF THIS PROPERTY.

NAVD 88



LOT COVERAGE ANALYSIS - EXISTING	
50.00%	= MAX. ALLOWABLE LOT COVERAGE
21.90	= EXISTING CONDITIONED AREA
2.47	= EXISTING CARPORT
1.29	= EXISTING CABANA
0.02	= EXISTING GARAGE
31.38	= TOTAL LOT COVERAGE - EXISTING
10781	= LOT AREA
29.29%	= EXISTING LOT COVERAGE

843.790.4924 SvMArchitect.com

SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



BZA-Z APPLICATION & REVIEW 1.20.2025
 ISSUE: D-4772

80 South Battery
 Charleston, SC
 29401

SITE PLAN - EXISTING

Scale:
 1/8" = 1'-0"
 Date:
 7.12.2025
 Drawn By:
 SvM, BAH
 Project No:

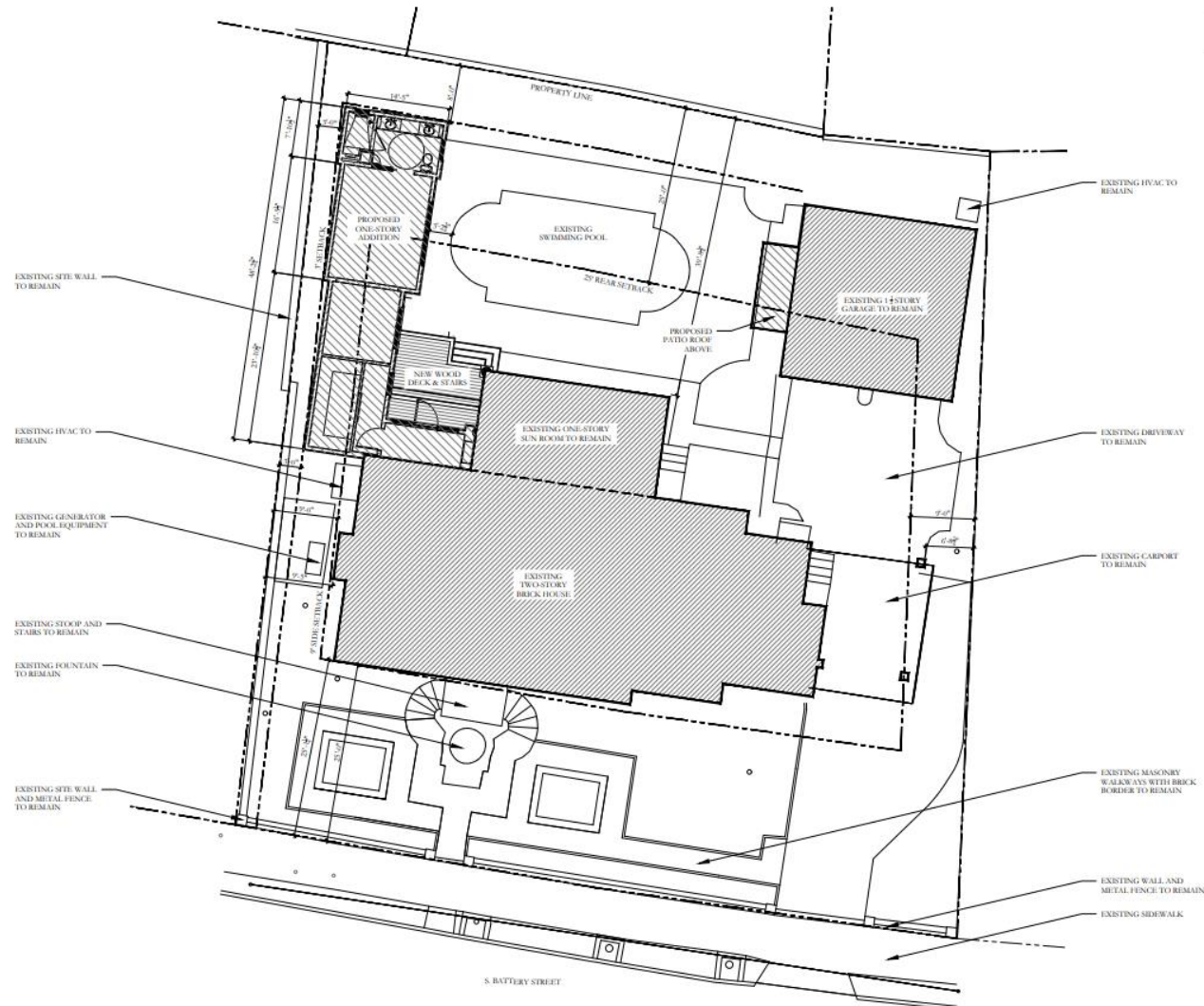
Drawing No.

EX-100

24028

01
 EX-100
 EXISTING SITE PLAN
 1/8" = 1'-0"





LOT COVERAGE ANALYSIS - PROPOSED	
50.00% = MAX. ALLOWABLE LOT COVERAGE	
2790	= EXISTING CONDITIONED AREA
247	= EXISTING CARPORT
392	= EXISTING GARAGE
929	= SUBTOTAL
487	= PROPOSED MASTER SUITE & CONDITIONERS
40	= PROPOSED PATIO ROOF ADDITION TO GARAGE
3746	= TOTAL LOT COVERAGE - PROPOSED
3746	= TOTAL LOT COVERAGE - PROPOSED
10761	= LOT AREA
34.40%	= DESIGNED LOT COVERAGE

843.790.4924 SvMArchitect.com

SEBASTIAN von MARSHALL
ARCHITECT

Sebastian@SvMArchitect.com



BZA-Z APPLICATION & REVIEW 1.20.2025
 ISSUE D-ATT

80 South Battery
 Charleston, SC
 29401

SITE PLAN - PROPOSED

Scale: 1/8" = 1'-0"	Drawing No. A-100
Date: 1.9.2025	
Drawn By: SvM, BAH	
Project No. 24028	

01 PROPOSED SITE PLAN
 A-100
 1/8" = 1'-0"





SEBASTIAN von MARSHALL
ARCHITECT

Sebastian@SeMArchitect.com

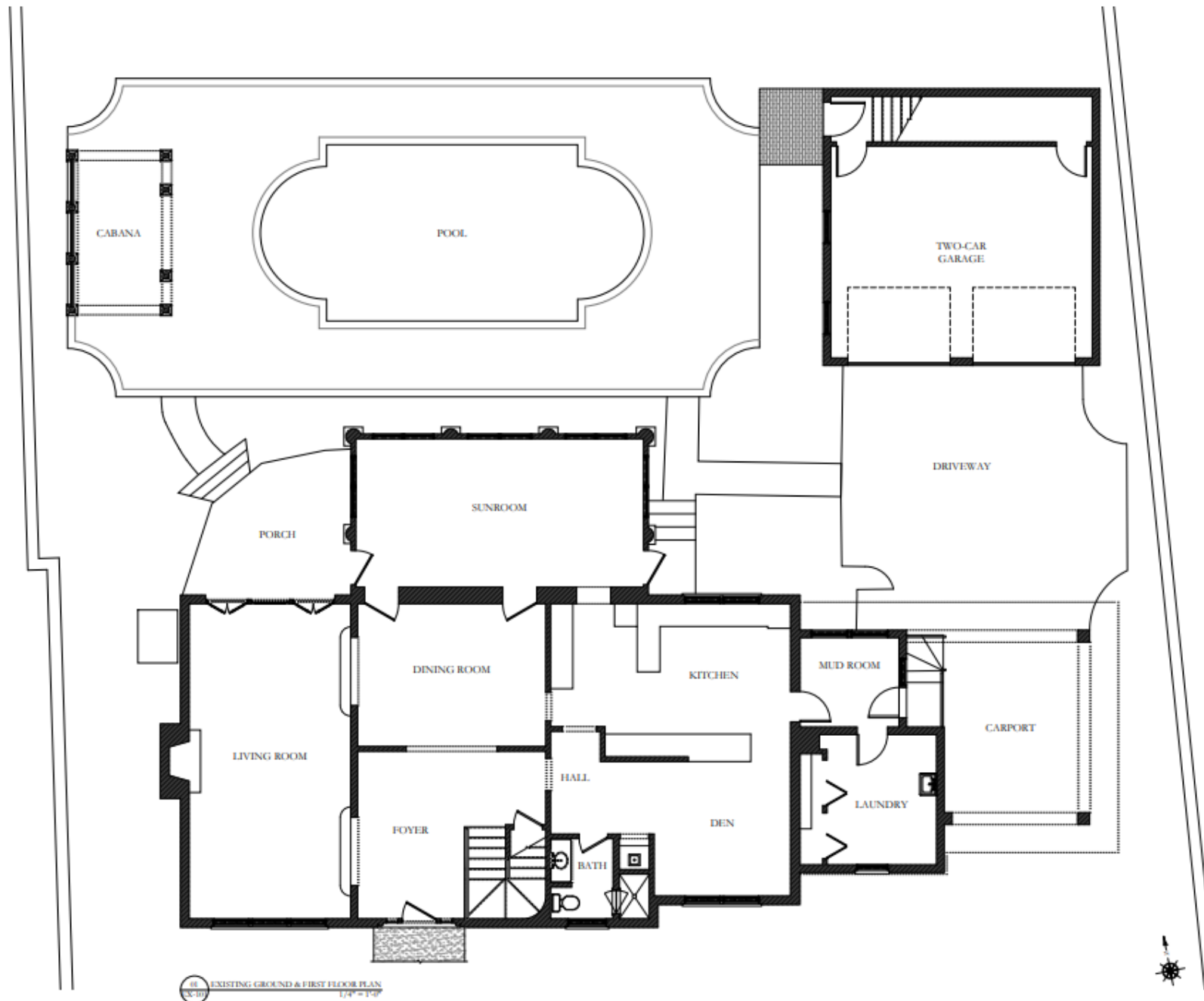


SCALE APPLICATION & REVIEW 1.26.2025
DATE: 03.07.2025

Project:
80 South Battery
Charleston, SC
29401

EXISTING GROUND &
FIRST FLOOR PLAN

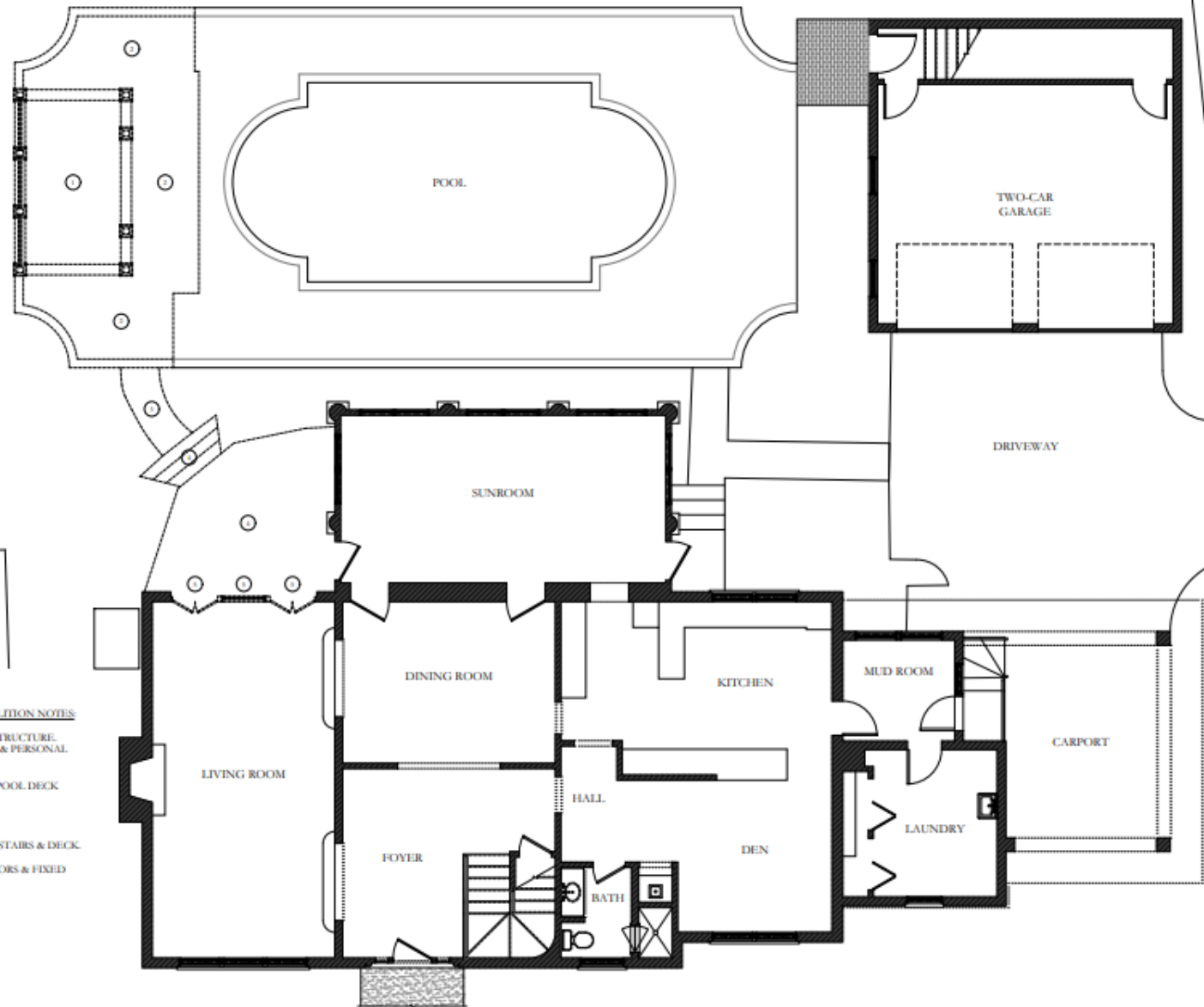
Scale: 1/4" = 1'-0"	Drawing No.:
Date: 11.19.2025	EX-101
Drawn By: SvM, HAH	
Project No.:	24028



01 EXISTING GROUND & FIRST FLOOR PLAN
1/4" = 1'-0"

GROUND & FIRST FLOOR DEMOLITION NOTES:

- ① DEMOLISH EXISTING CABANA STRUCTURE. RETURN OUTDOOR FURNITURE & PERSONAL EFFECTS TO OWNER.
- ② SELECTIVELY DEMO EXISTING POOL DECK FOR NEW ADDITION.
- ③ DEMOLISH EXISTING PATH.
- ④ DEMOLISH EXISTING WOODEN STAIRS & DECK.
- ⑤ REMOVE EXISTING FRENCH DOORS & FIXED WINDOWS.



80 SOUTH BATTERY
GROUND & FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

843.790.4924

SeMArchitect.com



SEBASTIAN VON MARSCHALL
ARCHITECT

Schneider@SeMArchitect.com



REAL APPLICATION & REVIEW

1-20-2025

DATE:

11-10-2025

PROJECT:

80 South Battery
Charleston, SC
29401

GROUND & FIRST FLOOR
DEMOLITION PLAN

SCALE:

1/4" = 1'-0"

Drawing No.

Date:

11.10.2025

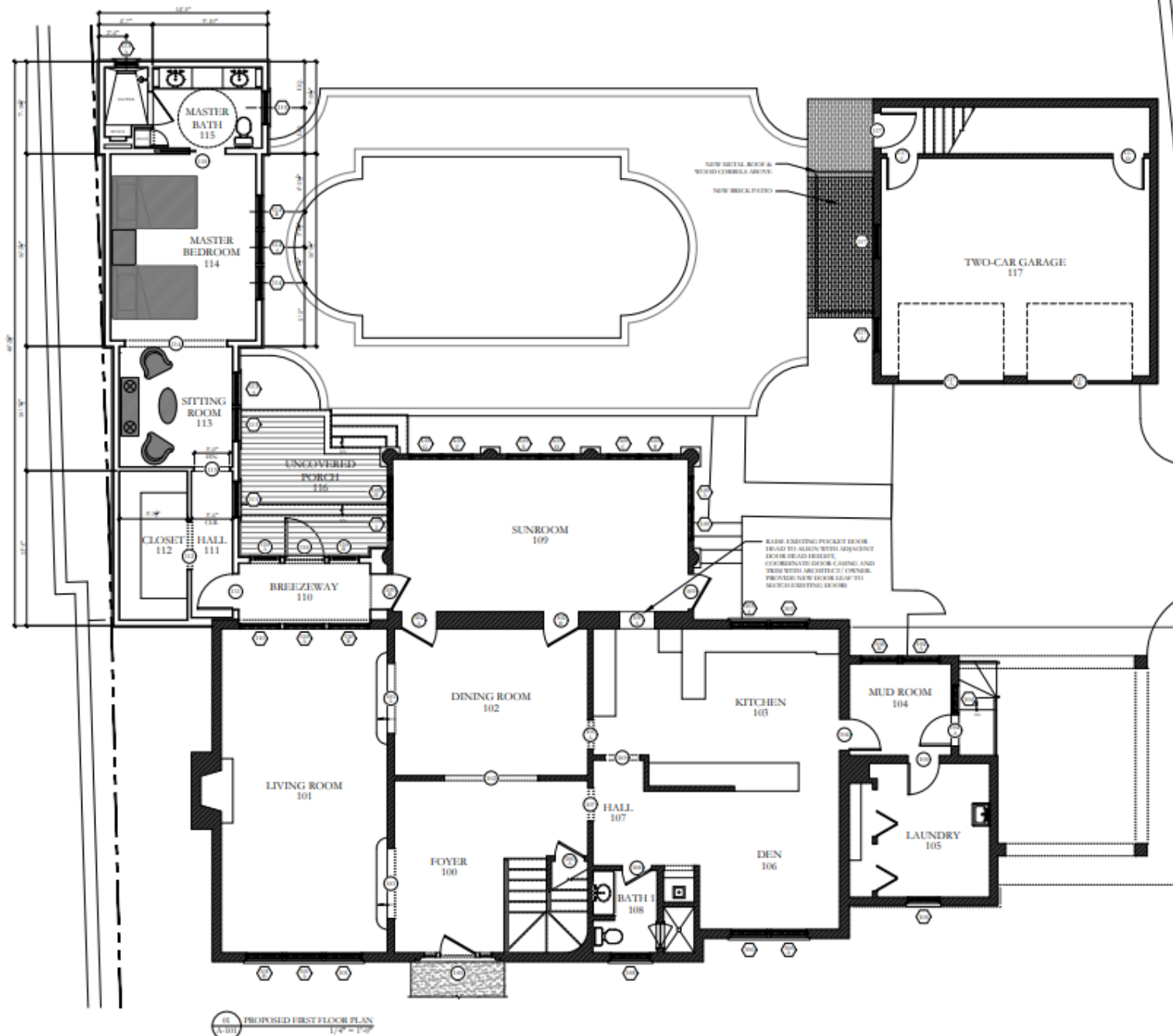
Drawn By:

SeM, BAH

Project No.

D-101

24X36



01 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

843.790.4924 sebmarchitect.com



SEBASTIAN von MARSHALL
ARCHITECT

Sebastian@SeMArchitect.com



SCALE: APPLICATION & REVIEW 1/20/2025
DATE: 11/10/25

80 South Battery
Charleston, SC
29401

PROPOSED FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"
Date: 1.10.2025
Drawn By: SWM, BAH
Project No: 24028

A-101



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com

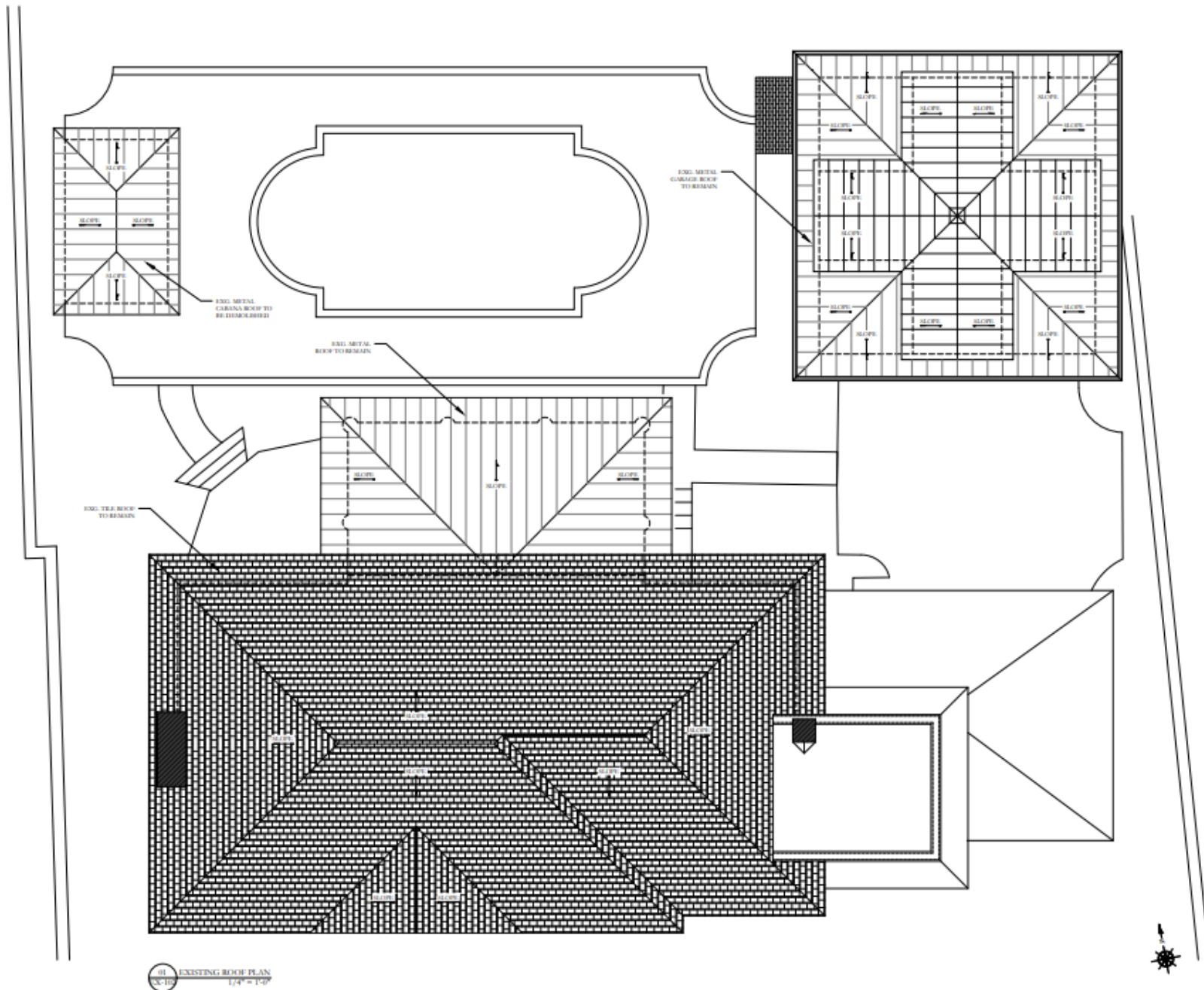


REG./Z. APPLICATION & REVIEW 1.20.2025
03.07.25

Project
80 South Battery
Charleston, SC
29401

EXISTING ROOF PLAN

Scale: 1/4" = 1'-0"	Drawing No. EX-102
Date: 11.18.2025	
Drawn By: SvM, BAH	
Project No. 24028	



01 EXISTING ROOF PLAN
1/4" = 1'-0"



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SeMArchitect.com



REG./Z. APPLICATION & REVIEW

1-26-2020

DATE:

11-17-2019

Project:

80 South Battery
Charleston, SC
29401

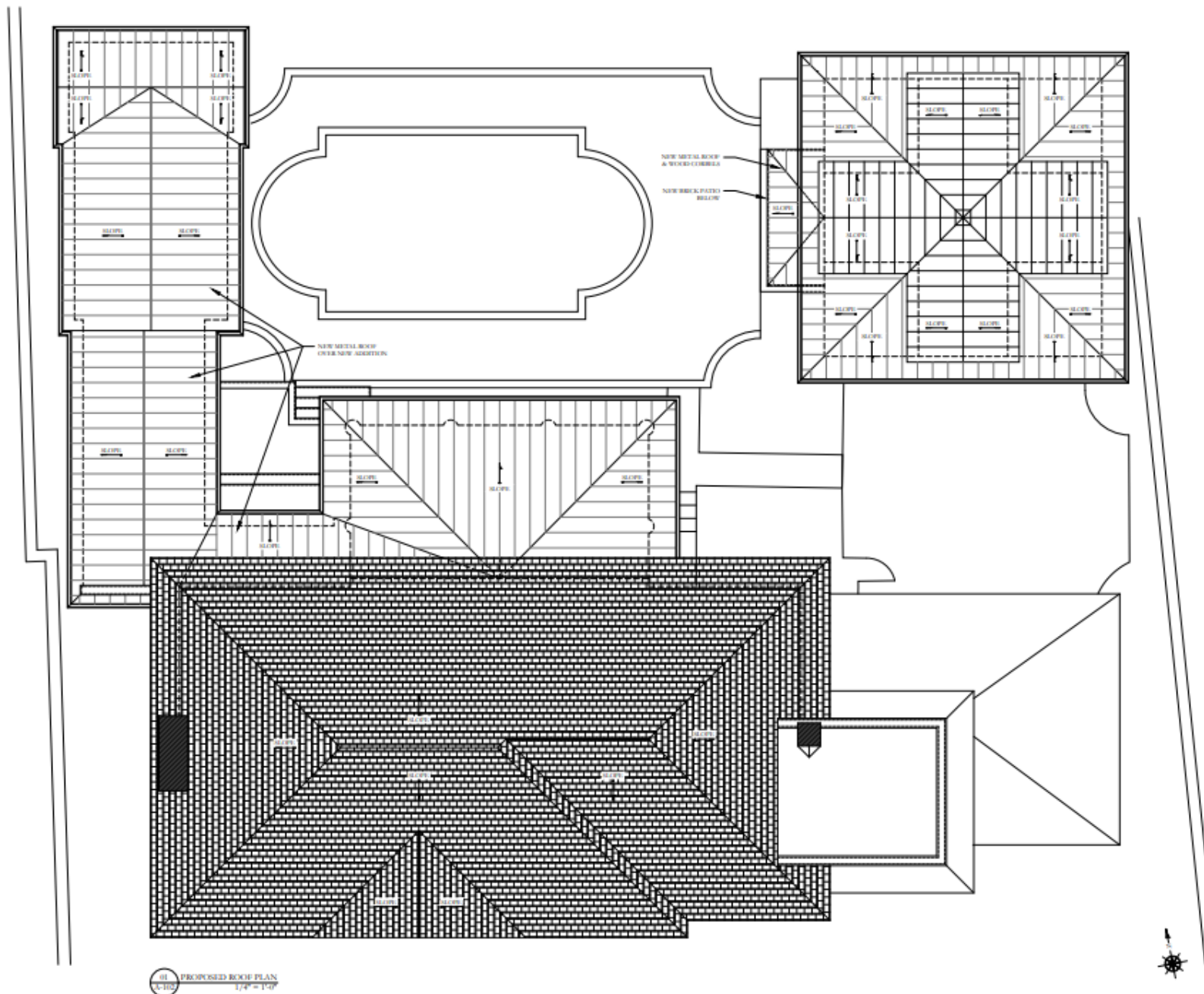
PROPOSED ROOF PLAN

Scale:
1/4" = 1'-0"
Date:
11.18.2025
Drawn By:
SvM, BAH
Project No.:

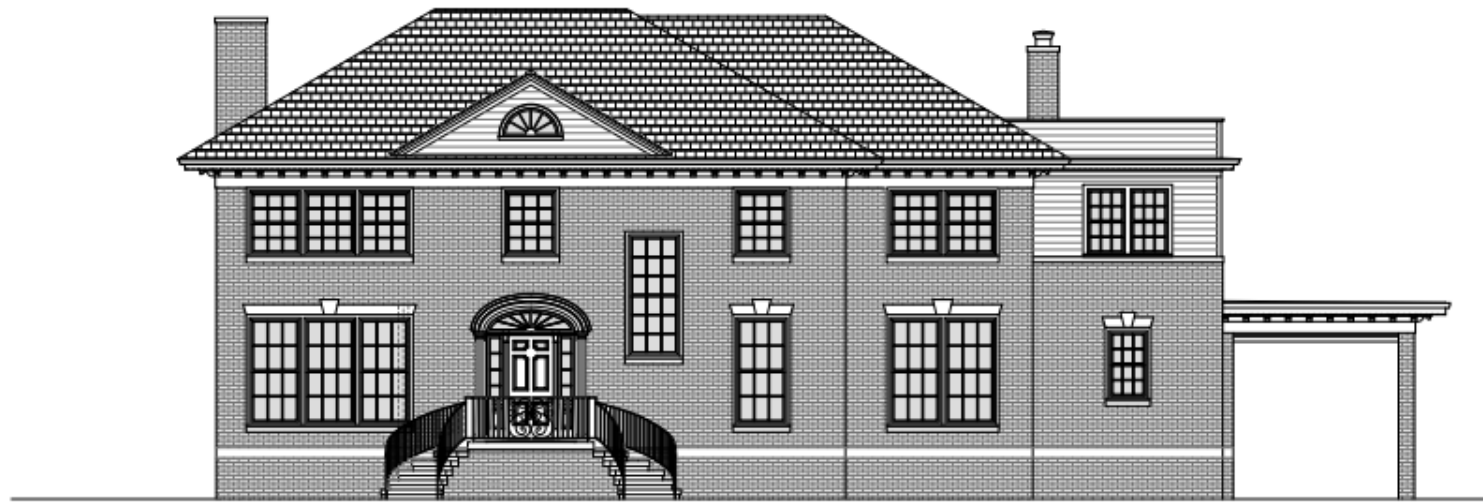
Drawing No.

A-102

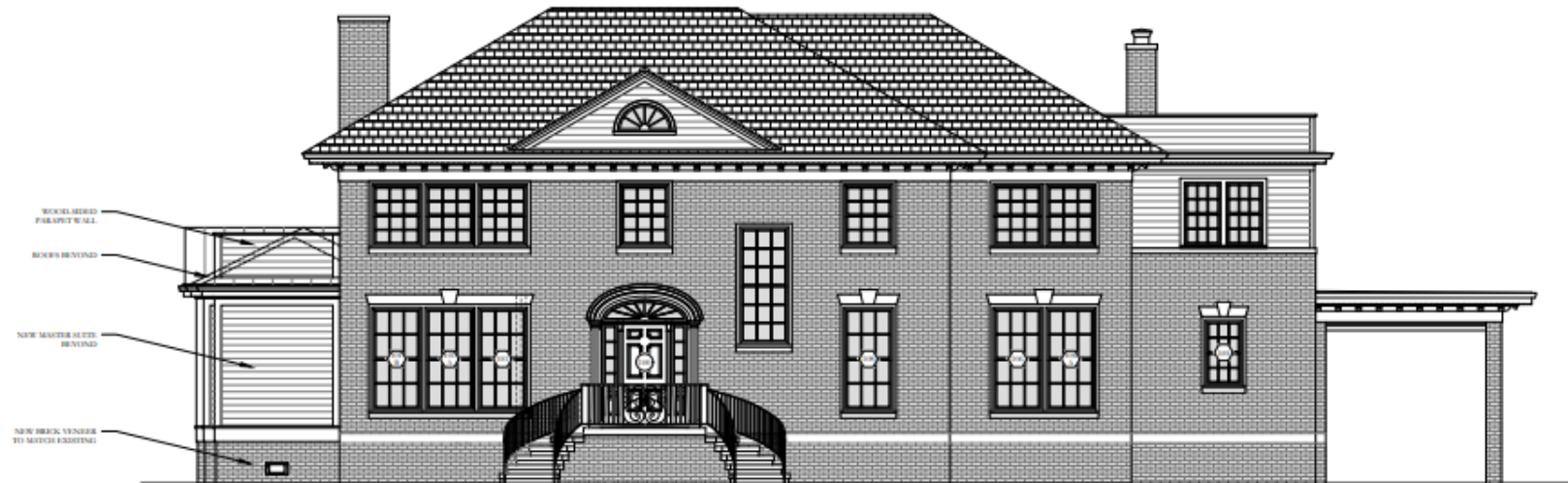
24028



01 PROPOSED ROOF PLAN
1/4" = 1'-0"



01 EXISTING SOUTH (FRONT) ELEVATION
1/4" = 1'-0"



02 PROPOSED SOUTH (FRONT) ELEVATION
1/4" = 1'-0"



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



SCALE: APPLICATION & REVIEW 1/20/2024
DATE: 01/01/24

Project
80 South Battery
Charleston, SC
29401

EXTERIOR ELEVATIONS

Scale
1/4" = 1'-0"
Date
8.12.2025
Drawn By
SVM, BAH
Project No.

Sheet No.
A-200



88 EXISTING EAST ELEVATION
1/4" = 1'-0"



82 PROPOSED EAST ELEVATION
1/4" = 1'-0"



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SeMArchitect.com



REG. APPLICATION & REVIEW 1.20.2020
DATE 23.475

Project
80 South Battery
Charleston, SC
29401

EXTERIOR ELEVATIONS

Scale 1/4" = 1'-0"	Drawing No. A-201
Date 8.12.2025	
Drawn By SVM, BAH	
Project No. 24028	



SEBASTIAN VON MARSCHALL
ARCHITECT

Sebastian@SeM.Architect.com



01 EXISTING NORTH (REAR) ELEVATION
1/4" = 1'-0"



02 PROPOSED NORTH (REAR) ELEVATION
1/4" = 1'-0"

SCALE APPLICATION & REVIEW 1.20.20
DATE 01.2021

80 South Battery
Charleston, SC
29401

EXTERIOR ELEVATIONS

Scale:
1/4" = 1'-0"
Date:
8.12.2025
Drawn By:
SOM, BAH
Project No:

Sheet No:
A-202



SEBASTIAN von MARSCHALL
ARCHITECT

Sebastian@SvMArchitect.com



REG. APPLICATION & REVIEW 1.26.2025
211130 23.470

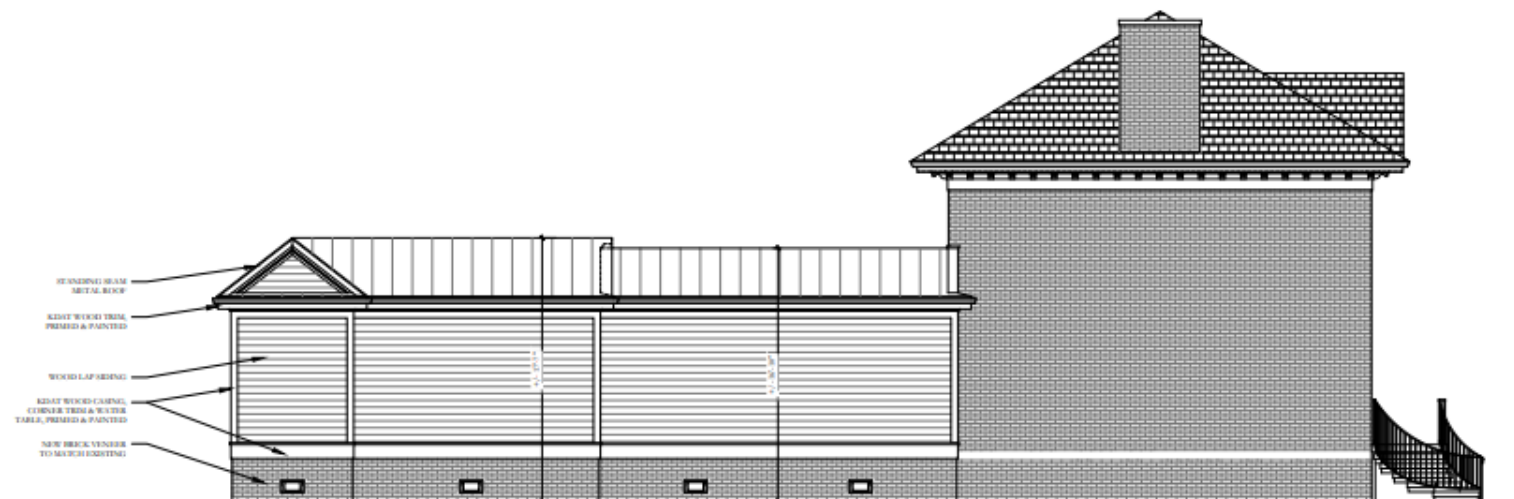
80 South Battery
Charleston, SC
29401

EXTERIOR ELEVATIONS

Scale 1/4" = 1'-0"	Drawing No. A-203
Date 8.12.2025	
Drawn By SvM, BAH	
Project No. 24028	



01 EXISTING WEST ELEVATION
1/4" = 1'-0"



02 PROPOSED WEST ELEVATION
1/4" = 1'-0"



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ARCHITECT

Sebastian@SeM.Architect.com



01 EXISTING NORTH ELEVATION
1/4" = 1'-0"



02 EXISTING WEST ELEVATION
1/4" = 1'-0"



03 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



04 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



05 PROPOSED WEST ELEVATION
1/4" = 1'-0"



06 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

BLAZZ APPLICATION & REVIEW

1.26.2025

01/10/25

01/10/25

80 South Battery
Charleston, SC
29401

EXTERIOR ELEVATIONS

Scale:

1/4" = 1'-0"

Date:

11.20.2025

Drawn By:

SeM, BAH

Project No:

Sheet No:

A-204

24/025

Agenda Item #B-11

19 Sheridan Rd.
(South Windemere)
TMS # 421-05-00-060

Request variance from Sec. 54-506.f.4 to construct a second-story addition on a detached garage with a height of 21' 5" (11' allowed).

Zoned: SR-1





Workspaces ▾

© 2025 Eagleview

50 ft
10 m



Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda. A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days. An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: January 20, 2026

Property Address 19 Sheridan Rd. Chs. SC 29407 TMS # 421-05-00-057

Property Owner Robert Banks Marion Daytime Phone 843-901-9257

Applicant Robert Banks Marion Daytime Phone 843-901-9257

Applicant's Mailing Address 19 Sheridan Rd. Charleston, SC 29407

E-mail Address banks.marion@raymondjames.com

Relationship of applicant to owner (same, representative, prospective buyer, other) same

Zoning of property SR-1

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☐ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Robert B. Marion Date 12/19/25

For office use only
 Date application received _____ Fee \$ _____
 Staffperson _____ Time application received _____
 Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Please, see attached.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

SEC. 54-924. REQUIREMENTS FOR GRANTING A VARIANCE.

A VARIANCE MAY BE GRANTED IN AN INDIVIDUAL CASE OF UNNECESSARY HARDSHIP IF THE BOARD MAKES AND EXPLAINS IN WRITING THE FOLLOWING FINDINGS:

- a. THERE ARE EXTRAORDINARY AND EXCEPTIONAL CONDITIONS PERTAINING TO THE PARTICULAR PIECE OF PROPERTY;

- THE HOMES IN THIS NEIGHBORHOOD ARE A VARIETY OF BRICK ONE- AND TWO-STORY STRUCTURES. THIS HOME IN PARTICULAR STARTED AS A SIMPLE ONE-STORY STRUCTURE. OVER THE YEARS IT THE FOOTPRINT HAS EXPANDED AND THE UPPER LEVEL HAS BEEN UTILIZED AS LIVING SPACE, CREATING A 1 ½ STORY STRUCTURE. ALTHOUGH, IN THE STRICT INTERPRETATION OF THE ZONING ORDINANCE IT IS CONSIDERED A 1 ½ STORY STRUCTURE, IT APPEARS, PARTICULARLY FROM THE SIDE VIEW AS A TWO-STORY STRUCTURE.

THE ACCESSORY DWELLING ORDINANCE STATES THAT THE EAVE HEIGHT OF AN ACCESSORY BUILDING MAY NOT EXCEED 11 FEET. THE NATURE OF THIS PARTICULAR LANGUAGE IN THE ORDINANCE IS TO PROTECT THE HISTORIC NATURE OF EXISTING PROPERTIES WHERE THE PRIMARY STRUCTURE WOULD TYPICALLY BE THE TALLER BUILDING AND ANY ACCESSORY BUILDINGS WOULD BE LOWER AND SUBSERVIENT.

THE GARAGE HAS A PRIMARY ROOF EAVE HEIGHT OF LESS THAN 11 FEET. WHILE DORMERS ARE REQUIRED TO ACHIEVE USABLE INTERIOR HEADROOM, THEIR PRESENCE RESULTS IN AN ORDINANCE INTERPRETATION THAT TREATS THE STRUCTURE AS EXCEEDING AN 11-FOOT EAVE HEIGHT. IN THIS CASE, HOWEVER, THE TECHNICAL INTERPRETATION DOES NOT REFLECT THE BUILDING'S ACTUAL SCALE OR APPEARANCE. THE PORTION OF THE GARAGE VISIBLE FROM THE STREET IS THE GABLE END, WHICH HAS AN EAVE HEIGHT OF 10 FEET 11 INCHES. FURTHERMORE, THE STREET VIEW OF BOTH THE PRIMARY RESIDENCE AND THE GARAGE IS FROM THE SIDE, WHERE THE PRIMARY RESIDENCE CLEARLY READS AS THE LARGER AND DOMINANT STRUCTURE. AS A RESULT, THE GARAGE REMAINS VISUALLY SUBORDINATE TO THE PRIMARY BUILDING, CONSISTENT WITH THE INTENT OF THE ORDINANCE.

- b. THESE CONDITIONS DO NOT GENERALLY APPLY TO OTHER PROPERTY IN THE VICINITY;

- THIS CMU BLOCK GARAGE IS PRETTY TYPICAL IN THIS NEIGHBORHOOD. THE HOMEOWNER WOULD LIKE TO CONSTRUCT AN UPPER LEVEL ON THE GARAGE TO CREATE AN OFFICE/GUEST SUITE. THE FLOOR PLAN OF THE UPPER LEVEL CONTAINS A SMALL SITTING AREA/OFFICE, A CLOSET AND MODEST BATHROOM. THE ADDITION OF THE DORMERS TO THE ROOF STRUCTURE ARE NECESSARY TO MAKE THE SPACE USABLE.

- c. BECAUSE OF THESE CONDITIONS, THE APPLICATION OF THE ORDINANCE TO THE PARTICULAR PIECE OF PROPERTY WOULD EFFECTIVELY PROHIBIT OR UNREASONABLY RESTRICT THE UTILIZATION OF THE PROPERTY; AND

- THE DEFINITION OF A HALF STORY LIMITS THE DORMERS TO 50 PERCENT OF THE WIDTH OF THE EXTERIOR WALL BELOW THE DORMERS. APPLIED TO THIS PARTICULAR CASE, THIS WOULD REDUCE THE USABLE LIVING SPACE IN THE UPPER LEVEL OF THE GARAGE TO A 10 FOOT BY 11 FOOT AREA.

- d. THE AUTHORIZATION OF A VARIANCE WILL NOT BE OF SUBSTANTIAL DETRIMENT TO ADJACENT PROPERTY OR TO THE PUBLIC GOOD, AND THE CHARACTER OF THE DISTRICT WILL NOT BE HARMED BY THE GRANTING OF THE VARIANCE.

- THIS ACCESSORY BUILDING COMPLIES WITH THE ZONING ORDINANCE IN ALL OTHER ASPECTS. IT IS COMPLIANT IN SQUARE FOOTAGE, LOT COVERAGE, BUILDING SETBACKS, OVERALL BUILDING HEIGHT AND USE. THE ADDITION OF A USABLE SPACE OVER THE GARAGE IS TYPICAL IN THIS NEIGHBORHOOD. THE HOMEOWNER HAS SPOKEN TO HIS NEIGHBORS AND RECEIVED POSITIVE SUPPORT.

This drawing is the exclusive property of the architect and may not be used or reproduced in whole or in part without the written consent of the architect. WHEN THIS DRAWING IS PRINTED AT AN 11" X 17" FORMAT, the scale of the drawings are at 1/2 of the noted scale. (U.N.O.)

MARION GARAGE/OFFICE SUITE

19 SHERIDAN ROAD
CHARLESTON, SOUTH CAROLINA 29407

LOCATION MAP:

CITY OF CHARLESTON
CHARLESTON COUNTY,
SOUTH CAROLINA



VICINITY MAP
NOT TO SCALE

SCOPE OF WORK:

REQUESTING A VARIANCE FROM SECTION 54-506.1.4 TO ALLOW AN ACCESSORY
BUILDING EAVE HEIGHT TO EXCEED 11 FEET



CODE / ZONING INFORMATION

JURISDICTION

CITY OF CHARLESTON

APPLICABLE CODES

ALL WORK, MATERIALS, AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL ORDINANCES, AND THE LATEST ADOPTED ADDITION OF THE NATIONAL, STATE AND LOCAL BUILDING CODES, INCLUDING BUT NOT LIMITED TO THE 2021 INTERNATIONAL BUILDING CODE, THE NBC, NFPA CODES, SAFETY AND HEALTH REQUIREMENTS AND ENERGY CODES.

BUILDING CLASSIFICATION

OCCUPANCY TYPE: SINGLE FAMILY DWELLING

ZONING INFORMATION

T.M.S. #: 421-02-00-060

PROPERTY AREA: 8,917 SF

ZONING DISTRICT: SR-1

SETBACKS:

SETBACKS REQUIRED:

FRONT: 25'
REAR: 25'
SIDE (SOUTHWEST): 9'
SIDE (NORTHEAST): 9'
ACCESSORY BLDG: 3' SIDE & REAR

EXISTING SETBACKS:

FRONT: 25.5'
REAR: 32.3'
SIDE (SOUTHWEST): 19.5'
SIDE (NORTHEAST): 11.6'
ACCESSORY BLDG: 5'-0"
REAR: 5'-0"

MEETS ZON'G REQ'MENTS

LOT OCCUPANCY:

LOT OCCUPANCY ALLOWED BY ZONING:

35%

EXISTING LOT OCCUPANCY:

EXIST 22'18" SF * EXISTING GARAGE
822 SF = 2,740 SF (30.7%)
TOTAL FOOTPRINT

MEETS ZON'G REQ'MENTS

HEIGHT RESTRICTIONS:

MAXIMUM HEIGHT ALLOWED BY ZONING:

35'0" 1/2 STORIES

PROPOSED GARAGE HEIGHT:

21'-0"

MEETS ZON'G REQ'MENTS

PROJECT CONTACT INFORMATION

PROJECT #: 25.119

PROJECT ADDRESS: 19 SHERIDAN ROAD
CHARLESTON, SC 29407

CLIENT/TENANT: CONTACT PERSON: BANK MARION
19 SHERIDAN ROAD
CHARLESTON, SC 29407
PH: (843) 795-2031
E-MAIL: Bank.Marion@paymondjames.com

ARCHITECT: ROBBIE MARTY ARCHITECT, LLC
CONTACT PERSON: ROBBIE MARTY
PO BOX 20051
CHARLESTON, SC 29413
PH: (843) 906-4794
E-MAIL: ROBBIE@RMAACHS.COM

DRAWING INDEX

SEC. 54-524. REQUIREMENTS FOR GRANTING A VARIANCE.

A VARIANCE MAY BE GRANTED IN AN INDIVIDUAL CASE OF UNNECESSARY HARDSHIP IF THE BOARD MAKES AND EXPLAINS IN WRITING THE FOLLOWING FINDINGS:

- a. THERE ARE EXTRAORDINARY AND EXCEPTIONAL CONDITIONS PERTAINING TO THE PARTICULAR PIECE OF PROPERTY;
- THE HOMES IN THIS NEIGHBORHOOD ARE A VARIETY OF BRICK ONE- AND TWO-STORY STRUCTURES. THIS HOME IN PARTICULAR STARTED AS A SIMPLE ONE-STORY STRUCTURE. OVER THE YEARS IT THE FOOTPRINT HAS EXPANDED AND THE UPPER LEVEL HAS BEEN UTILIZED AS LIVING SPACE, CREATING A 1 1/2 STORY STRUCTURE. ALTHOUGH, IN THE STRICT INTERPRETATION OF THE ZONING ORDINANCE IT IS CONSIDERED A 1 1/2 STORY STRUCTURE, IT APPEARS, PARTICULARLY FROM THE SIZE VIEW AS A TWO-STORY STRUCTURE.

THE ACCESSORY DWELLING ORDINANCE STATES THAT THE EAVE HEIGHT OF AN ACCESSORY BUILDING MAY NOT EXCEED 11 FEET. THE NATURE OF THIS PARTICULAR LANGUAGE IN THE ORDINANCE IS TO PROTECT THE HISTORIC NATURE OF EXISTING PROPERTIES WHERE THE PRIMARY STRUCTURE WOULD TYPICALLY BE THE TALLER BUILDING AND ANY ACCESSORY BUILDINGS WOULD BE LOWER AND SUBSERVIENT.

THE GARAGE HAS A PRIMARY ROOF EAVE HEIGHT OF LESS THAN 11 FEET. WHILE DORMERS ARE REQUIRED TO ACHIEVE USABLE INTERIOR HEADROOM, THEIR PRESENCE RESULTS IN AN ORDINANCE INTERPRETATION THAT TREATS THE STRUCTURE AS EXCEEDING AN 11-FOOT EAVE HEIGHT. IN THIS CASE, HOWEVER, THE TECHNICAL INTERPRETATION DOES NOT REFLECT THE BUILDING'S ACTUAL SCALE OR APPEARANCE. THE PORTION OF THE GARAGE VISIBLE FROM THE STREET IS THE GABLE END, WHICH HAS AN EAVE HEIGHT OF 10 FEET 11 INCHES. FURTHERMORE, THE STREET VIEW OF BOTH THE PRIMARY RESIDENCE AND THE GARAGE IS FROM THE SIDE, WHERE THE PRIMARY RESIDENCE CLEARLY READS AS THE LARGER AND DOMINANT STRUCTURE. AS A RESULT, THE GARAGE REMAINS VISUALLY SUBORDINATE TO THE PRIMARY BUILDING, CONSISTENT WITH THE INTENT OF THE ORDINANCE.

- b. THESE CONDITIONS DO NOT GENERALLY APPLY TO OTHER PROPERTY IN THE VICINITY;
- THIS CMU BLOCK GARAGE IS PRETTY TYPICAL IN THIS NEIGHBORHOOD. THE HOMEOWNER WOULD LIKE TO CONSTRUCT AN UPPER LEVEL ON THE GARAGE TO CREATE AN OFFICE/GUEST SUITE. THE FLOOR PLAN OF THE UPPER LEVEL CONTAINS A SMALL SITTING AREA/OFFICE, A CLOSET AND MODEST BATHROOM. THE ADDITION OF THE DORMERS TO THE ROOF STRUCTURE ARE NECESSARY TO MAKE THE SPACE USABLE.
- c. BECAUSE OF THESE CONDITIONS, THE APPLICATION OF THE ORDINANCE TO THE PARTICULAR PIECE OF PROPERTY WOULD EFFECTIVELY PROHIBIT OR UNREASONABLY RESTRICT THE UTILIZATION OF THE PROPERTY; AND
- THE DEFINITION OF A HALF STORY LIMITS THE DORMERS TO 50 PERCENT OF THE WIDTH OF THE EXTERIOR WALL BELOW THE DORMERS. APPLIED TO THIS PARTICULAR CASE, THIS WOULD REDUCE THE USABLE LIVING SPACE IN THE UPPER LEVEL OF THE GARAGE TO A 10 FOOT BY 11 FOOT AREA.
- d. THE AUTHORIZATION OF A VARIANCE WILL NOT BE OF SUBSTANTIAL DETRIMENT TO ADJACENT PROPERTY OR TO THE PUBLIC GOOD, AND THE CHARACTER OF THE DISTRICT WILL NOT BE HARMED BY THE GRANTING OF THE VARIANCE.
- THIS ACCESSORY BUILDING COMPLIES WITH THE ZONING ORDINANCE IN ALL OTHER ASPECTS. IT IS COMPLIANT IN SQUARE FOOTAGE, LOT COVERAGE, BUILDING SETBACKS, OVERALL BUILDING HEIGHT AND USE. THE ADDITION OF A USABLE SPACE OVER THE GARAGE IS TYPICAL IN THIS NEIGHBORHOOD. THE HOMEOWNER HAS SPOKEN TO HIS NEIGHBORS AND RECEIVED POSITIVE SUPPORT.

ROBBIE MARTY ARCHITECT
CHARLESTON, SOUTH CAROLINA
843.906.4794 robbie@rmaachs.com

COVER SHEET

MARION RESIDENCE
19 SHERIDAN ROAD
CHARLESTON SOUTH
CAROLINA 29407
DATE: 12/19/2025

SET	DATE/ISSUE

A0.0

Addition/Renovation For:
Banks Marion
19 Sheridan Road
Charleston, SC 29407



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NO.	DATE	REVISIONS	
		DESCRIPTION	BY
1	01/11/2025	REVISED PER PERMITTING	
2	12/15/2025	CONTRACT PER ALL ISSUES	

PREPARED FOR:
Banks Marion
19 Sheridan Road
Charleston, SC 29407



SEAL DATE: 12-15-2025
COOK DESIGN STUDIO, INC.

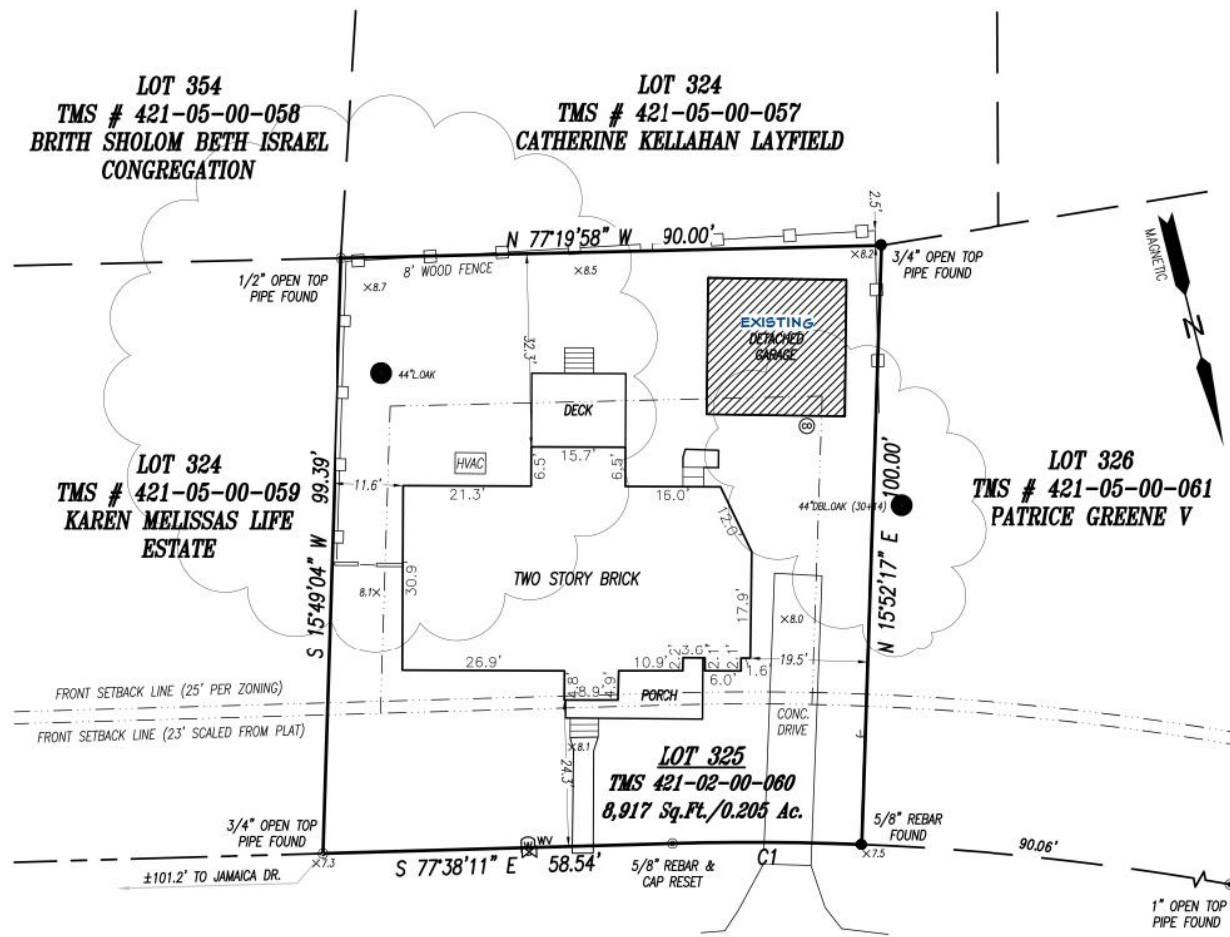
304 PINGHAM STREET
WALTERS, SC 29480
(843) 322-4371
DRAWN BY: BSC
CHECK BY: PHB
JOB: 6886-175-2025
DATE: 12-15-2025
G001

SHEET INDEX:	
ID	NAME
G001	COVER PAGE
G001	SITE PLAN
A101	EXISTING FLOOR PLAN & EXISTING PHOTOS
A102	PROPOSED 1ST & 2ND FLOOR PLANS, & SCHEDULES
A201	ELEVATIONS
A301	BUILDING SECTION
A401	3D EXTERIOR RENDERINGS
E101	1ST & 2ND FLOOR ELECTRICAL PLANS
S101	FOUNDATION PLAN & 2ND FLOOR FRAMING PLAN
S102	2ND FLOOR CEILING FRAMING PLAN & ROOF PLAN
S103	STRUCTURAL DETAILS
S104	STRUCTURAL DETAILS



CONCEPTUAL RENDERING
N.T.S.

GENERAL NOTES		CODES - REGULATIONS - STANDARDS	SQUARE FOOTAGE	DESIGN CRITERIA
1. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS.	2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING BUILT COMPLIANCE WITH ALL CODES, REGULATIONS, AND STANDARDS SUCH AS MAY BE IN FORCE. THESE CODES INCLUDE BUT MAY NOT BE LIMITED TO: 2021 International Residential Code with SC Modifications	1ST FLOOR = N/A 2ND FLOOR = 488 TOTAL HEATED = 488	DESIGN CODE: IGC 600 & IRC 2021 WITH SC MODIFICATIONS & ASCE 7-22 SCOPE OF WORK: ADDITION/RENOVATION OCCUPANCY GROUP: SINGLE-FAMILY DWELLING CONSTRUCTION TYPE: V8 FIRE PROTECTION SYSTEMS: NO TOTAL AREA: 903 SQ. FT. HEIGHT: 21'-5" +/- NUMBER OF STORIES: 2 FLOOD ZONE: AE 5	WINDOW AND DOOR DESIGN PRESSURE RATINGS PER 2021 INTERNATIONAL RESIDENTIAL CODE. DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF) BASIC WIND SPEED: 146 MPH
3. SUBCONTRACTORS SHALL PROVIDE CERTIFICATION OF GENERAL LIABILITY INSURANCE AND WORKMAN'S COMPENSATIONS COVERAGE, AS REQUIRED BY THE GENERAL CONTRACTOR.	2. SHOULD THE GENERAL CONTRACTOR BECOME AWARE OF A CONDITION SHOWN OR DEPICTED IN THE CONTRACT DOCUMENTS THAT WOULD RESULT IN A VIOLATION OF ANY CODE OR REGULATION LISTED ABOVE, THE GENERAL CONTRACTOR SHALL CONTACT THE HOMEOWNER IMMEDIATELY FOR RESOLUTION.	BONUS ROOM = N/A FRONT PORCH = N/A REAR PORCH = N/A GARAGE = 415	1. FLOOR DEAD LOADS: PARTITIONS 20 PSF FIXED EQUIPMENT ACTUAL WEIGHT FINISHES ACTUAL WEIGHT	MEAN ROOF HEIGHT (MRH) INLAND LOCATION (EXPOSURE "B") (MRH) ZONE (4) ZONE (5) 15' DP 35 DP 45 20' DP 35 DP 45 25' DP 35 DP 45 30' DP 35 DP 45 35' DP 35 DP 45 40' DP 40 DP 45 45' DP 40 DP 50 50' DP 40 DP 50
4. THE CONTRACTOR SHALL COORDINATE AND/OR OBTAIN ALL BUILDING PERMITS REQUIRED FOR CONSTRUCTION AND CERTIFICATES OF OCCUPANCY.	3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMIT NOT PROVIDED BEFOREHAND BY THE HOMEOWNER.	TOTAL AREA = 903	2. FLOOR LIVE LOADS: LIVING ROOMS 40 PSF SLEEPING ROOMS 40 PSF ATTIC W/ STORAGE 20 PSF ATTIC W/O STORAGE 10 PSF DECKS 40 PSF BALCONIES 60 PSF GUARDRAILS & HANDRAILS 200#	MEAN ROOF HEIGHT (MRH) OCEAN/MARSH LOCATION (EXPOSURE "D") (MRH) ZONE (4) ZONE (5) 15' DP 40 DP 50 20' DP 45 DP 50 25' DP 45 DP 50 30' DP 50 DP 55 35' DP 50 DP 55 40' DP 50 DP 55 45' DP 55 DP 65 50' DP 55 DP 65
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.	4. THE GENERAL CONTRACTOR AND/OR HIS/HER SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.		3. ROOF DEAD LOAD: TOTAL 15.0 PSF ROOFING 2.0 PSF DECKING 2.0 PSF INSULATION 1.0 PSF FRAMING 5.0 PSF CEILING 5.0 PSF	
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASPECTS OF SAFETY DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.	5. NEITHER THE HOMEOWNER NOR THE DESIGNER SHALL BE CONSIDERED TO ACT IN THE ROLE OF AN INSPECTOR. WHILE THE HOMEOWNER AND THE DESIGNER SHALL ENDEAVOR TO ALERT THE GENERAL CONTRACTOR TO ANY PERCEIVED OR OBSERVED DEFECT IN THE CONSTRUCTION, FAILURE TO DO SO SHALL NOT IN ANY WAY RELIEVE THE GENERAL CONTRACTOR FROM HIS/HER OBLIGATION TO ENSURE THAT THE BUILT WORK IS SAFE, OF GOOD QUALITY, AND COMPLIANT WITH ALL RELEVANT CODES AND REGULATIONS.		4. ROOF LIVE LOADS: 20 PSF 5. ROOF SNOW LOAD: 5.0 PSF GROUND	
7. ALL DIMENSIONS AND SITE CONDITIONS TO BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.	6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK, WHETHER PERFORMED BY SUBCONTRACTORS OR BY THE GENERAL CONTRACTOR HIM/HERSELF, IS OF GOOD WORKMANSHIP AND QUALITY.		6. WIND EXPOSURE: D 7. BASIC WIND SPEED: 146 8. SEISMIC CRITERIA	
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE.			SITE CLASS: D DESIGN CATEGORY: D2	
9. ALL DETAILS, SECTIONS, NOTES, OR REFERENCES TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.			9. THE DESIGN SOIL BEARING PRESSURE IS PSF 2000 (ASSUMED)	
10. DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER AND OBTAIN APPROVAL FROM THE GOVERNING BUILDING OFFICIAL BEFORE PROCEEDING WITH THE WORK.				
11. THE MANUFACTURERS, PRODUCTS AND EQUIPMENT LISTED ESTABLISH PERFORMANCE REQUIREMENTS. SUBSTITUTIONS OF EQUAL PERFORMANCE MAY BE SUBMITTED TO THE DESIGNER FOR APPROVAL.				
12. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, SPECIFICATIONS, AND WARRANTY REQUIREMENTS UNLESS OTHERWISE SPECIFIED BY THE DESIGNER.				
13. SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.				
14. ALL WORK SHALL BE EXECUTED IN A SKILLED MANNER WITH REGARD TO CUTS, JOINTS, PLACEMENT OF FASTENERS, PLUMBNESS, LEVELNESS, ALIGNMENT, PREPARATION, AND FINISH.				
15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE COMPATIBILITY OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.				
16. DRAWINGS ARE NOT INTENDED TO BE SCALED.				



ZONING: SR-1
 SETBACKS:
 FRONT: 25'
 REAR: 25'
 SIDE: 9'

SITE PLAN
 SCALE: 1"=10'

SHERIDAN ROAD (50' R/W)

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE HOMEOWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE HOMEOWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS PRIOR TO CONSTRUCTION. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.

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- DRAWING NOTES:**
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NO.	DATE	REVISIONS
1	12-15-2025	ISSUED FOR PERMIT
2	12-15-2025	ISSUED FOR PERMIT

PREPARED FOR:
Banks Marion
 14 Sheridan Road
 Charleston, SC 29407

MEMBER
A I B D
 AMERICAN INSTITUTE OF BUILDING DESIGN

N.C.B.D.C.
 NATIONAL COUNCIL OF BUILDING DESIGNERS

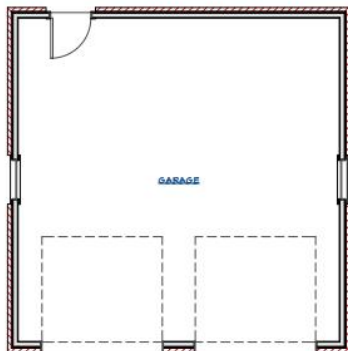
SEAL DATE: 12-15-2025
 COOK DESIGN STUDIO, INC.

C
 804 PICHMAN STREET
 WALTERBORO, SC 29488
 (843) 732-4277

DRAWN BY: BSC
 CHECK BY: JMB
 JOB: 6056-175-2025
 DATE: 12-15-2025

C001

THIS SITE PLAN IS NOT AN OFFICIAL SURVEY OF THE PARCELS REPRESENTED HEREIN; IT IS INTENDED TO BE USED FOR LAYOUT PURPOSES ONLY.



EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



EXISTING FRONT PHOTO

N.T.S.



EXISTING LEFT PHOTO

N.T.S.



EXISTING FRONT/RIGHT PHOTO

N.T.S.

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE HOMEOWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE HOMEOWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS PRIOR TO CONSTRUCTION. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.

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NO.	DATE	REVISIONS
1	12-15-2025	PREPARED FOR BANKS MARION
2	12-15-2025	REVISED FOR PERMITS
3	12-15-2025	REVISED FOR PERMITS
4	12-15-2025	REVISED FOR PERMITS
5	12-15-2025	REVISED FOR PERMITS
6	12-15-2025	REVISED FOR PERMITS
7	12-15-2025	REVISED FOR PERMITS
8	12-15-2025	REVISED FOR PERMITS
9	12-15-2025	REVISED FOR PERMITS
10	12-15-2025	REVISED FOR PERMITS

Banks Marion
14 Sheridan Road
Charleston, SC 29407

PREPARED FOR:

MEMBER
A I B D
AMERICAN INSTITUTE OF
BUILDING DESIGN

N · C · B · D · C
NATIONAL COUNCIL OF
BUILDING DESIGNERS
SOUTH CAROLINA CHAPTER

SEAL DATE 12-15-2025

COOK DESIGN STUDIO, INC.



804 PICHMAN STREET
WALTERBORO, SC 29488
(843) 752-4077

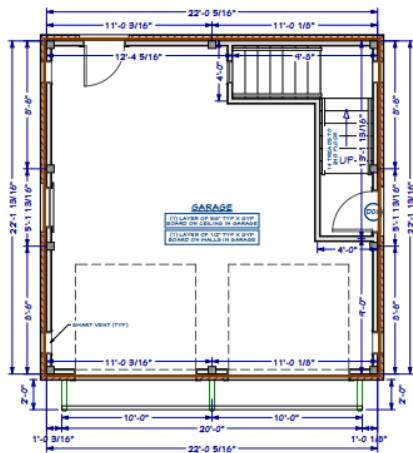
DRAWN BY: BSC

CHECK BY: PHB

JOB: 6056-175-2025

DATE: 12-15-2025

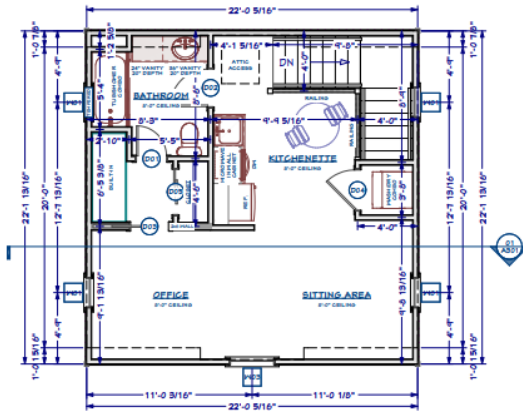
A101



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

SMALL VENT MODEL: 1/4"=1'-0" HYDROSTATIC RELIEF: 200 SQ. FT. PER VENT REQUIREMENTS: MINIMUM 12" VENTS PER ENCLOSED AREA MOUNTED ON OPPOSITE OR ADJACENT WALLS. ENSURE THAT THE BOTTOM OF OPENING IS NO MORE THAN 12" ABOVE THE OUTSIDE FINAL GRADE.

NOTE: FLOOD VENT PER CODE



PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

Number	Size	Width	Height	Floor	Temperature	Description	Manufacturer	Comments	Qty
P01	2600 L IN	30"	60"	2		Hinged-Door P04			1
P02	2600 R	30"	60"	2		Hinged-Door P04			1
P03	2600 L IN	30"	60"	2		Pocket-Door P04			1
P04	2600 L IN	30"	60"	2		Hinged-Door P04			1
P05	3000 R IN	30"	60"	2		Slider-Door P04			1
P06	2600 L IN	30"	60"	2		Rot. Hinged-Door			1

Number	Size	Width	Height	Floor	Temperature	Description	Manufacturer	Comments	Qty
P07	3000 R IN	30"	60"	2		Rot. Hinged-Door			1

NOTE: WINDOW SIZES MAY BE ADJUSTED PER STANDARD SIZES ONCE MANUFACTURER IS CHOSEN.

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE HOMEOWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE HOMEOWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS PRIOR TO CONSTRUCTION. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.

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DRAWING NOTES:

1. DRAWINGS ARE NOT INTENDED TO BE SCALED.
2. EXISTING CONDITIONS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. THE DESIGNER IS TO BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWING SPECIFICATIONS.
4. ALL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS DRAWING SET ARE SPECIFIC TO THIS PARTICULAR SITE LOCATION/BUILDING AND ARE THE PROPERTY OF COOK DESIGN STUDIO, INC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS INFORMATION IS SUBJECT TO LEGAL PROSECUTION.

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NO.	DATE	REVISIONS
1	12-15-2025	PREPARED FOR PERMITTED
2	12-15-2025	FOR REVIEW BY CLIENT

Banks Marlon
14 Sheridan Road
Charleston, SC 29401

PREPARED FOR:

MEMBER
A I B D
AMERICAN INSTITUTE OF BUILDING DESIGN

N · C · B · D · C
NATIONAL COUNCIL OF BUILDING DESIGN
Resident Cook
12-15-2025

SEAL DATE: 12-15-2025

COOK DESIGN STUDIO

C
304 HIGHMAN STREET
WALTERS, SC 29405
(843) 702-4077

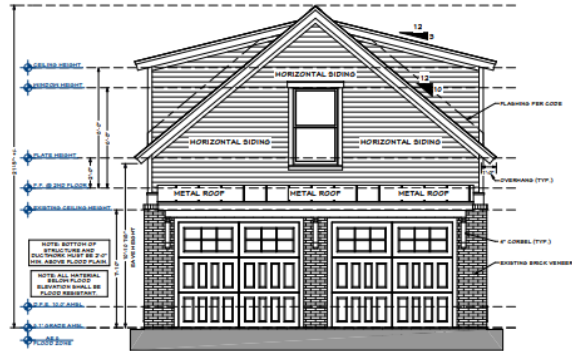
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CHECK BY: PHB

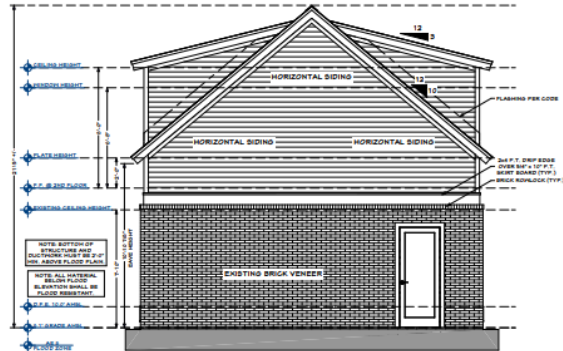
JOB: 6856-175-2025

DATE: 12-15-2025

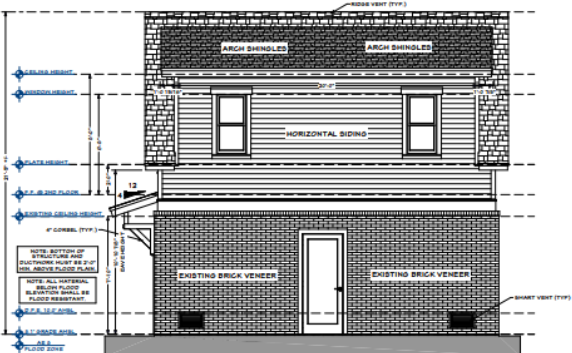
A102



FRONT ELEVATION
SCALE: 1/4"=1'-0"

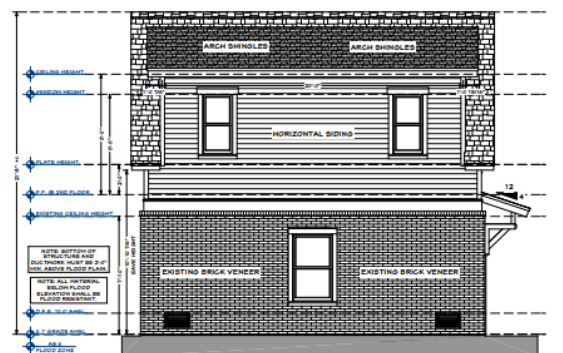


REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

SMART VENT MODEL 1540-935, HYDROSTATIC RELIEF, 300 SQ. FT. PER VENT REQUIREMENTS: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON OPPOSITE OR ADJACENT WALLS. ENSURE THAT THE BOTTOM OF OPENING IS NO MORE THAN 12" ABOVE THE OUTSIDE FINISH GRADE.



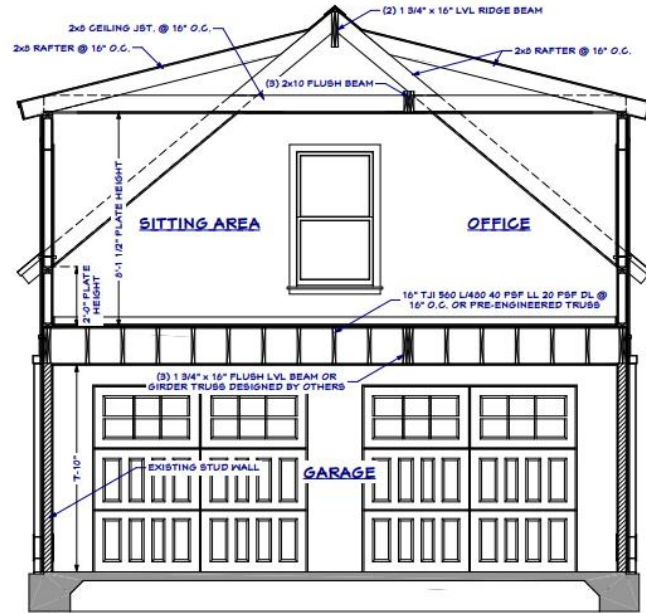
LEFT ELEVATION
SCALE: 1/4"=1'-0"

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE HOMEOWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE HOMEOWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS PRIOR TO CONSTRUCTION. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.

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- DRAWING NOTES:**
1. DRAWINGS ARE NOT INTENDED TO BE SCALED.
 2. EXISTING CONDITIONS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 3. THE DESIGNER IS TO BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWING SPECIFICATIONS. ALL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS DRAWING SET ARE SPECIFIC TO THIS PARTICULAR SITE LOCATION/BUILDING AND ARE THE PROPERTY OF COOK DESIGN STUDIO, INC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS INFORMATION IS SUBJECT TO LEGAL PROSECUTION.
 - 4.

<p>THIS PLAN IS THE PROPERTY OF COOK DESIGN STUDIO, INC. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR PART OF ANY OTHER PROJECT. ANY REUSE OR REPRODUCTION OF THIS PLAN IS AT THE USER'S RISK AND WITHOUT LIABILITY. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.</p>		
NO.	DATE	REVISIONS
1	12-15-2025	PREPARED FOR BANKS MATLON
2	12-15-2025	FOR REVIEW ONLY
3	12-15-2025	FOR REVIEW ONLY
4	12-15-2025	FOR REVIEW ONLY
5	12-15-2025	FOR REVIEW ONLY
6	12-15-2025	FOR REVIEW ONLY
7	12-15-2025	FOR REVIEW ONLY
8	12-15-2025	FOR REVIEW ONLY
9	12-15-2025	FOR REVIEW ONLY
10	12-15-2025	FOR REVIEW ONLY
<p>PREPARED FOR:</p> <p>Banks Matlon 14 Sheridan Road Charleston, SC 29407</p>		
<p>MEMBER</p> <p>A I B D</p> <p>AMERICAN INSTITUTE OF BUILDING DESIGN</p>		
<p>N C B D C</p> <p>NATIONAL COUNCIL OF BUILDING DESIGNERS</p>		
<p>SEAL DATE: 12-15-2025</p> <p>COOK DESIGN STUDIO, INC.</p>		
<p>C</p> <p>504 PUGHMAN STREET WALTERS, SC 29488 (843) 792-4077</p>		
<p>DRAWN BY: BSC</p> <p>CHECK BY: PWB</p> <p>JOB: 0056-175-2025</p> <p>DATE: 12-15-2025</p>		
<p>A201</p>		



01 BUILDING SECTION
N.T.S.

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE HOMEOWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE HOMEOWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS PRIOR TO CONSTRUCTION. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN, WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.

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THIS PLAN IS THE PROPERTY OF COOK DESIGN STUDIO, INC. THE HOMEOWNER OR BUILDER IS GRANTED THE RIGHT TO CONSTRUCT A HOME, OR HOME ADDITION, TO THE SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE HOMEOWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS PRIOR TO CONSTRUCTION. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN, WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.

NO.	DATE	REVISIONS
1	12-15-2025	ISSUED FOR PERMIT
2	12-15-2025	FOR REVIEW ONLY

PREPARED FOR:
Banks Marlon
14 Sheridan Road
Charleston, SC 29407

MEMBER
A I B D
AMERICAN INSTITUTE OF
BUILDING DESIGN

N-C-B-D-C
NATIONAL COUNCIL OF
BUILDING DESIGNERS
SEAL DATE 12-15-2025

COOK DESIGN STUDIO, INC.



804 PUGHMAN STREET
WALTERSBORO, SC 29485
(843) 752-4277

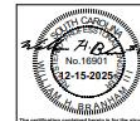
DRAWN BY: **BBC**

CHECK BY: **PHB**

JOB: **6856-175-2025**

DATE: **12-15-2025**

A301



WILLIAM H. BRANHAM III, P.E.
PO BOX 147
MT. PLEASANT, SC 29465
(843) 830-0418

This certification is valid only for the design shown on this set of drawings.



3D FRONT EXTERIOR RENDERING
N.T.S.



3D REAR EXTERIOR RENDERING
N.T.S.

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE HOMEOWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE HOMEOWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS PRIOR TO CONSTRUCTION. COOK DESIGN STUDIO, INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND IS SOLELY RESPONSIBLE THEREAFTER.

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THIS PLAN IS THE PROPERTY OF COOK DESIGN STUDIO, INC. THE UNDERSIGNED CONTRACTOR AGREES TO HOLD COOK DESIGN STUDIO, INC. HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY COOK DESIGN STUDIO, INC. OR ITS EMPLOYEES, AGENTS, OR SUBCONTRACTORS, IN CONNECTION WITH THE PREPARATION, CONSTRUCTION OF THIS PLAN OR THE CONSTRUCTION OF THE BUILDING THEREUNDER. CONTRACTOR AND SUBCONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY COOK DESIGN STUDIO, INC. OR ITS EMPLOYEES, AGENTS, OR SUBCONTRACTORS, IN CONNECTION WITH THE PREPARATION, CONSTRUCTION OF THIS PLAN OR THE CONSTRUCTION OF THE BUILDING THEREUNDER.

NO.	DATE	REVISIONS
1	12-15-2025	FOR PERMITTING
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9	12-15-2025	FOR PERMITTING
10	12-15-2025	FOR PERMITTING

PREPARED FOR:

Banks Marlon
19 Sheridan Road
Charleston, SC 29407

MEMBER

A I B D


AMERICAN INSTITUTE OF BUILDING DESIGN

N-C-B-D-C

NATIONAL COUNCIL OF BUILDING DESIGNERS

SEAL DATE: 12-15-2025

COOK DESIGN STUDIO, INC.



804 WICHMAN STREET
WALTERSBORO, SC 29488
(843) 323-4071

DRAWN BY: BSC

CHECK BY: JHB

JOB: 6056-175-2025

DATE: 12-15-2025

A401

By signing this document, I acknowledge I have reviewed and support the upcoming project at 19 Sheridan Road Charleston, SC 29047.

The owner of 19 Sheridan Road, Robert Banks Marion, is requesting a requesting a **variance** from Sec. 54-506.f.4 to allow an accessory building eave height to exceed eleven (11) feet.

Location: 421-05-00-057

Request: Zoned: SR-1

Name: Brett Skinner

Signature:

Brett Skinner

Date:

12/23/2025

Address:

22 Sheridan Road, Charleston SC

By signing this document, I acknowledge I have reviewed and support the upcoming project at 19 Sheridan Road Charleston, SC 29047.

The owner of 19 Sheridan Road, Robert Banks Marion, is requesting a requesting a **variance** from Sec. 54-506.f.4 to allow an accessory building eave height to exceed eleven (11) feet.

Location: 421-05-00-057

Request: Zoned: SR-1

Name: Catherine Layfield

Signature: *Catherine Layfield*

Date: December 21, 2025

Address: 10 Lord Ashley Drive, Charleston, SC 29407

By signing this document, I acknowledge I have reviewed and support the upcoming project at 19 Sheridan Road Charleston, SC 29047.

The owner of 19 Sheridan Road, Robert Banks Marion, is requesting a requesting a **variance** from Sec. 54-506.f.4 to allow an accessory building eave height to exceed eleven (11) feet.

Location: 421-05-00-057

Request: Zoned: SR-1

Name: Patrice V. Greene

Signature:

A handwritten signature in blue ink, appearing to read 'Patrice V. Greene', written over a horizontal line.

Date: 12/23/2025

Address: 21 Sheridan Rd. Charleston, SC 29407

By signing this document, I acknowledge I have reviewed and support the upcoming project at 19 Sheridan Road Charleston, SC 29047.

The owner of 19 Sheridan Road, Robert Banks Marion, is requesting a requesting a **variance** from Sec. 54-506.f.4 to allow an accessory building eave height to exceed eleven (11) feet.

Location: 421-05-00-057

Request: Zoned: SR-1

Name:

BRUNE KOCH

Signature:

BRUNE

Date:

1/7/26

Address: 20 Sheridan Road, Charleston, SC 29407

By signing this document, I acknowledge I have reviewed and support the upcoming project at 19 Sheridan Road Charleston, SC 29047.

The owner of 19 Sheridan Road, Robert Banks Marion, is requesting a requesting a **variance** from Sec. 54-506.f.4 to allow an accessory building eave height to exceed eleven (11) feet.

Location: 421-05-00-057

Request: Zoned: SR-1

Name: Karen Melissa

Signature: 

Date: 1/7/24

Address: 17 Sheridan Rd
Charleston SC
29047

By signing this document, I acknowledge I have reviewed and support the upcoming project at 19 Sheridan Road Charleston, SC 29047.

The owner of 19 Sheridan Road, Robert Banks Marion, is requesting a requesting a **variance** from Sec. 54-506.f.4 to allow an accessory building eave height to exceed eleven (11) feet.

Location: 421-05-00-057

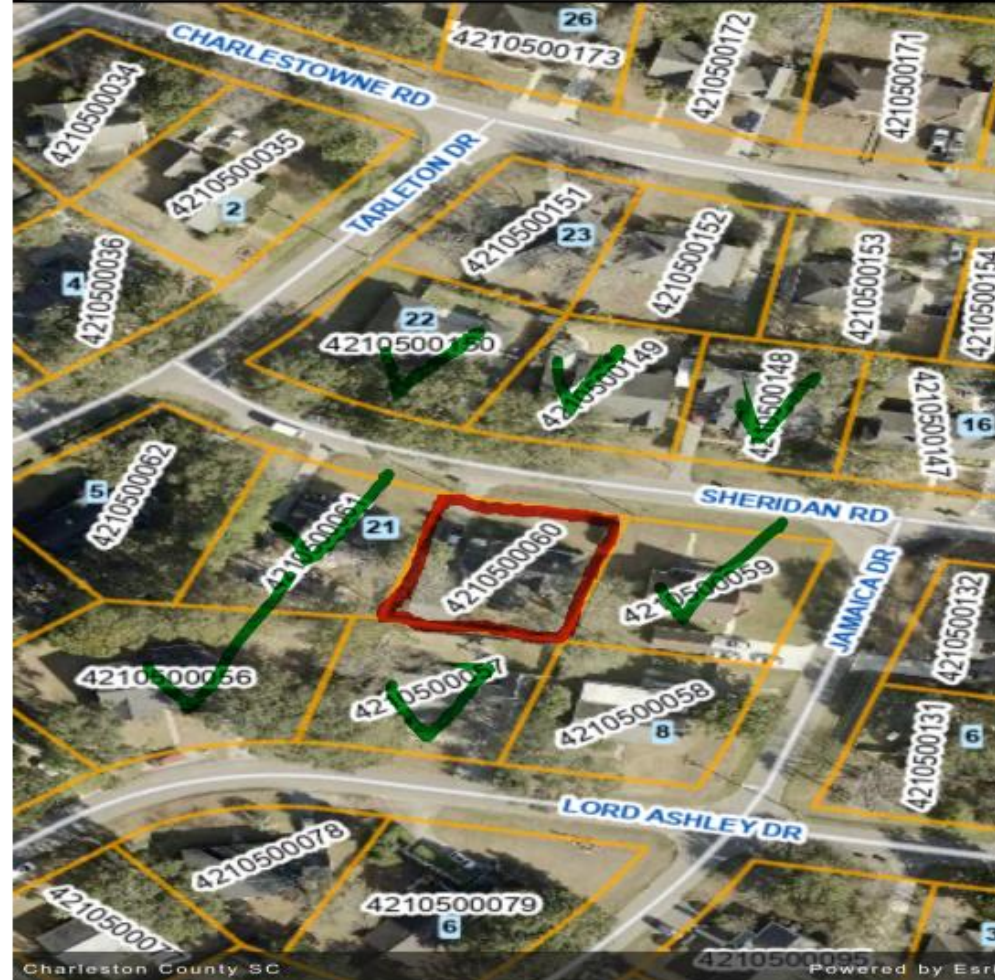
Request: Zoned: SR-1

Name: Frances Dougherty

Signature: 

Date: 1/7/26

Address: 18 Sheridan Rd
Chas. S.C. 29405



Charleston County SC

Powered by Esri



Agenda Item #B-12

207 Romney St
(North Central)

TMS # 464-15-02-054

Request a variance from Sec. 54-301 and Sec. 54-317 to build a detached single-family home with a 0' west side setback and 1 off-street parking space (7' and 2 spaces required).

Zoned: DR-2F





Workspaces v



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☒ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☒ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: December 16, 2025

Property Address 207 Romney Street TMS # 463-15-02-053

Property Owner Courtney Black and Robert Blews Daytime Phone +64 22 6597218

Applicant Courtney Black Daytime Phone +64 22 6597218

Applicant's Mailing Address 473 Pamell Road Auckland New Zealand 1052

E-mail Address courtneyblack@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Same

Zoning of property DR-2F

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☒ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or** ☒ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Courtney Black Date 11/19/2025

For office use only
 Date application received _____ Time application received _____
 Staffperson _____ Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Request special exemption under Sec. 54-501 to allow construction of a single-family residence

with a 0-ft. west side setback (steps/landing) a 3-ft. total side setback (7-ft. and 10-ft. required).

Request variance from Sec. 54-317 to allow construction of a single-family residence with one

off-street parking space (two spaces required). Zoned DR-2F.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Request special exemption under Sec. 54-501 to allow construction of a single-family residence

on a lot of insufficient sizee (Lot area 1,849sf; 2,500sf required).

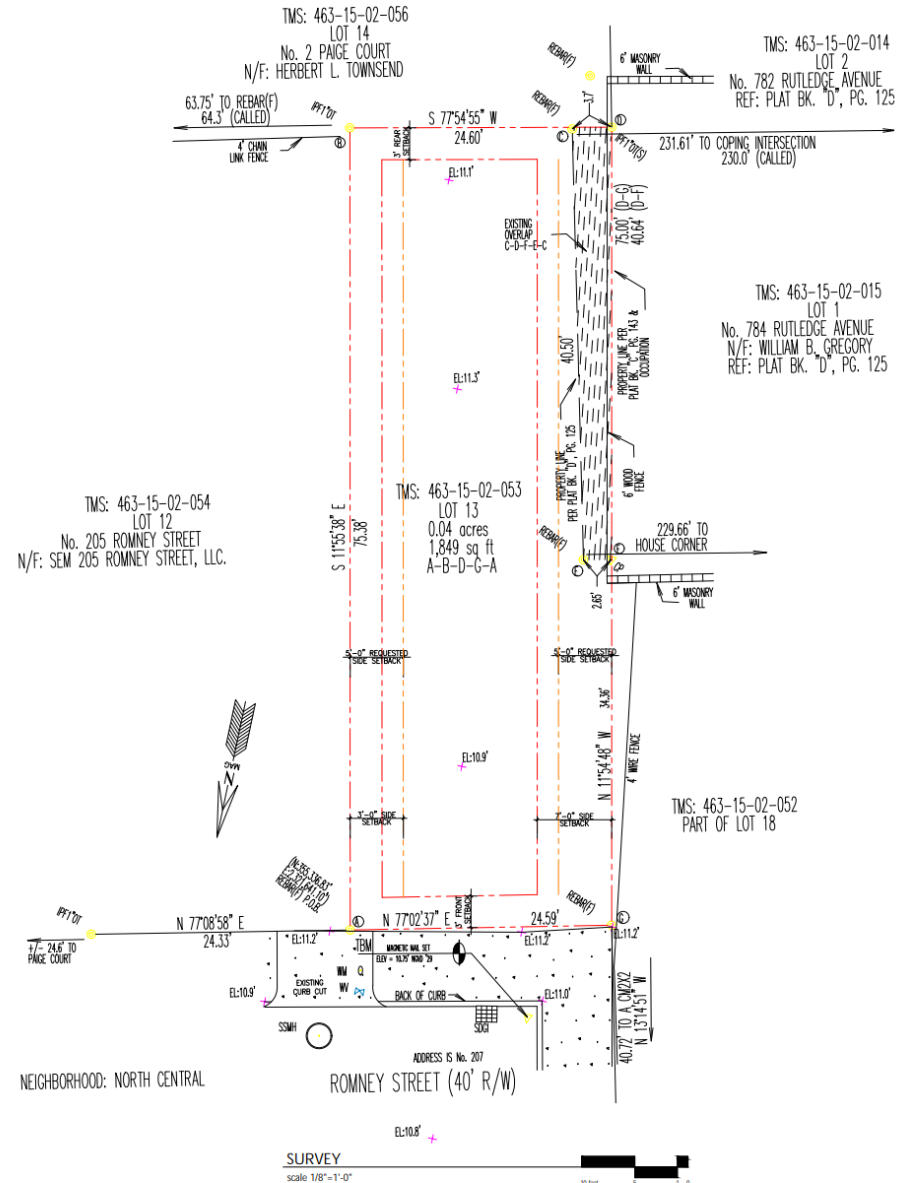
All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

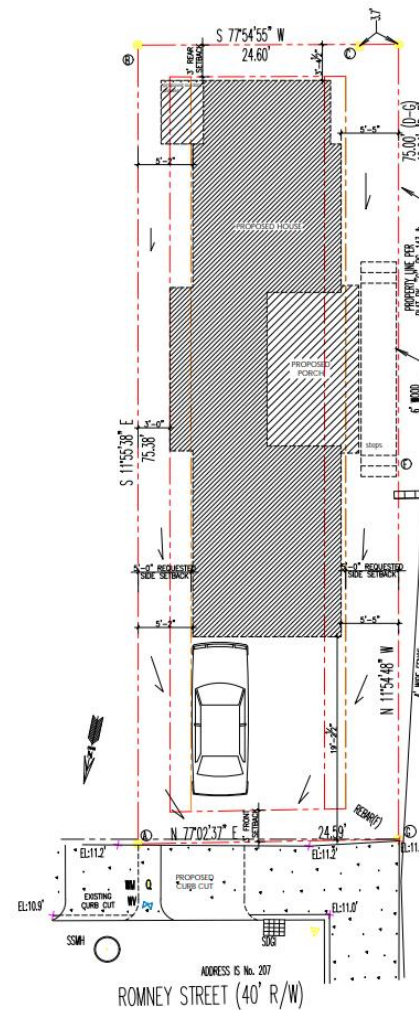


INDEX

S1	SURVEY
S2	PROPOSED SITE PLAN
S3	NEIGHBORHOOD CONTEXT
S4	STREET CONTEXT
A1.1	GROUND FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.1	ELEVATION A AND B
A2.2	ELEVATION C AND D

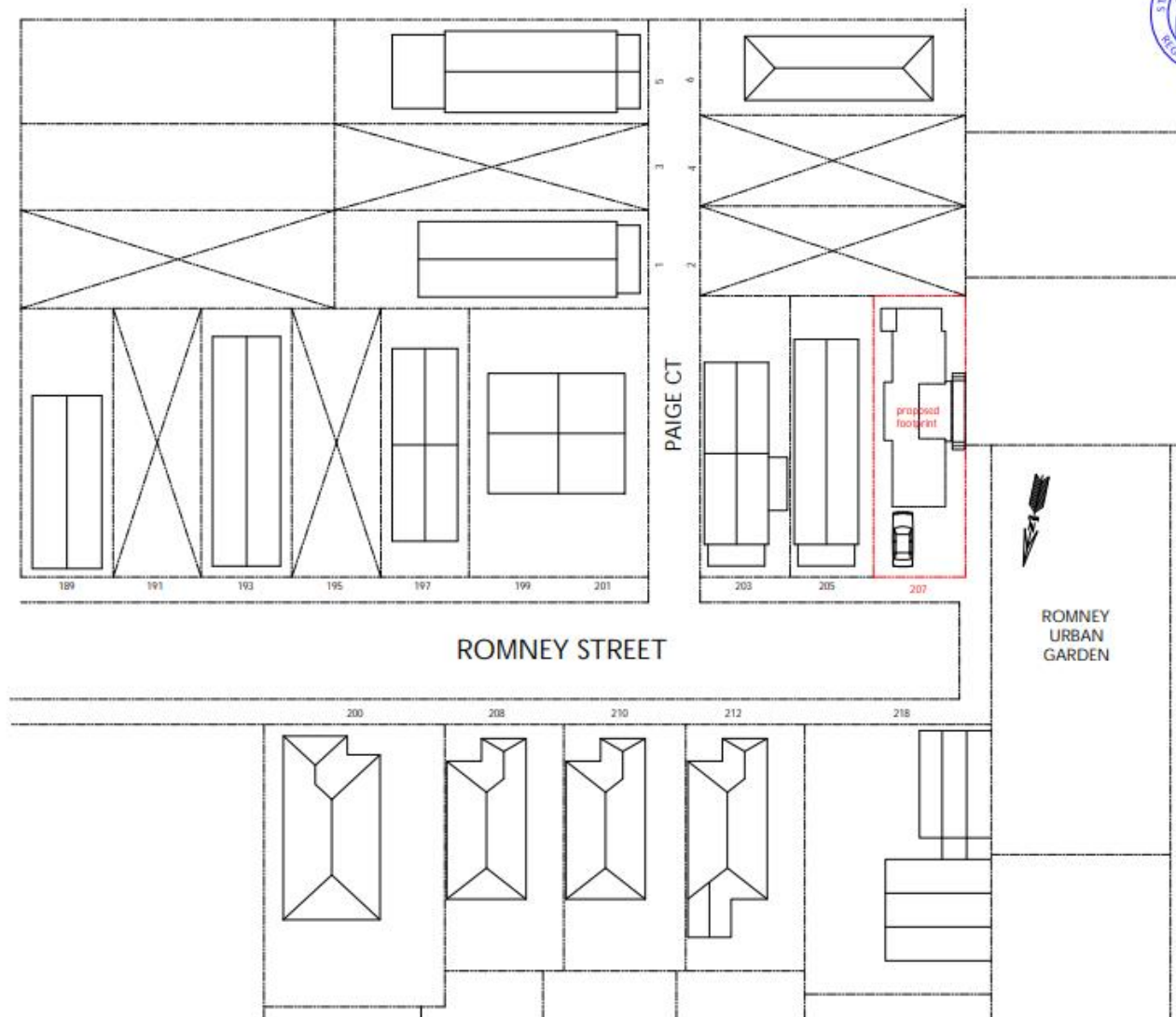
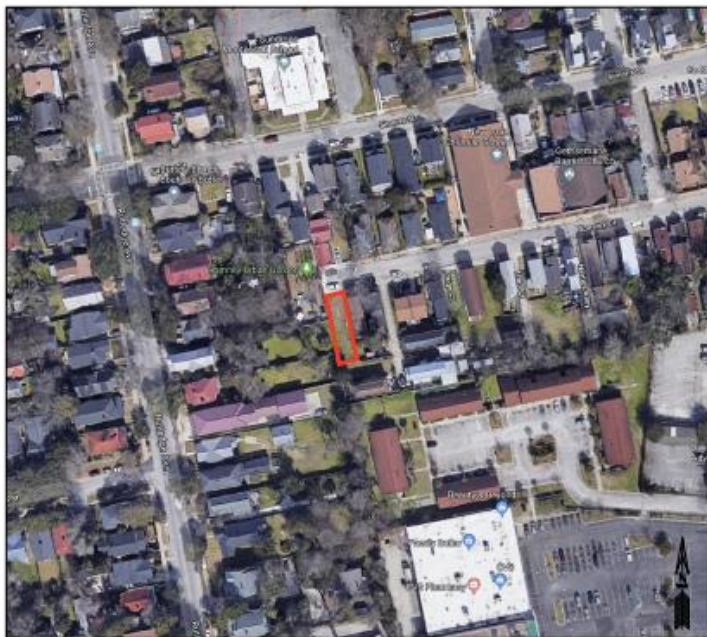
BLEWS RESIDENCE





PROPOSED SITE PLAN
scale 1/8"=1'-0"

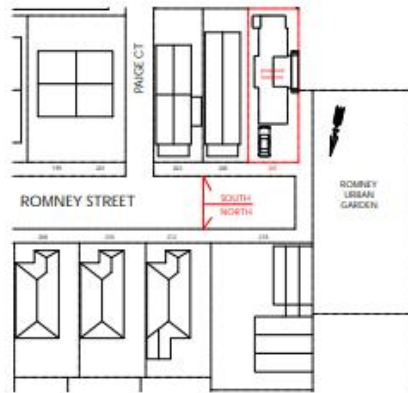
207 ROMNEY STREET
FLOOD ZONE: AE-13
FRONT SETBACK: 3'-0"
REAR SETBACK: 3'-0"
SIDE SETBACK (EAST): 3'-0"
SIDE SETBACK (WEST): 7'-0"
SIDE SETBACK REQUESTED (EAST): 3'-0"
SIDE SETBACK REQUESTED (WEST): 3'-0"
LOT SIZE: 1,850 SF
TOTAL HEATED SF: 1,308 SF
HEATED FIRST FLOOR SF: 664 SF
HEATED SECOND FLOOR SF: 644 SF
FIRST FLOOR PORCH SF: 135 SF
SECOND FLOOR PORCH SF: 125 SF
LOT OCCUPANCY: 779 SF (42%)
BLDG. HT: 28'-0"
CONTRACTOR
BRETT ELWOOD
C.B. ELWOOD CO.
2615 TILMAN AVENUE
N. CHARLESTON, SC 29405
843.343.9505
BRETT.ELWOOD@HOTMAIL.COM
DUE TO INSUFFICIENT LOT SIZE -
SIDE SETBACK VARIANCE REQUESTED
BZA-Z MEETING ON: 12.18.18
EXISTING:
3'-0" EAST SIDE SETBACK
7'-0" WEST SIDE SETBACK
REQUESTED:
3'-0" EAST SIDE SETBACK
3'-0" WEST SIDE SETBACK
TOTAL SIDE SETBACK DISTANCE TO REMAIN THE SAME



NEIGHBORHOOD CONTEXT

scale 1/32"=1'-0"





SOUTH Screenshot

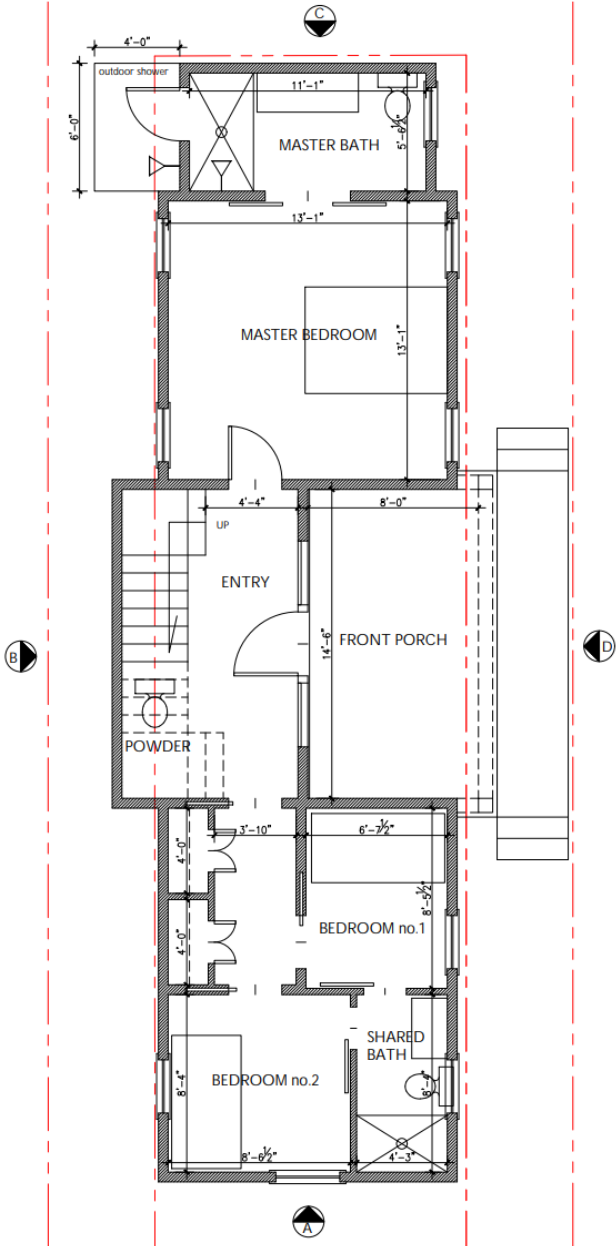
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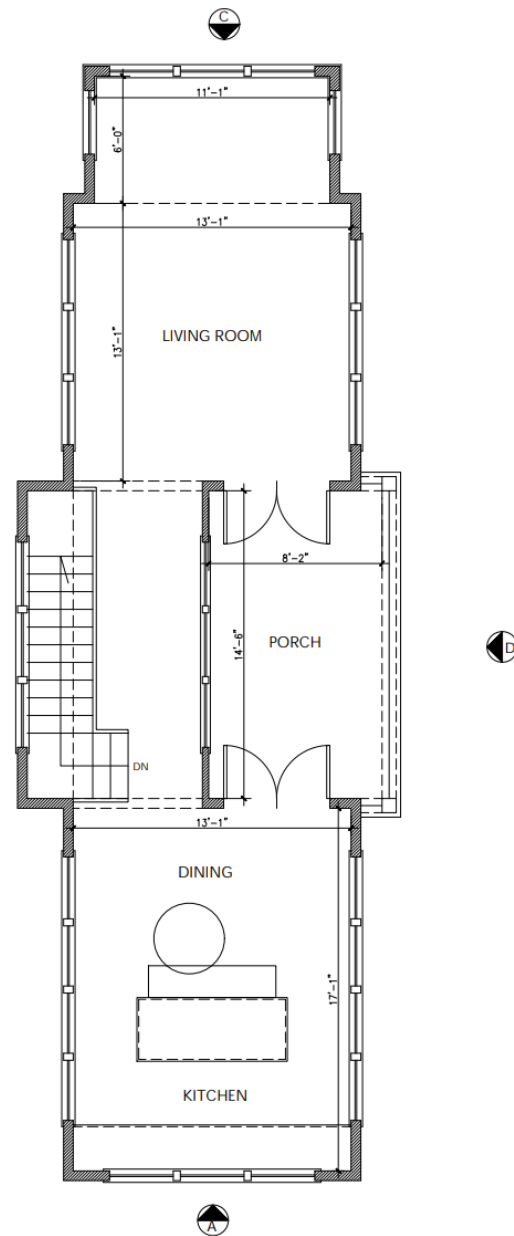
NORTH (FACING) Screenshot

scale 1/16"=1'-0"





PROPOSED GROUND FLOOR PLAN
 scale 1/4"=1'-0"
 HEATED: 654 SF
 PORCH: 125 SF



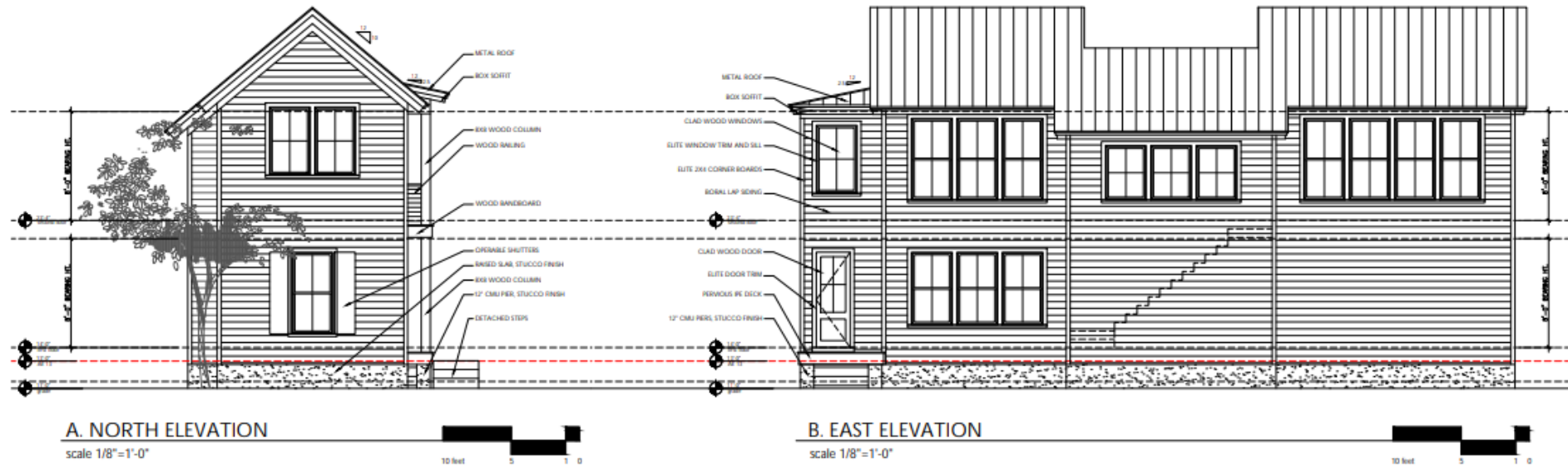
PROPOSED SECOND FLOOR PLAN

scale 1/4"=1'-0"

HEATED: 654 SF
PORCH: 125 SF







BZA-Z: 11.19.18

BLEWS RESIDENCE . 207 ROMNEY STREET . CHARLESTON, SC 29403

heather a wilson, architect . 734 pitt street mount pleasant, south carolina 29464 . 843.814.2031

A2.1

ELEVATION A AND ELEVATION B



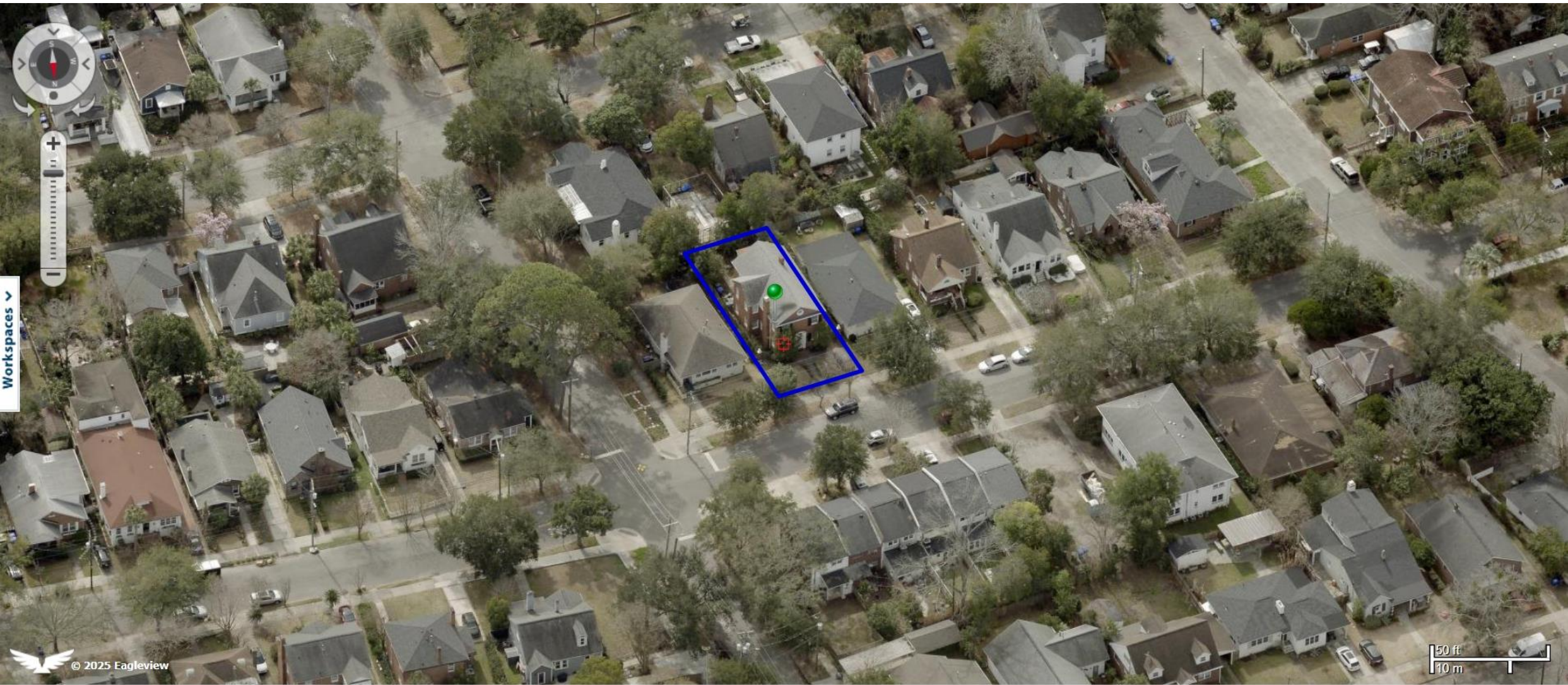
Agenda Item #B-13

221 Grove St.
(Wagner Terrace)
TMS # 460-11-02-015

Request a variance from Sec. 54-301 to build a 2-story rear addition with a 23' rear setback (25' required).

Zoned: SR-2





Workspaces v

© 2025 Eagleview

50 ft
10 m



City of Charleston

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THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
- ☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
- ☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: January 20, 2026

Property Address 221 Grove Street TMS # 463-14-02-006

Property Owner Owen Meislin Daytime Phone 843.568.2668

Applicant Michael Fisher Daytime Phone 843.367.3354

Applicant's Mailing Address 35 Rice Drive Charleston, SC
29407

E-mail Address michaelfisher@hotmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Representative

Zoning of property SR-2

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
- ☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
- ☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
- ☐ Plans or documents necessary to show compliance with special exception requirements
- ☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
- ☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 12.17.25

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Fee \$ _____
	Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

The addition of a wood window on West Elevation. Infill existing screen porch to the existing footprint. Doing so will

allow the creation of an additional bathroom on the second floor that will better match the needs for aging in place.

Infilling the porch on the first floor will allow for better enjoyment of viewing the backyard and landscaping throughout

the year.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

GROVE STREET RESIDENCE

221 GROVE STREET
CHARLESTON, SC 29403

ARCHITECTURAL DRAWINGS

- T-101 TITLE PAGE
- C-101 HISTORIC CONTEXT
C-102 SITE PHOTOGRAPHS
C-103 SITE PLAN
- R-101 FIRST FLOOR PLANS
- R-201 SOUTH ELEVATION
R-202 EAST & WEST ELEVATIONS
- A-101 PROPOSED FLOOR PLANS
- A-201 PROPOSED SOUTH ELEVATION
A-202 PROPOSED EAST ELEVATION
A-203 PROPOSED WEST ELEVATION



MARSHALL DESIGN BUILD, LLC
35 RICE DRIVE
CHARLESTON, SC 29407
tel: 843.367.3354
michael@marshallsc.com

NOTES:
1. CONTRACTOR TO VERIFY DIMENSIONS IN FIELD.
2. CONTRACTOR TO MEET ALL CODES & LAWS.
3. BASIS OF DESIGN PER - 2015.
4. ALL NEW WALL DIMENSIONS ARE FACE OF
STUD. UNLESS NOTED OTHERWISE.
5. DO NOT SCALE DIMENSIONS FROM PLANS.

DRAWING HISTORY:
19 DEC 25 - ZONING SUBMITTAL
14 NOV 25 - HISTORIC DEMO SUBMITTAL
07 NOV 25 - BAR REVIEW
15 OCT 25 - RTMA SUBMITTAL
15 OCT 25 - CLIENT REVIEW
28 AUG 25 - BAR SUBMITTAL REVIEW
02 JUL 25 - DESIGN DEVELOPMENT
12 JUN 25 - DESIGN DEVELOPMENT II

PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

DATE:	SCALE:
19 DEC 25	1/4" = 1'-0" (1/2" OF NOTED SCALE)

DRAWING TITLE:
TITLE
PAGE

DRAWING NO:
T-101

221 GROVE STREET:

TMS NUMBER: 463-14-02-006

ZONING: SR-2

FRONT SETBACK = 25'

REAR SETBACK = 25'

SOUTH/WEST SETBACK = 9'

NORTH/EAST SETBACK = 9'

ALLOWABLE LOT OCCUPANCY = 50%

EXISTING TOTAL SQUARE FOOTAGE COVERAGE = 1325.2 SQ FT

EXISTING TOTAL LOT SQUARE FOOTAGE = 4357.5 SQ FT

CURRENT LOT OCCUPANCY = 30.4% ED

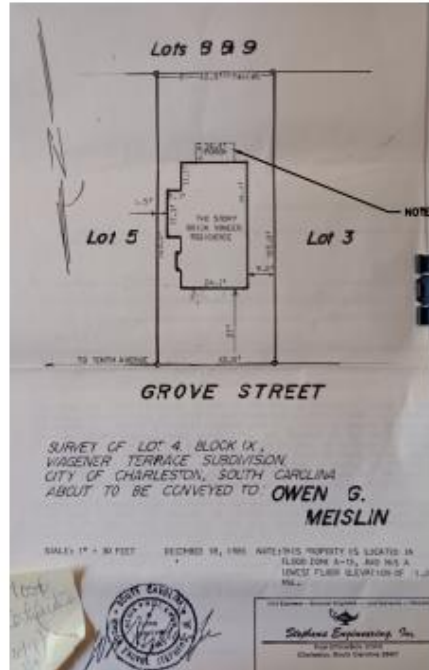
FLOOD ZONE: AE 9

BUILT: 1940s

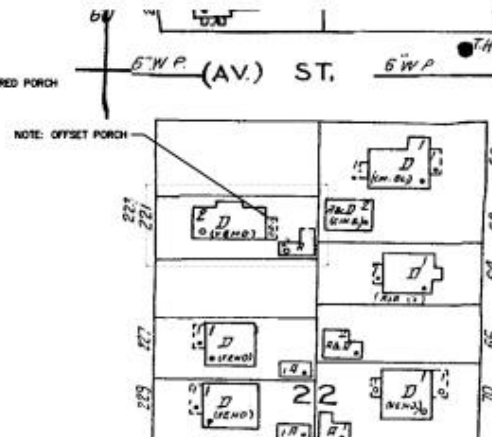
221 GROVE STREET: IS A GABLE END GEORGIAN STYLE HOUSE BUILT CIRCA 1940s. CURRENTLY, THE REAR OF THE HOUSE HAS A TWO STORY SCREENED PORCH THAT IS IN EXTREME DISREPAIR. WE ARE REQUESTING APPROVAL TO DEMOLISH THE EXISTING PORCH AND REMOVE FOUR EXISTING OPENINGS IN ORDER TO REBUILD IN THE EXISTING PORCH FOOTPRINT. THE REBUILT PORTION WILL COMBINE THE STYLE AND DETAILS OF THE EXISTING PORCH WITH INFILL TO ESSENTIALLY REBUILD WHAT IS CURRENTLY THERE AS ENCLOSED, CONDITIONED SPACE.



ZONING MAP
SCALE: NTS



EXISTING SURVEY
SCALE: NTS



APRIL 1944 SANBORN
SCALE: NTS



AERIAL VIEW
SCALE: NTS



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michael.fisher@marshall.com

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3. BASIS OF DESIGN IS - 2011.
4. ALL NEW WALL DIMENSIONS ARE FACE OF
WALL, UNLESS NOTED OTHERWISE.
5. DO NOT SCALE DIMENSIONS FROM PLAN.

DATE HISTORY:
19 DEC 25 - ZONING SUBMITTAL
14 NOV 25 - HISTORIC DEMO SUBMITTAL
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10 OCT 25 - CLIENT REVIEW
28 AUG 25 - BAR SUBMITTAL REVIEW
02 JUL 25 - DESIGN DEVELOPMENT
12 JUN 25 - DESIGN DEVELOPMENT II

PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

DATE:
19 DEC 25

SCALE:
1/4" = 1'-0"
1/2" = 1'-0"

DRAWING TITLE:
SITE
INFORMATION

DRAWING NO:
C-101



SITE PHOTO
SCALE: NTS



SITE PHOTO
SCALE: NTS



SITE PHOTO
SCALE: NTS



SITE PHOTO
SCALE: NTS



MARSHALL DESIGN BUILD, LLC
30 RICE DRIVE
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tel: 843.367.3354
michael@marshalldesignbuild.com

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DESIGN HISTORY:
19 DEC 25 - ZONING SUBMITTAL
14 NOV 25 - HISTORIC DEMO SUBMITTAL
07 NOV 25 - BAR REVIEW
15 OCT 25 - WTRM SUBMITTAL
15 OCT 25 - CLIENT REVIEW
28 AUG 25 - BAR SUBMITTAL REVIEW
02 JUL 25 - DESIGN DEVELOPMENT
12 JUN 25 - DESIGN DEVELOPMENT II

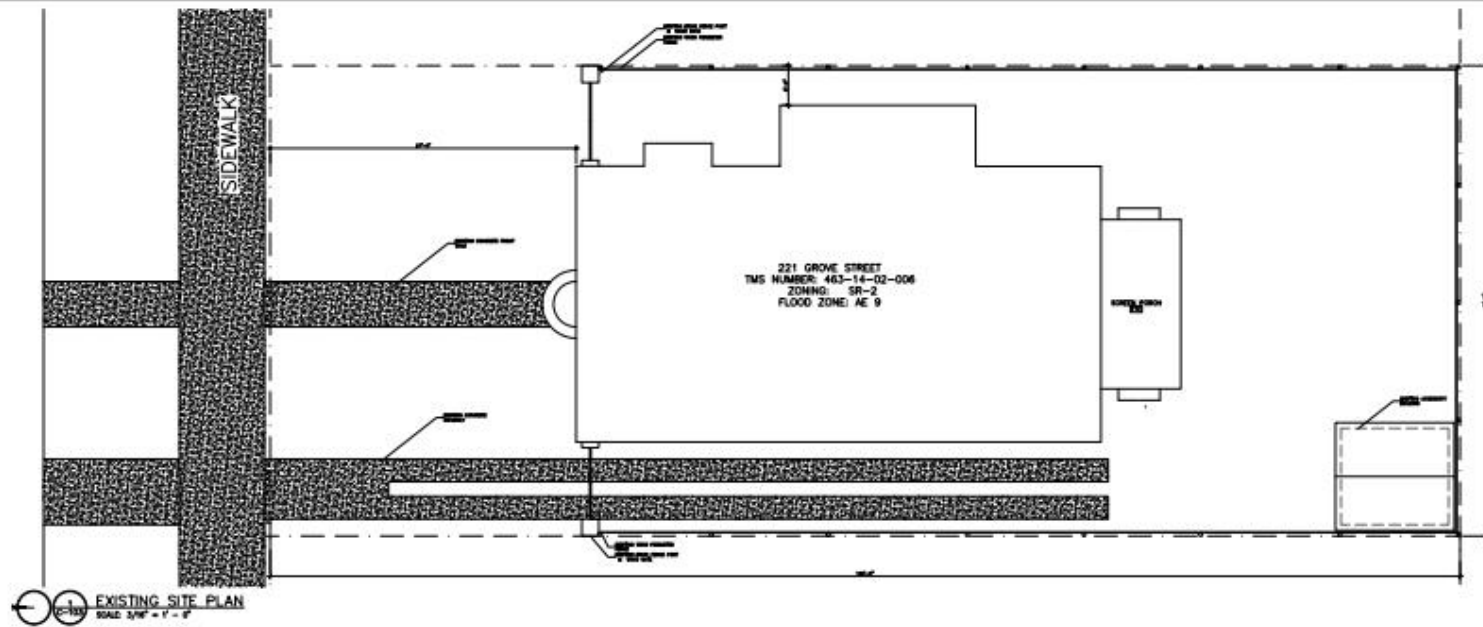
PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

DATE: 19 DEC 25
SCALE: 1/2" = 1'-0" (1/2 OF NOTES SCALE)

DRAWING TITLE:
SITE
PHOTOGRAPHS

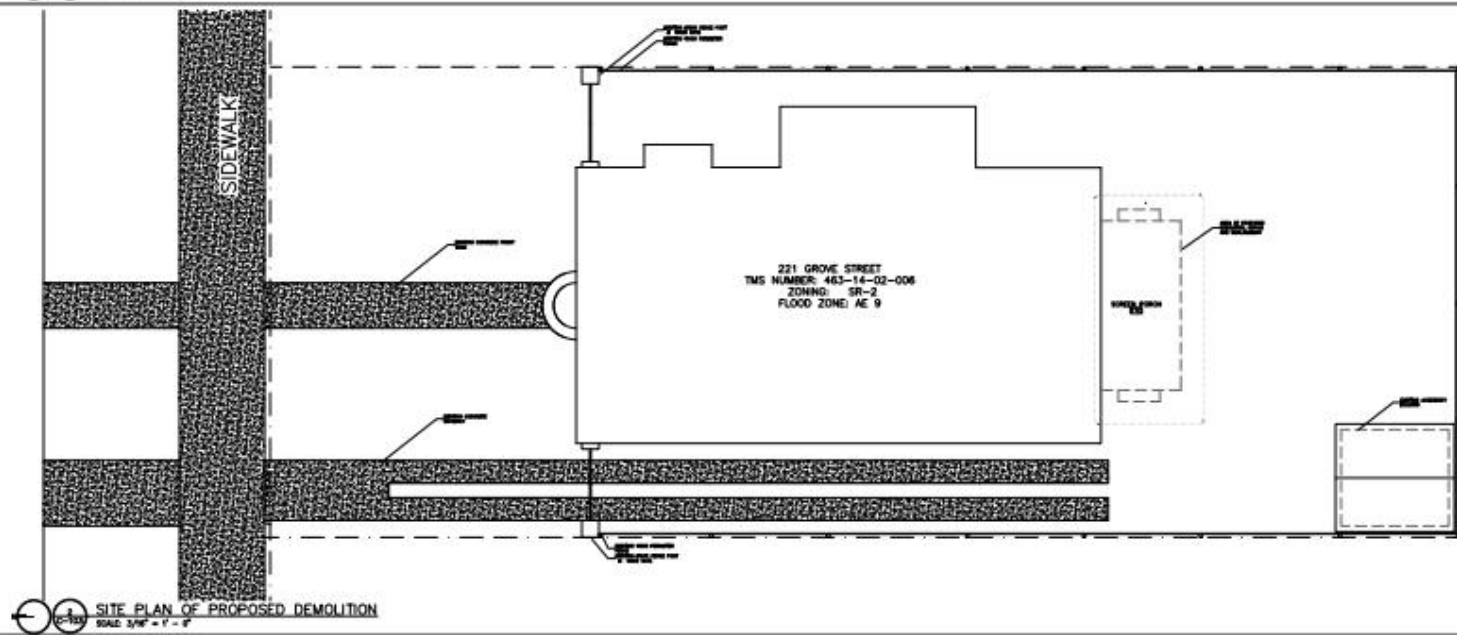
DRAWING NO:
C-102

GROVE STREET



EXISTING SITE PLAN
SCALE: 3/16" = 1' - 0"

GROVE STREET



SITE PLAN OF PROPOSED DEMOLITION
SCALE: 3/16" = 1' - 0"



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michael@marshall-design-build.com

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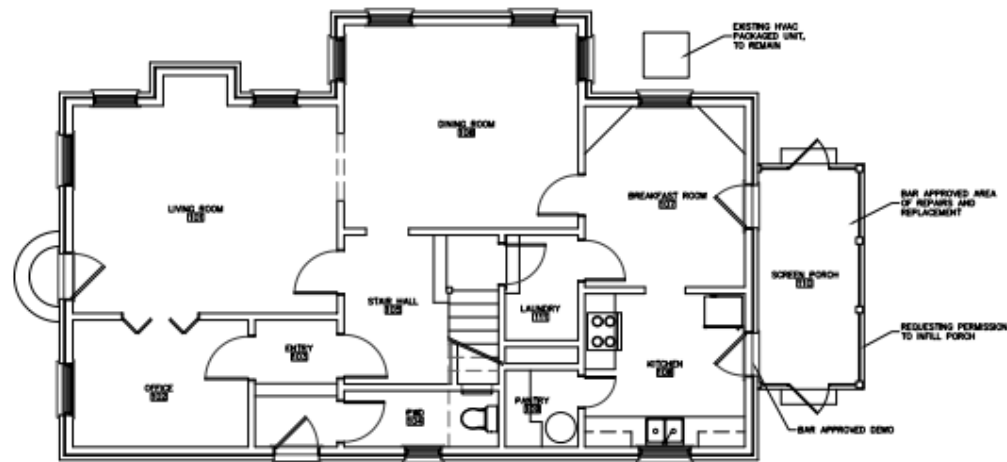
DESIGN HISTORY:
19 DEC 25 - ZONING SUBMITTAL
14 NOV 25 - HISTORIC DEMO SUBMITTAL
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02 JUL 25 - DESIGN DEVELOPMENT
12 JAN 25 - DESIGN DEVELOPMENT II

PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

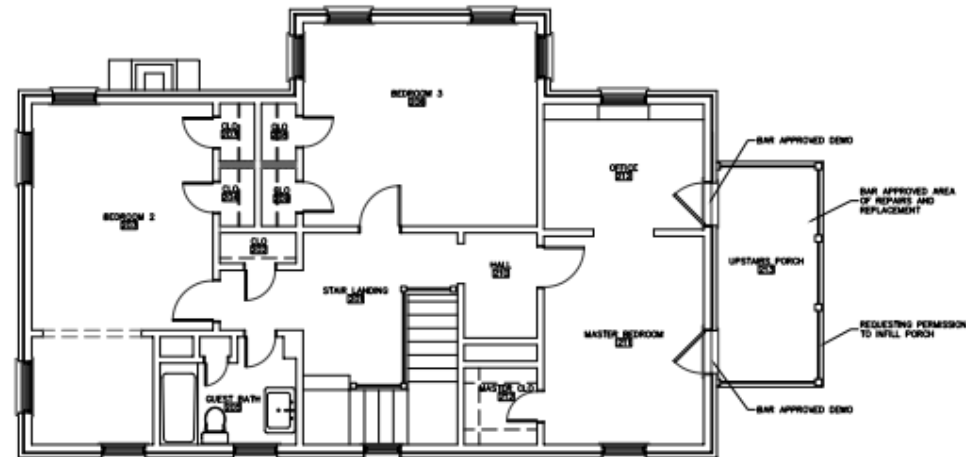
DATE: 19 DEC 25
SCALE: THAT DIMENSIONS ARE 1/2 OF NOTED SCALE

DRAWING TITLE:
SITE PLAN

DRAWING NO:
C-103



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



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michael@marshall-design-build.com

NOTES:
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2. CONTRACTOR TO MEET ALL CODES & LAWS.
3. BASIS OF DESIGN ARE - 2001.
4. ALL NEW WALL DIMENSIONS ARE FACE OF STUD. UNLESS NOTED OTHERWISE.
5. DO NOT SCALE DIMENSIONS FROM PLANS.

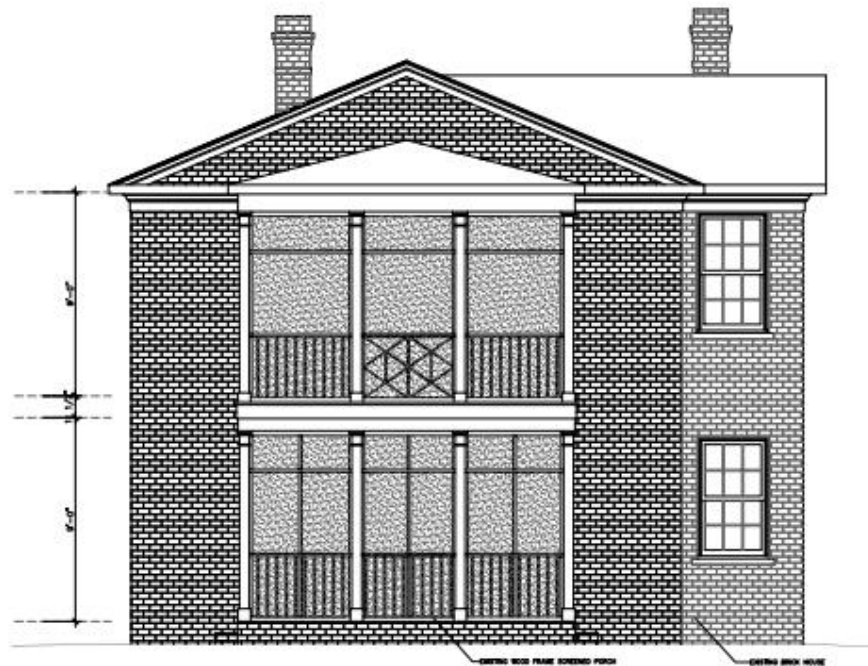
DESIGN HISTORY:
19 DEC 25 - ZONING SUBMITTAL
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PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

DATE: 19 DEC 25
SCALE: 1/4" = 1' - 0"
THAT DIMENSIONS ARE 1/2 OF NATED SCALE

DRAWING TITLE:
EXISTING
FLOOR PLANS

DRAWING NO.:
R-101



1. EXISTING SOUTH ELEVATION
SCALE: 1/2" = 1' - 0"



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michael@marshallstudio.com

NOTES:
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2. CONTRACTOR TO MEET ALL CODES & LABEL.
3. BASIS OF DESIGN ARE - 2011.
4. ALL NEW WALL DIMENSIONS ARE FREE OF
STUD, UNLESS NOTED OTHERWISE.
5. DO NOT SCALE DIMENSIONS FROM PLANS.

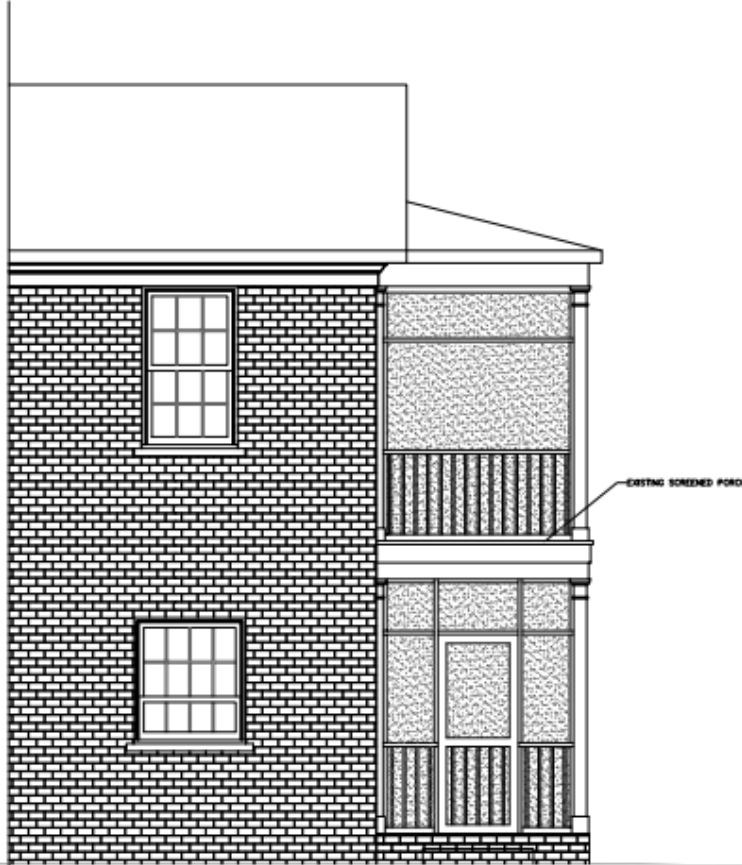
ISSUE HISTORY:
19 DEC 25 - ZONING SUBMITTAL
14 NOV 25 - HISTORIC DEMO SUBMITTAL
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15 OCT 25 - WTRAL SUBMITTAL
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PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

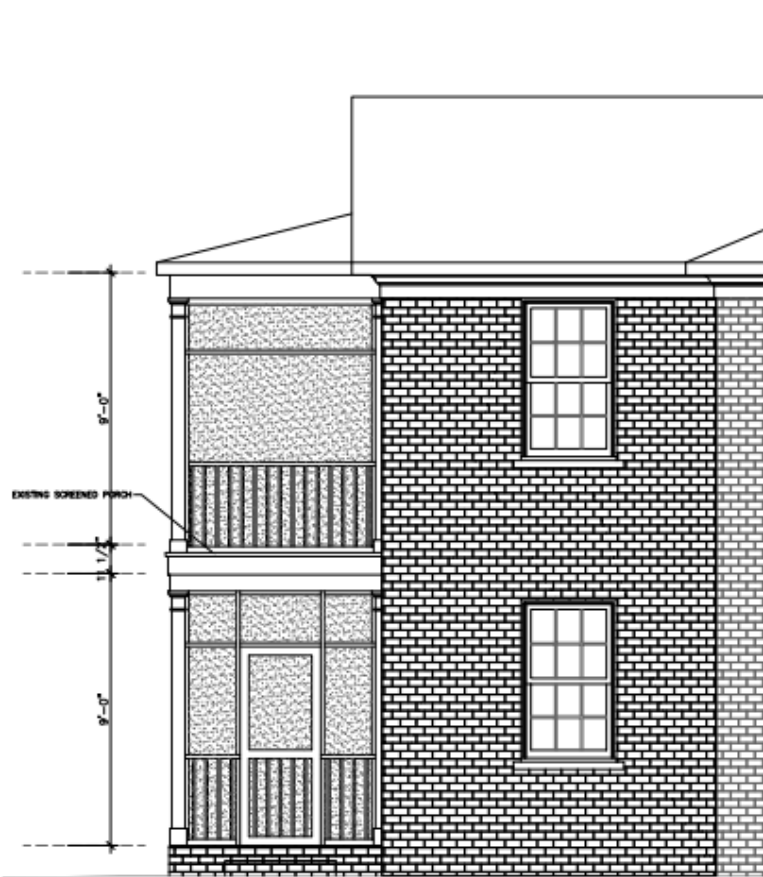
DATE: 19 DEC 25
SCALE: 1/2" DRAWINGS ARE 1/2" OF NOTES SCALE

DRAWING TITLE:
SOUTH
ELEVATION

DRAWING NO:
R-201



EXISTING WEST ELEVATION
SCALE: 1/8" = 1' - 0"



EXISTING EAST ELEVATION
SCALE: 1/8" = 1' - 0"



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NOTES:
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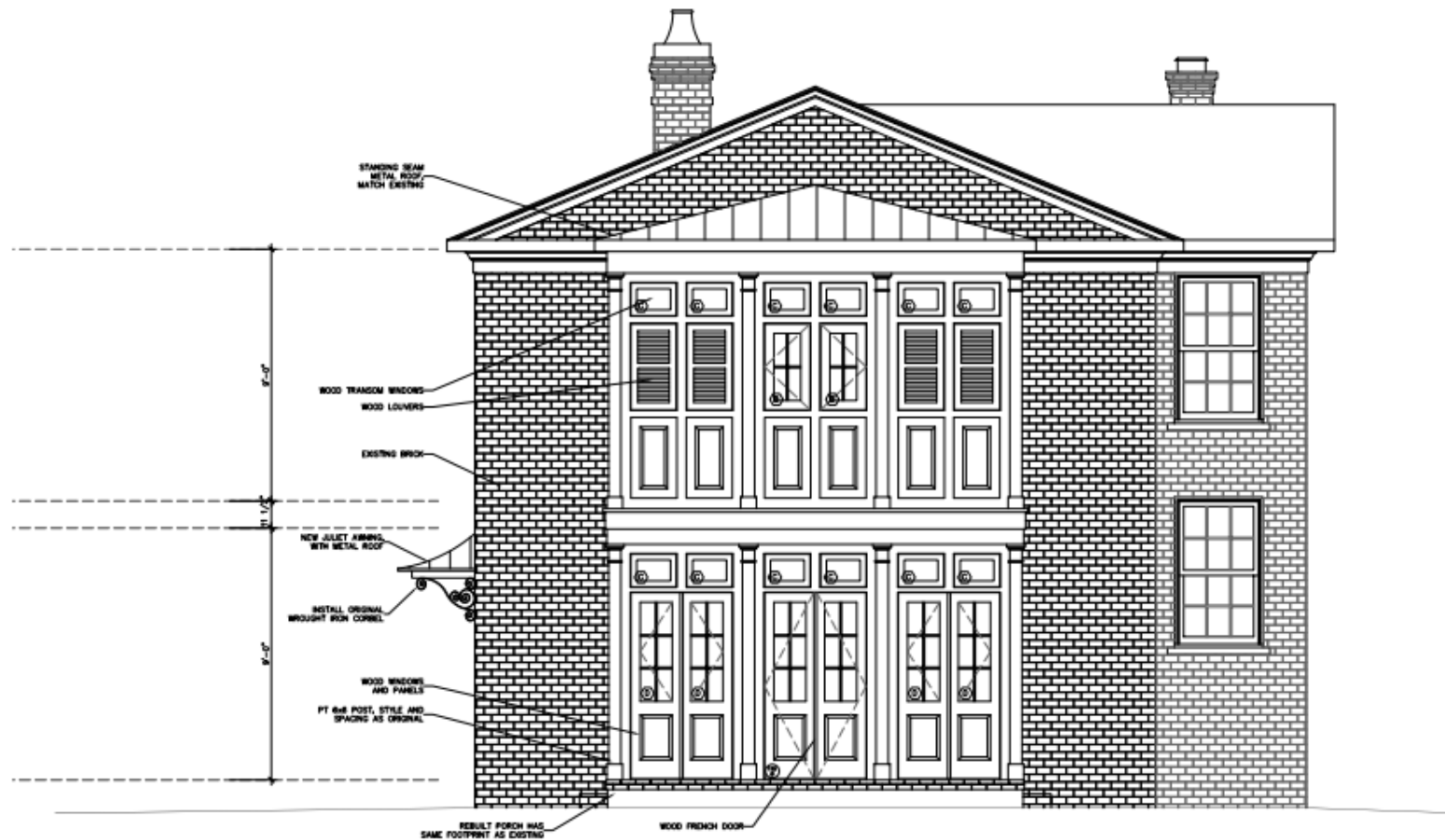
ISSUE HISTORY:
19 DEC 25 - ZONING SUBMITTAL
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PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

DATE: 19 DEC 25
SCALE: 1/8" = 1' - 0"

DRAWING TITLE:
EAST & WEST
ELEVATIONS

DRAWING NO:
R-202



PROPOSED SOUTH ELEVATION
SCALE: 1/2" = 1' - 0"



MARSHALL DESIGN STUDIO, LLC
35 RICE DRIVE
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tel: 843.367.3354
michael@marshallstudio.com

NOTES:
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2. CONTRACTOR TO MEET ALL CODES & LAWS.
3. BASIS OF DESIGN (BOD) - 2021.
4. ALL NEW WALL DIMENSIONS ARE FACE OF STUD, UNLESS NOTED OTHERWISE.
5. DO NOT SCALE DIMENSIONS FROM PLANS.

ISSUE HISTORY:

19 DEC 25 - ZONING SUBMITTAL
14 NOV 25 - HISTORIC DEMO SUBMITTAL
07 NOV 25 - BAR REVIEW
15 OCT 25 - WDMA SUBMITTAL
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28 AUG 25 - BAR SUBMITTAL REVIEW
02 JUL 25 - DESIGN DEVELOPMENT
12 JUN 25 - DESIGN DEVELOPMENT II

PROJECT:

GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

DATE:

19 DEC 25

SCALE:

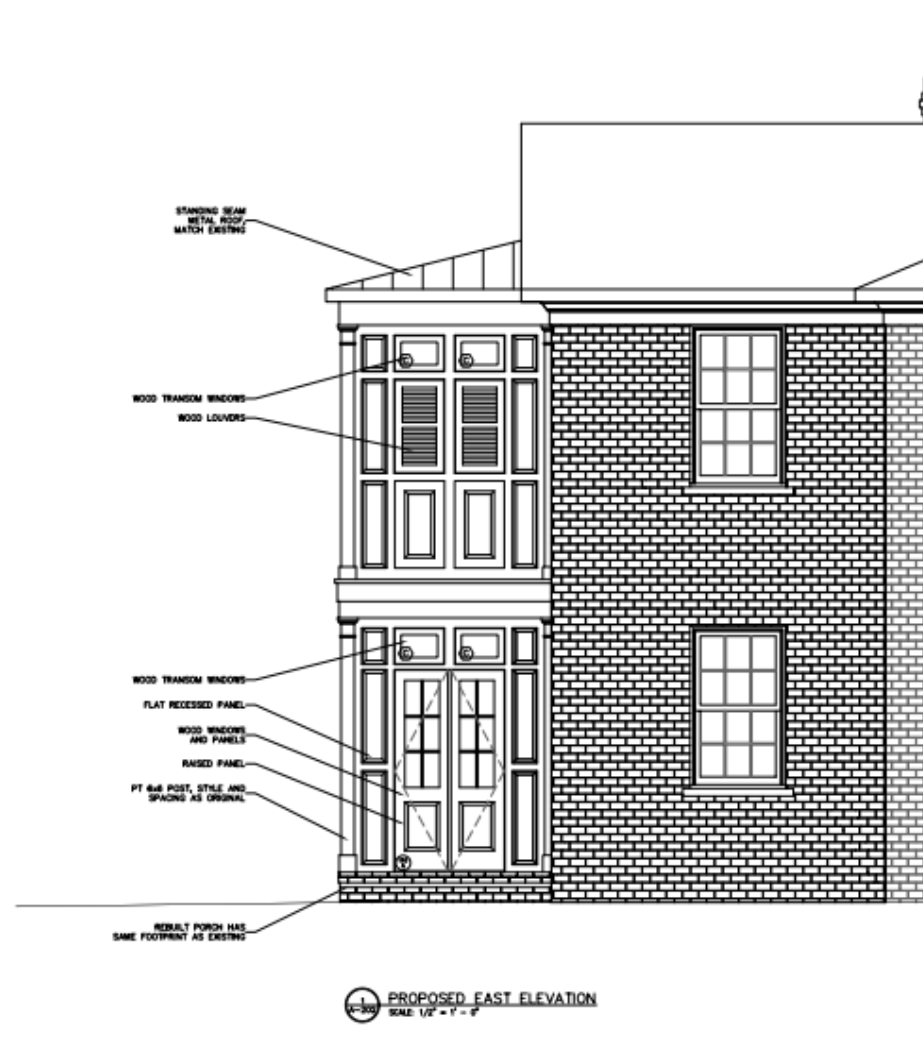
THAT DRAWING ARE
1/2 OF NOTED SCALE

DRAWING TITLE:

PROPOSED
SOUTH ELEVATION

DRAWING NO:

A-201



MARSHALL DESIGN GROUP, LLC
 35 RICE DRIVE
 CHARLESTON, SC 29407
 tel: 843.367.3354
 michaelmarshall@outlook.com

NOTES:
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 3. BASIS OF DESIGN ARE - 2011.
 4. ALL NEW WALL DIMENSIONS ARE FACE OF STUD, UNLESS NOTED OTHERWISE.
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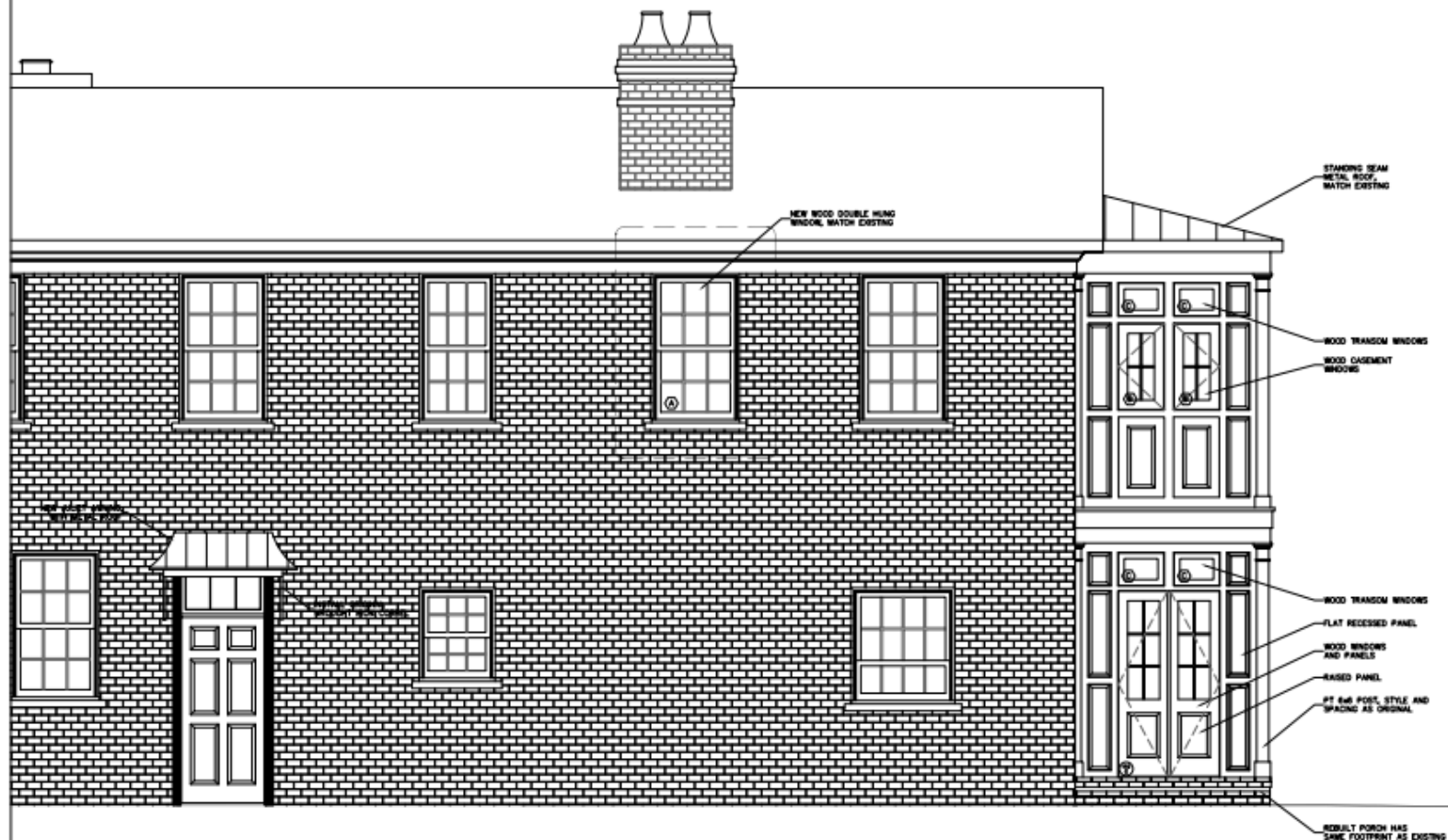
DESIGN HISTORY:
 19 DEC 25 - ZONING SUBMITTAL
 14 NOV 25 - HISTORIC DEMO SUBMITTAL
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 15 OCT 25 - WITHA SUBMITTAL
 15 OCT 25 - CLIENT REVIEW
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 02 JUL 25 - DESIGN DEVELOPMENT
 12 JUN 25 - DESIGN DEVELOPMENT II

PROJECT:
 GROVE STREET RESIDENCE
 221 GROVE STREET
 CHARLESTON SC, 29403

DATE: 19 DEC 25
SCALE: 1/2\"/>

DRAWING TITLE:
 PROPOSED
 EAST ELEVATION

DRAWING NO:
 A-202



PROPOSED WEST ELEVATION
SCALE: 1/2" = 1' - 0"



MARSHALL DESIGN BUILD, LLC
35 RICE DRIVE
CHARLESTON, SC 29407
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ISSUE HISTORY:
19 DEC 25 - ZONING SUBMITTAL
14 NOV 25 - HISTORIC EXEMPT SUBMITTAL
07 NOV 25 - BAR REVIEW
15 OCT 25 - WTRM SUBMITTAL
15 OCT 25 - CLIENT REVIEW
28 AUG 25 - BAR SUBMITTAL REVIEW
02 JUL 25 - DESIGN DEVELOPMENT
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PROJECT:
GROVE STREET RESIDENCE
221 GROVE STREET
CHARLESTON SC, 29403

DATE: 19 DEC 25
SCALE: 1/4" = 1' - 0" (1/2" OF NOTES SCALE)

DRAWING TITLE:
PROPOSED
WEST ELEVATION

DRAWING NO:
A-203

Agenda Item #B-14

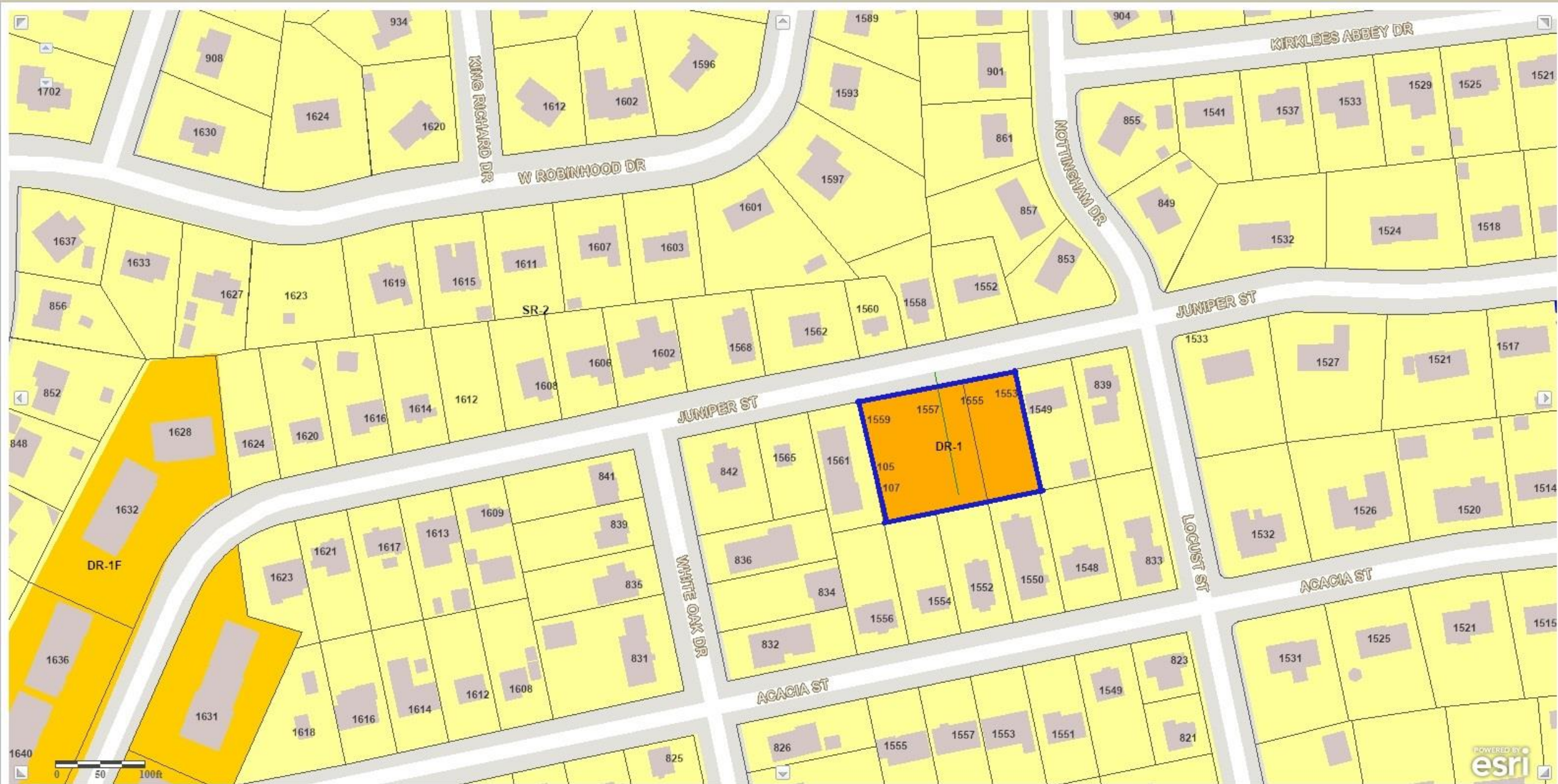
1555 Juniper St.

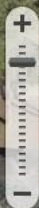
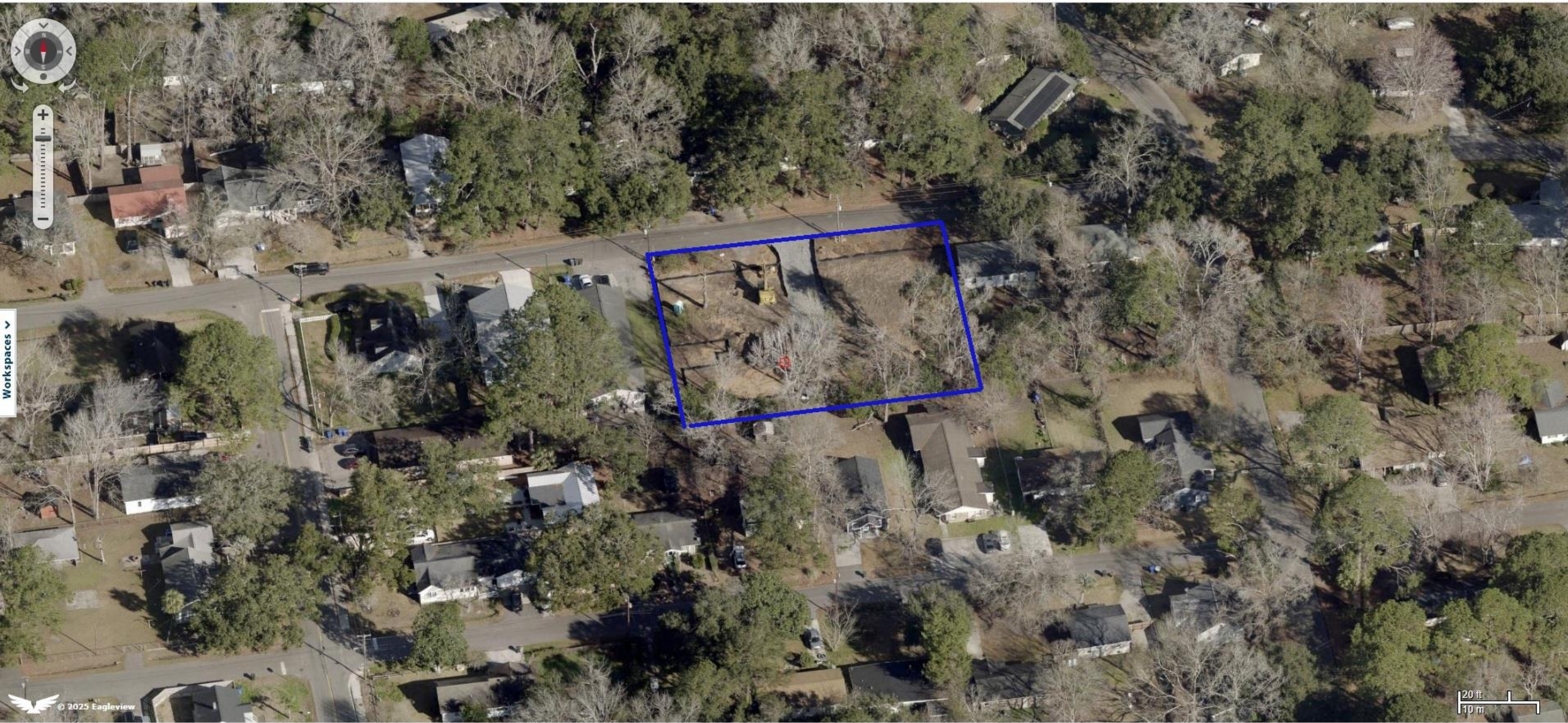
(West Ashley)

TMS # 350-03-00-185/186

Request a variance from Sec. 54-301 to build an attached townhome with a 5' rear setback (6' required) and to build 2 additional attached townhomes with lot areas of 1,305sqft and 1,302sqft (1500sqft required).

Zoned: DR-1





Workspaces v



© 2025 Eagleview

20 ft
10 m



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
- ☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
- ☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: _____ TMS # 350-03-00-186
Property Address 1555 Juniper Street, Charleston 29407 TMS # 350-03-00-185

Property Owner City of Charleston, 80 Broad Street, 29401 Daytime Phone _____

Applicant Housing & Community Development, Daytime Phone 843-965-4181

Applicant's Mailing Address 2 George Street, Suite 2700, Charleston SC 29401

_____, Email Address rusinah@charleston-sc.gov

Relationship of applicant to owner (same, representative, prospective buyer, other) Representative

Zoning of property DR-1

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
- ☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
- ☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
- ☒ Plans or documents necessary to show compliance with special exception requirements
- ☐ **YES** or ☐ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
- ☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Heather Rusina *Heather Rusina* **Date** 12-10-2025
Housing Construction Program Manager
Department of Housing & Community Development

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Request Lot F to have a variance to the 6ft setback. (Actual 5.6ft)

Request Lot E to have a variance to the 1500 sqft required minimum. (Actual 1,305 sq.ft.)

Request Lot D to have a variance to the 1500 sqft required minimum. (Actual 1,302 sq.ft.)

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

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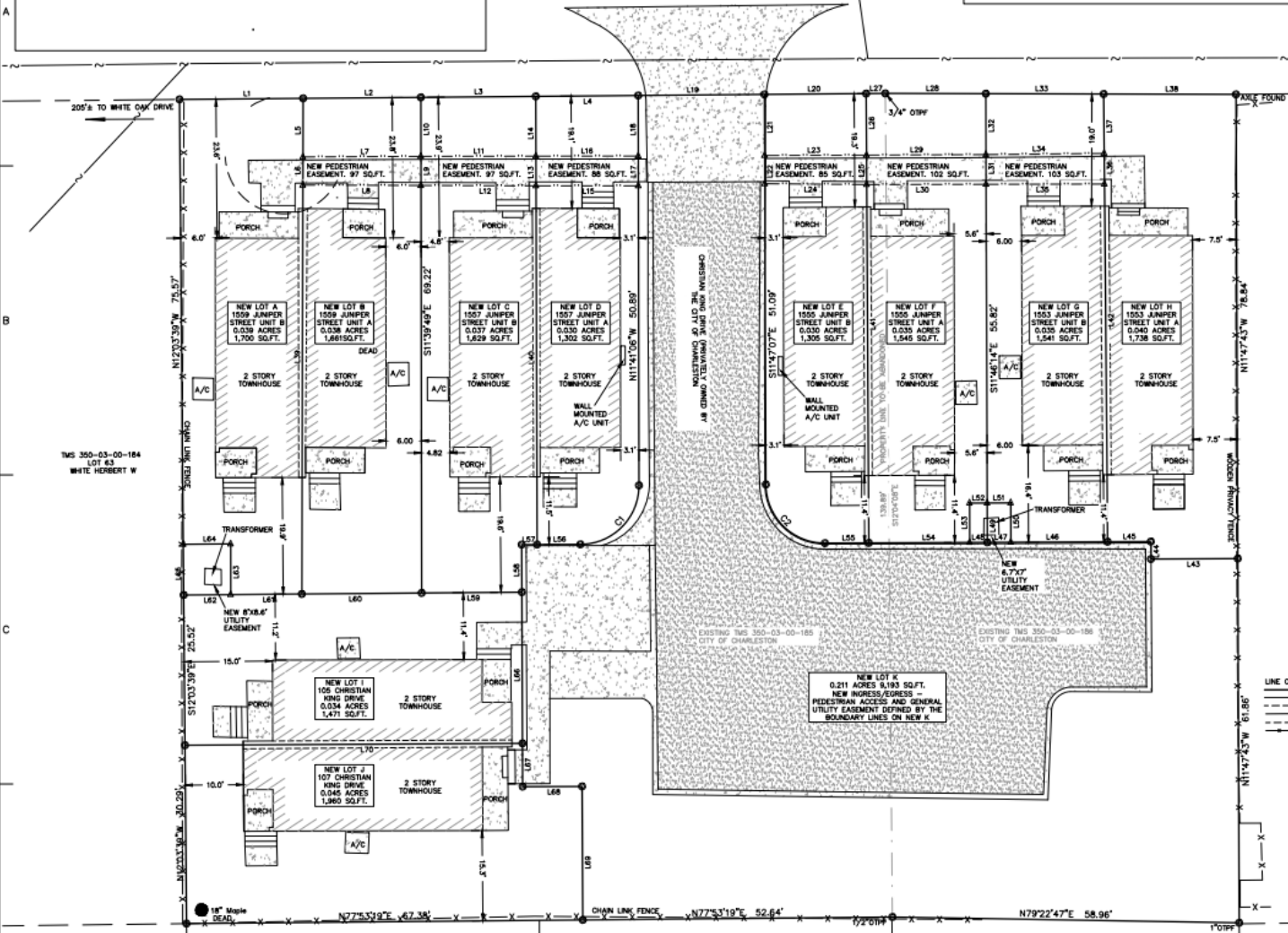
FOR CHARLESTON COUNTY AND CITY OF CHARLESTON USE ONLY

JUNIPER STREET (S10-925) 50' R/W

ZONING REQUIREMENTS
ZONED DR-1
DENSITY:
DR-1 ALLOWS FOR 18.4 LOTS PER ACRE
LOT SIZE IS 0.58 ACRES ALLOWING 11.25 LOTS.
NUMBER OF LOTS PER PLAT IS 11.
GROSS ACRES IS 1800 SQ.FT. - NET ACRES IS 1800 SQ.FT.
THERE ARE 10 RESIDENTIAL LOTS AND 1 LOT FOR VEHICULAR INGRESS/EGRESS AND PARKING
LARGEST RESIDENTIAL LOT IS 1,840 SQ.FT.
SMALLEST RESIDENTIAL LOT IS 1,305 SQ.FT.
LOT FOR ACCESS AND PARKING IS 8,193 SQ.FT.
THE PARKING AREA IS DESIGNED FOR 13 PARKING PLACES INCLUDING ONE ADA PARKING PLACE.



VICINITY MAP



NOTES AND REFERENCES

- 1) THE PROPERTY IS OWNED BY CITY OF CHARLESTON
- 2) THIS EXISTING TMS NUMBERS ARE: 350-03-00-185 AND 350-03-00-186
- 3) THE TOTAL SURVEYED AREA IS 0.582 AC
- 4) ACCORDING TO FLOOD INSURANCE RATE MAP 4501K0492K DATED 01-29-21 THIS LOT HAS BEEN CHECKED AGAINST AREA FEMA MAPS AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE SAID LOT IS LOCATED IN FLOOD ZONE X.
- 5) ZONE: DR-1
- 6) REFERENCE PLAT DATED AUGUST 5, 1949 BY GALLARD & GALLARD RECORDED IN CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK H PAGE 69 ON 5/31/51.
- 7) ALL PROPERTY CORNERS ARE 5/8" REBAR SET UNLESS OTHERWISE NOTED.
- 8) WATER AND SEWER WILL BE PROVIDED BY CHARLESTON WATER AND SEWER.
- 9) THE CITY RESERVES THE RIGHTS TO THE PEDESTRIAN AND ACCESS EASEMENTS IN ANY FUTURE CONVEYANCE OF THE PROPERTY.

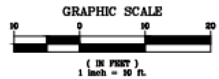
PARCEL CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	15.68'	10.00'	89°49'36"	N33° 13' 43"E	14.12'
C2	15.72'	10.00'	90°04'23"	S56° 49' 18"E	14.15'

PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N77°56'21"E	21.02'
L2	N77°56'21"E	20.02'
L3	N77°56'21"E	19.54'
L4	S77°56'21"W	17.42'
L5	N11°25'52"W	9.96'
L6	N11°25'52"W	4.78'
L7	N78°08'50"E	20.06'
L8	S78°34'56"W	20.08'
L9	N11°39'49"E	4.93'
L10	S11°39'49"E	10.03'
L11	N78°16'58"E	19.55'
L12	S78°34'56"W	19.56'
L13	N11°41'35"W	5.02'
L14	N11°41'35"W	10.16'
L15	S78°25'47"W	17.40'
L16	N78°21'25"E	17.41'
L17	N11°41'06"W	5.04'
L18	N11°41'06"W	10.29'
L19	N77°56'21"E	21.46'
L20	N77°56'21"E	17.30'
L21	S11°47'07"E	10.37'
L22	S11°47'07"E	4.80'
L23	N78°16'58"E	17.32'
L24	N78°52'18"E	17.33'
L25	N11°54'33"W	4.96'
L26	S11°54'33"E	10.47'
L27	N77°56'21"E	3.35'
L28	N78°35'09"E	17.09'
L29	S78°08'19"W	20.31'
L30	S78°19'16"W	20.30'
L31	S11°46'14"E	5.06'
L32	N11°46'14"E	10.34'
L33	N78°35'09"E	20.04'
L34	N77°52'10"E	20.09'
L35	S78°19'27"W	20.12'

PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L36	S12°04'45"E	5.20'
L37	S12°04'45"E	10.09'
L38	N78°35'09"E	22.49'
L39	N11°25'52"W	69.45'
L40	N11°41'35"W	60.95'
L41	S11°54'33"E	60.88'
L42	S12°04'45"E	60.76'
L43	S78°07'35"W	14.76'
L44	N11°31'29"W	2.97'
L45	S78°08'31"W	7.30'
L46	S78°08'31"W	16.45'
L47	S78°08'31"W	4.00'
L48	S78°08'31"W	3.00'
L49	S11°46'14"E	5.00'
L50	S11°46'14"E	6.68'
L51	S78°08'31"W	4.00'
L52	S78°08'31"W	3.00'
L53	S11°46'14"E	6.68'
L54	S78°08'31"W	17.16'
L55	S78°08'31"W	7.45'
L56	S78°08'31"W	7.37'
L57	S78°08'31"W	2.62'
L58	N11°46'27"E	8.06'
L59	S77°56'21"W	17.04'
L60	S77°56'21"W	20.36'
L61	S77°56'21"W	12.09'
L62	S77°56'21"W	8.00'
L63	N11°39'19"W	8.61'
L64	S77°56'21"W	8.06'
L65	N12°03'39"W	8.61'
L66	N11°46'27"W	25.88'
L67	N11°46'27"W	7.35'
L68	N78°13'43"E	10.10'
L69	S11°53'18"E	22.67'
L70	S78°05'45"W	57.38'

LEGEND
AXLE - AXLE FOUND
OPEN TOP FOUND
CONCRETE
ROCK PARKING

LINE CHART
PROPERTY LINE
OVERHEAD POWER LINE
NEW EASEMENT
R/W LINE
ADJACENT PROPERTY LINE
FENCE LINE



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

LEWIS SMITH MOORE, P.L.S. No. 21621

WE HEREBY DEDICATE THE NEW 20' INGRESS/EGRESS AND NEW VARIANCE WITH PEDESTRIAN EASEMENTS TO THE OWNERS, HERE AND/OR ASSIGNS FOR NEW LOTS A THRU J.

THE CITY OF CHARLESTON

TMS 350-03-00-191
LOT 72
SHELIA M. SIMMONS

TMS 350-03-00-199
LOT 71
MILLER GRAHAM

IF SHEET IS LESS THAN (22" x 34") IT IS A REDUCED PRINT, SCALE REDUCED ACCORDINGLY

FORSEBERG ENGINEERING
AND SURVEYING, INC.
1587 SAVANNAH HIGHWAY SUITE B
CHARLESTON, SOUTH CAROLINA 29417
(843) 581-0700
(843) 581-0701
AND LANDSCAPE ARCHITECTURE



FINAL SUBDIVISION PLAT
JUNIPER AFFORDABLE HOUSING
1553, 1555 1557 & 1559 JUNIPER STREET
105 CHRISTIAN KING DRIVE
CITY OF CHARLESTON, CHARLESTON COUNTY, SC



DATE
09/04/2025
DRAWN/CHECKED
LSM/CLH
LAST REVISED
12/05/2025
APPROVED
LSM
SCALE
1"=10'
PROJECT NO.
5640
SHEET NUMBER



View of curved corner of driveway and parking area.



View of curved corner of concrete driveway frontage to Juniper Street. Buildings on lots A, B, C and D.



View of building on new Lot I and the ADA parking and path.

Agenda Item #B-15

8 Magnolia Ave.

(North Central)

TMS # 463-08-03-031

Request special exception under Sec. 54-110.f. to vertically extend a nonconforming west side setback and a variance from Sec. 54-306.9 to build a half-story addition with a dormer width of 35% (30% allowed).

Zoned: SR-2

SANS SOUCI ST

RUTLEDGE AVE

MAGNOLIA AVE

SR-2

PEACHTREE ST

S ENSTON AVE

0 30 60ft

POWERED BY
esri

99

97

95

900

9

898

7

896

5

894

3

892

54

888

87

83

81

77

75

69

65

61

59

55

10

SR-2

32

28

24

22

18

48

46

40

38

19

27

25



Workspaces ▼



City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: January 20th, 2026

Property Address 8 Magnolia Ave Charleston SC 29403 TMS # C4630803031

Property Owner Hailey Wist & Joel Caldwell Daytime Phone 360.623.2300

Applicant Schuyler Clogston Daytime Phone 314.348.0421

Applicant's Mailing Address 65 Cypress St Charleston SC 29403

E-mail Address studio@schuylerclogston.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Designer

Zoning of property SR-2

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☒ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or** ☒ **NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs
☒ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Schuyler Clogston Date 12.18.2025

For office use only	
Date application received _____	Time application received _____
Staffperson _____	Fee \$ _____ Receipt # _____

BZA-Z Application (continued)

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Sec. 54-306.9: requesting a variance for the width of dormers due to spatial constraints.

See attached variance test within submittal

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Sec. 54-110.f : Requesting a special exception to alter the height of a structure that is existing

non-conforming within a setback.

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

BZAZ APPLICATION

8 MAGNOLIA AVE

CHARLESTON, SC 29403

	8 MAGNOLIA AVE.			BZAZ
	<p>1. There are extraordinary and exceptional conditions pertaining to the particular piece of property</p> <p>This is a historic craftsman cottage, we would like to retain the scale and character. Most cottages have the height to create a half story, but 8 Magnolia's structure sits too low to be code compliant.</p> <p>2. These conditions do not generally apply to other property in the vicinity</p> <p>Other homes in the area are 1 1/2 or two stories, or have the attic height to create a half story if desired.</p> <p>3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property</p> <p>Due to the lot size and the height of structure in the existing home, adding on is limiting. This is a sensitive solution that retains character and scale. Dormers at the rear of the structure, that maintain the ridge and eaves, are needed to create code compliant space.</p> <p>4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.</p> <p>The project is following the character appraisal of the neighborhood. Retaining eave height, dormers at the rear, minimally raising the pitch. this will allow the home to feel cohesive with the neighborhood.</p> <p>VARIANCE TEST</p>			
	(Studio) SCHUYLER CLOGSTON			JANUARY 20TH, 2026



LOOKING E/SE



LOOKING SE



LOOKING W



LOOKING E/NE



LOOKING W/NW



LOOKING W

REQUEST OUTLINE:

Special Exception to Sec. 54-110.f to extend a non for a change of height within a setback for an existing non-conforming structure.

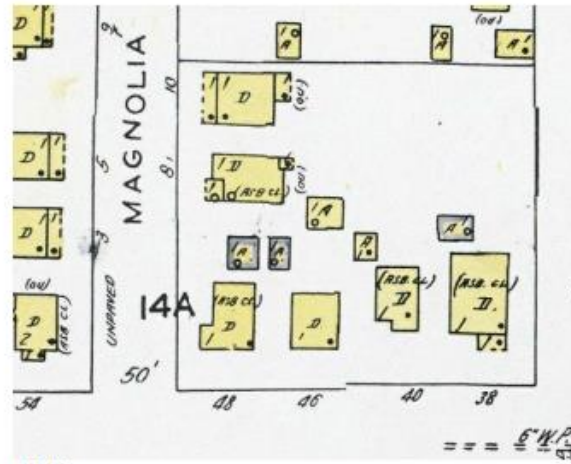
Variance to Sec. 54-306.9 for the width of a dormer to exceed 30% of the exterior wall below.

DETAILS:

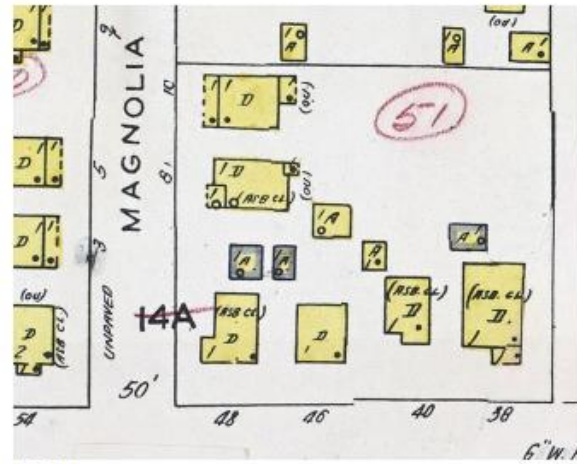
No changes to the footprint of the building.

Eave height to remain.

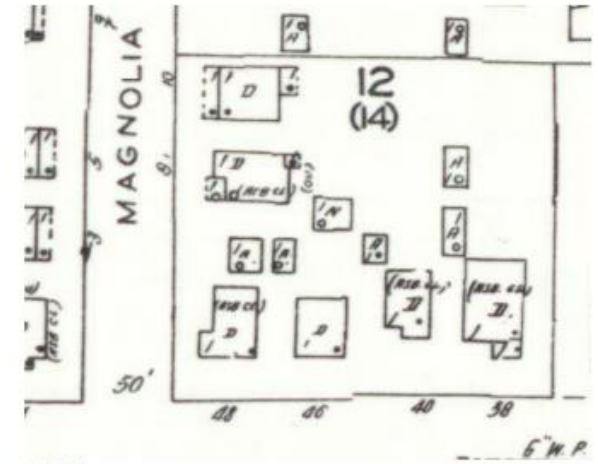
EXISTING CONDITIONS



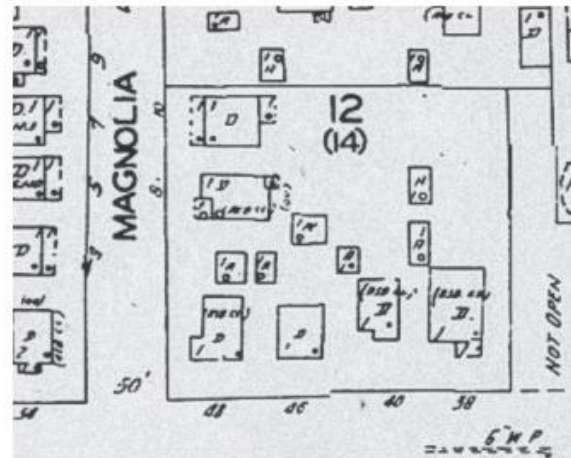
1944



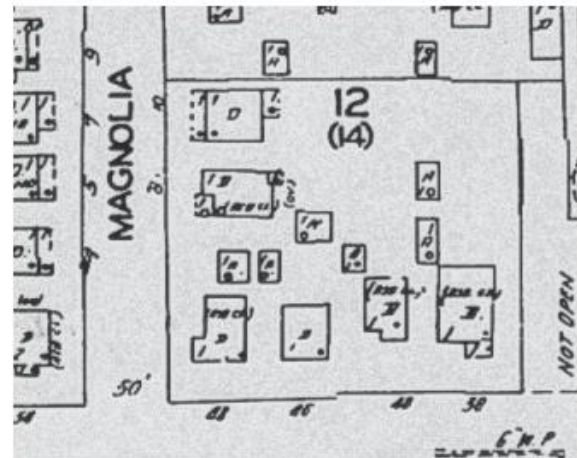
1951



1955



1964



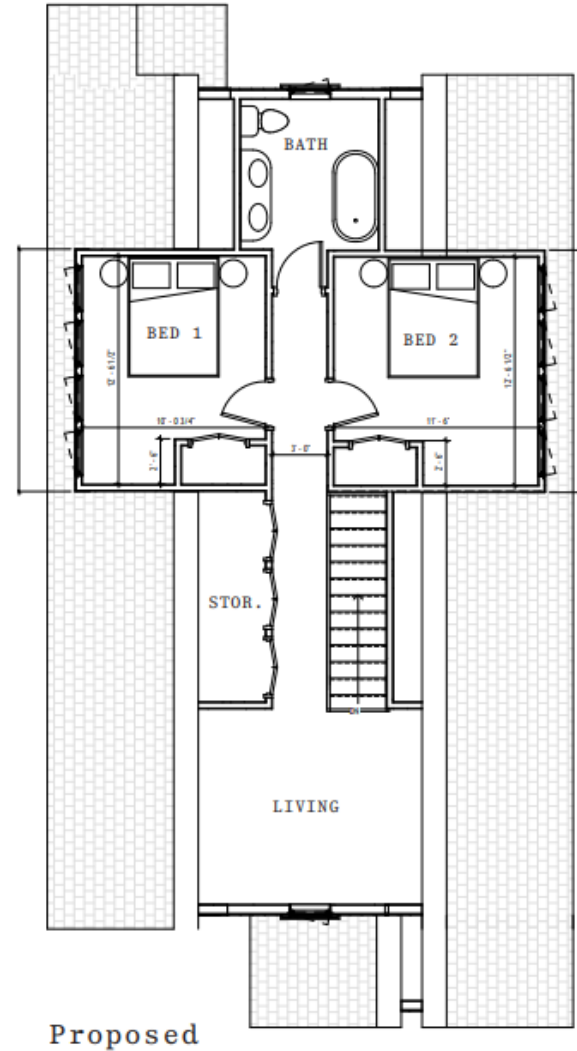
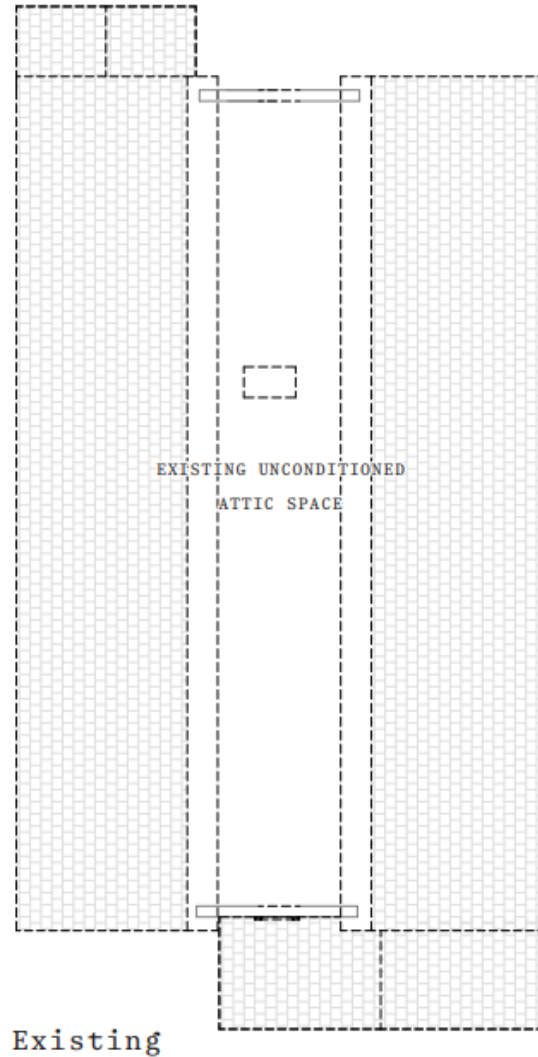
1973



Current Aerial

HISTORIC CONTEXT





Half story to accomodate two small bedrooms and a shared bathroom.

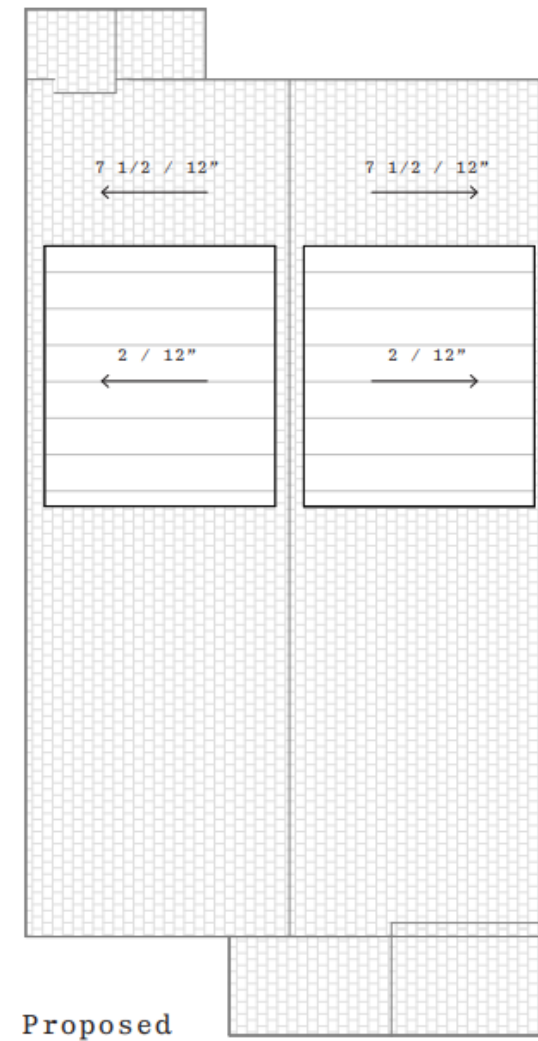
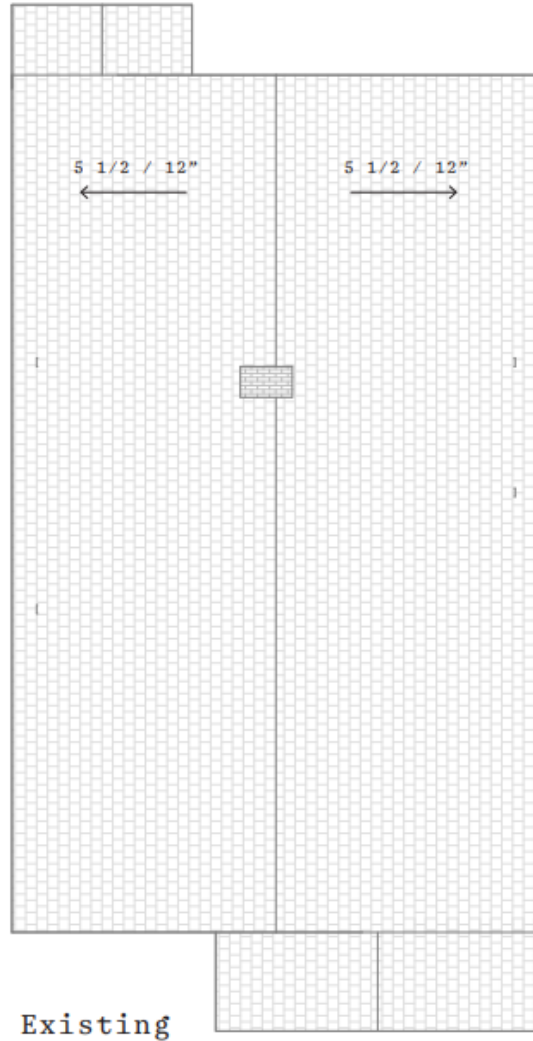
Space square footage and character precedent of the neighborhood.

No changes to foot print on first floor

SECOND FLOOR PLANS

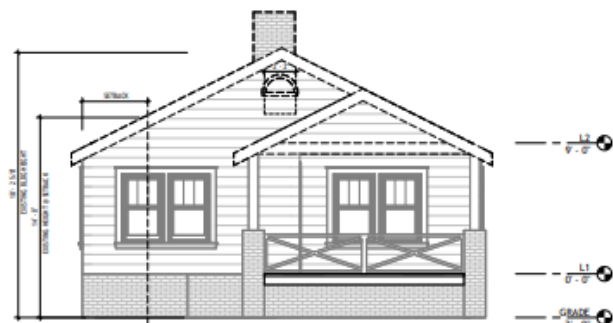
1/8" = 1'





ROOF PLANS

$1/8'' = 1'$
←



Demo West
1/8" = 1'



Demo East
1/8" = 1'



Proposed West
1/8" = 1'



Proposed East
1/8" = 1'

REQUEST OUTLINE:

Variance Sec. 54-110.f

Exst Eave Height: 10' - 6"

Proposed Eave Height: 10' - 6"

Exst Height at Setback: 14'

Proposed Height at Setback: 15'

Proposed Dormer Height at
Setback: 19'

Special Exception Sec. 54-306.9

South Dormer Width: 13' - 4"

South Wall Width: 49' 6"

27%

*south dormer is not in setback

North Dormer Width: 13' - 4"

North Wall Width: 38' - 6"

35%

Total Dormer With: 26' - 6"

Total Ext Wall Width: 88' - 0"

30%

*Dormers are needed for head height, as
this will be a true half story attic
space.

1/8" = 1'

ELEVATIONS



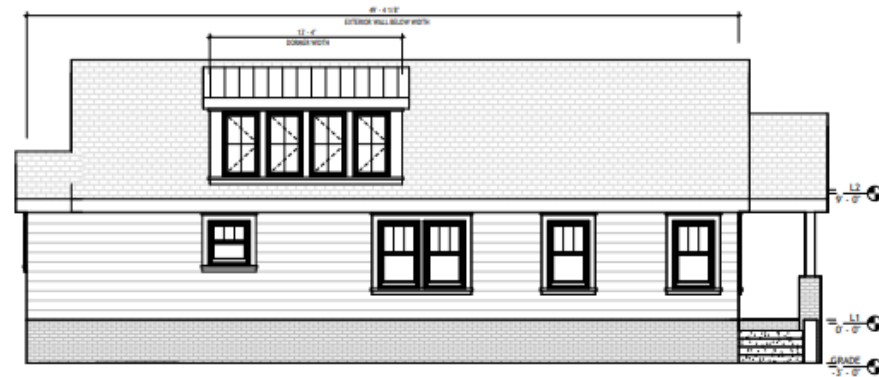
Demo South
1/8" = 1'



Demo North
1/8" = 1'



Proposed South
1/8" = 1'



Proposed North
1/8" = 1'

ELEVATIONS

To whom it may concern,

I, Lindsey Shorter, live at 51 Peachtree street
I have reviewed the construction plans for the proposed renovation at 8 Magnolia Ave. The proposed renovation maintains the historic character of the house and the streetscape, while allowing the family to grow. I understand that these plans will not impact the footprint of the existing home. The proposed square footage will still be in keeping with neighboring houses, maintaining the quality of the street and neighborhood.

I am in full support of these plans and the applicant. I believe that it will enhance the livability of the home and that the proposed size will support the family-forward character of the neighborhood for potential future users. Existing off street parking will remain.

Lindsey + Blake shorter
Printed Name

Lindsey Shorter
Signature

5.6.25

Date

To whom it may concern,

I, Catherine S. Charney, live at 3 Magnolia Ave.
I have reviewed the construction plans for the proposed renovation at 8 Magnolia Ave. The proposed renovation maintains the historic character of the house and the streetscape, while allowing the family to grow. I understand that these plans will not impact the footprint of the existing home. The proposed square footage will still be in keeping with neighboring houses, maintaining the quality of the street and neighborhood.

I am in full support of these plans and the applicant. I believe that it will enhance the livability of the home and that the proposed size will support the family-forward character of the neighborhood for potential future users. Existing off street parking will remain.

Catherine Charney
Printed Name

[Signature]
Signature

5/6/25

Date

To whom it may concern,

I, Teresa Johnson, live at 87 S. Main St.
I have reviewed the construction plans for the proposed renovation at 8 Magnolia Ave. The proposed renovation maintains the historic character of the house and the streetscape, while allowing the family to grow. I understand that these plans will not impact the footprint of the existing home. The proposed square footage will still be in keeping with neighboring houses, maintaining the quality of the street and neighborhood.

I am in full support of these plans and the applicant. I believe that it will enhance the livability of the home and that the proposed size will support the family-forward character of the neighborhood for potential future users. Existing off street parking will remain.

Teresa Johnson
Printed Name

[Signature]
Signature

5/6/25

Date

To whom it may concern,

I, BETH PHILLIPS, live at 46 PEACHTREE ST.
I have reviewed the construction plans for the proposed renovation at 8 Magnolia Ave. The proposed renovation maintains the historic character of the house and the streetscape, while allowing the family to grow. I understand that these plans will not impact the footprint of the existing home. The proposed square footage will still be in keeping with neighboring houses, maintaining the quality of the street and neighborhood.

I am in full support of these plans and the applicant. I believe that it will enhance the livability of the home and that the proposed size will support the family-forward character of the neighborhood for potential future users. Existing off street parking will remain.

BETH PHILLIPS
Printed Name

[Signature]
Signature

5/6/25

Date

Designer and Owners have met with and gotten support from the neighborhood association and the preservation society or charleston.

The directly neighboring house is not currently occupied to request support.

Designer and Owner are working with the BAR to opt-in to the new ordinance to receive approval on final design.

8 MAGNOLIA AVE.

NORTH CENTRAL NEIGHBORHOOD MTG.

(Studio)

SCHUYLER
CLOGSTON

studio@schuylerclogston.com

+1 843 608 0459

Agenda Item #B-16

1851 Doscher Ave.

(Rosemont)

TMS # 464-02-00-125

Request special exception under Sec. 54-501 to build a detached single-family home on a lot of insufficient size and a variance from Sec. 54-301 to allow a 7' east side setback and a 2' west side setback (9' and 9' required).

Zoned: SR-1





Workspaces



© 2025 Eagleview

20 ft
10 m



Application for Variance, Special Exception, Reconsideration, or Extension
to the **Board of Zoning Appeals – Zoning (BZA-Z)**

Page 1 of 2

City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 1/20/2026

Property Address 1851 Doscher Ave. TMS # 464-01-00-125

Property Owner David Watsky Daytime Phone

Applicant David Watsky Daytime Phone

Applicant's Mailing Address 117 Goose Creek Dr.

Goose Creek, SC 29445 E-mail Address misterwatsky@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Same

Zoning of property SR-1

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 12/11/2025

For office use only	
Date application received <u> </u>	Time application received <u> </u>
Staffperson <u> </u>	Fee \$ <u> </u> Receipt # <u> </u>

PLAN INDEX	
Label	Title
1	Master Border Page Template
2	Project Overview
A1	General Notes/Codes
A2	General Notes/Codes
A3	Site Plan
A4	Proposed Plans
A5	Electrical Plans
A6	Window/Door Schedules
A7	FIRE RATING
A8	Roof Plans
A9	Rear and Front Exterior Elevation
A10	Side Exterior Elevation
S001	STRUCTURAL NOTES
S002	STRUCTURAL NOTES
S003	STRUCTURAL NOTES
S110	1ST FLOOR FRAMING PLAN
S130	CEILING/ROOF FRAMING
S201	SLAB DETAILS
S202	STRAPPING DETAILS
S301	HEADER AND CONNECTION DETAILS
S410	STRAPPING DETAILS
S411	SHEATHING DETAILS
S430	DECKS AND STAIRS



PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

NO.	Description

PAGE TITLE:

Project Overview

SHEET #:

2

SCALE:

1/4" = 1'0"

DATE:

12/18/2025

DISCLAIMERS:

ALL DIMENSIONS, DESIGNATIONS, & EXTENTS ARE SUBJECT TO SITE VERIFICATION PRIOR TO CONTRACTOR COMMENCEMENT OF WORK. THESE DRAWINGS ARE INTELLECTUAL PROPERTY AND SUBJECT TO COPYRIGHT. THEY SHALL NOT BE REPRODUCED, DISTRIBUTED, PUBLISHED OR USED OTHERWISE WITHOUT THE EXPRESS CONSENT OF THE DESIGNER.

3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS.

IF THIS PLAN IS PRINTED ON 11"x17" PAPER, REDUCE NOTED SCALE BY 50%.

GENERAL NOTES

- Contractor is responsible for details not shown in this plan set, including foundation, framing, structural connections, roofing, door and window openings, HVAC, insulation, electrical plumbing, building envelope, water tightness and water infiltration products, components and details
- All construction materials, detailing, connections and workmanship not showing in these plans shall comply with the 2021 International Residential Code for One- and Two-Family Dwellings (2021 IRC).
- The Contractor shall review all layouts and dimensions prior to construction. First Choice Designs, LLC and the engineer of record shall be notified of any dimensional discrepancies or inconsistencies before materials are ordered or fabricated, and before construction begins.
- Do not substitute materials, or do not modify layout, spans or structural elements without the written consent of the structural engineer of record or First Choice Designs, LLC.
- Contractor shall coordinate with electrical, plumbing and mechanical contractors for block outs, conduit, sleeves, ducts, chases, embedded items. No large holes or notches are permitted through any walls or wood framing.
- During construction, all foundations, walls, floors, trusses and other building elements shall be adequately braced with appropriate temporary shoring to resist construction loads until all structural elements have been permanently installed and secured.



PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:	
NO.	DESCRIPTION

PAGE TITLE:
General Notes/Codes

SHEET #:
A1

SCALE:
Scale Per View

DATE:
12/18/2025

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WOOD

1. All framing lumber (joists, rafters, headers and beams) shall be Hem-Fir Grade #2 or Spruce-Pine-Fir Grade #2 or better, having the following minimum base design values: Bending stress $F_b = 850$ psi for single member use 1000 psi for repetitive member use Horizontal shear $F_v = 70$ psi Compression perpendicular to grain $F_c = 405$ psi Compression parallel to grain $F_c = 1100$ psi Modulus of Elasticity $E = 1,300,000$ psi Note: Spruce-Pine-Fir (South) is not acceptable. Spruce-Pine-Fir must be graded by NLGA.
2. All exterior deck framing lumber or structural posts shall be Southern Yellow Pine Grade #2 or better, having the following minimum properties (based on 2x12 lumber): Bending stress $F_b = 975$ psi for single member use 1150 psi for repetitive member use Horizontal shear $F_v = 90$ psi Compression perpendicular to grain $F_c = 565$ psi Compression parallel to grain $F_c = 1450$ psi Modulus of Elasticity $E = 1,600,000$ psi Note: All wood noted as (P.T.) shall be Southern Yellow Pine Grade #2 or better pressure treated to 0.40 pounds per square foot chemical retention.
3. Plywood laminated beams (noted as "LVL" or "Microlam") shall have the following minimum properties: Bending stress $F_b = 2600$ psi for single member use Horizontal shear $F_v = 285$ psi Modulus of Elasticity $E = 1,900,000$ psi NOTE: HIGHER STRENGTH MEMBERS MAY BE USED AS SPECIFICALLY NOTED IN STRUCTURAL DRAWINGS
4. All studs in bearing walls shall be Spruce-Pine-Fir stud grade or better, having the following minimum base design values: Bending stress $F_b = 625$ psi for single member use compression parallel to grain $F_c = 1200,000$ psi
5. Exterior walls shall be minimum 2 x 4's @ 16" O.C. for heights up to 10' -0", and 2 x 6's @ 16" O.C. for heights greater than 10' -0". All stud bearing walls shall have two continuous top plates and one continuous bottom plate unless noted otherwise. Splices of top plate shall occur over a stud. Splices shall be staggered a minimum of four feet.
6. Provide solid blocking at 4' -0" O.C. between band joist and first interior parallel joist unless using manufactured floor joists.
7. Prefab joist and beam hangers shall be sized and attached according to manufacturer's requirements.
8. U.N.O. manufactured floor joist systems shall have a min. 1 1/4" PSL rim board at all perimeter bearing walls. Provide squash blocks and web stiffeners as required to distribute loadings.
9. Wood floor joist systems shall have a min. 2x band matching the depth of the floor system.
10. All freestanding posts shall have prefab post cap and base. Posts within wall shall have prefab cap attached to beam. Posts bearing directly on masonry or concrete shall have prefab base.
11. Trusses, truss joists and floor joists shall align directly over studs with an offset of no more than three inches. Install additional studs as required.
12. Holes bored in bearing wall studs shall not exceed 1/3 of stud width
13. Holes shall not be cut through manufactured floor trusses except as specifically allowed by the manufacturer
14. All roof rafters and trusses shall be connected at each bearing point with one prefabricated galvanized metal connector. Each connector shall be min. 18ga. thick and shall be attached to have a capacity to resist a min. 450 # uplift unless noted otherwise.
15. Truss and truss joist spacing shown on the drawings is maximum acceptable spacing of trusses shall be adjusted as required to meet loading requirements.
16. Contractor shall submit roof and floor truss shop drawings and calculations sealed by a professional engineer in the governing jurisdiction to the Architect for review.
17. All structural wood exposed to outside unprotected or bearing directly on concrete or masonry shall be pressure treated (P.T.) with approved materials to resist decay and infestation by termites and/or moisture.
18. All wall sill plates shall be anchored to foundation walls with anchor bolts embedded a min. 8" into poured concrete and 15" into grouted CMU. Minimum 2 anchors per section of plate and max. spacing of anchors at 6' -0" O.C. One anchor shall be placed within 12" from end of each sill plate. All anchor bolts are to be coated in a manner compatible with the method of treatment of the sill plate.
19. All exterior wood framework supported on foundation walls shall be a min. 8" above finish grade.
20. All wood framed exterior corners shall be laterally braced min. 4' -0" each direction from the corner with 112" exterior plywood or other approved structural sheathing or approved galvanized steel corner bracing.
21. Provide blocking between all joists 2x10 and greater, at intervals not to exceed 8' -0" O.C.
22. All structural wood posts under beams and headers over 4' -0" span shall be min. 2 -2 x 4 unless noted otherwise.
23. All framing shall be detailed and installed in accordance with NFPA Manual for House Framing.
24. Unless noted otherwise, plywood subfloors shall be glued and nailed with APA approved elastomeric structural adhesive and min. 8d common nails spaced @ 6" O.C. at edges and @ 12" O.C. at intermediate supports unless noted otherwise.
25. All plywood roof, floor and wall sheathing shall be APA approved.
26. All wood blocking, nailers, etc. shall be attached to steel or concrete framing with power actuated fasteners or 3/8" diameter bolts unless noted otherwise. Fasteners shall be spaced at 32" max. O.C. and shall be staggered. Fasteners shall have a min. capacity of 100# in shear and pullout unless noted otherwise.

DOORS AND WINDOWS

Contractor shall verify that windows and doors to be installed shall comply with applicable building code standards for egress, light, ventilation, and wind impact loads. Contractor shall install fire-rated doors at specific locations as required by applicable building codes.

THERMAL AND MOISTURE PROTECTION

1. All slabs on grade in conditioned spaces shall be insulated with min. 1" thick rigid insulation from top of slab downward to 24" below grade and inward 24" from perimeter of slab.
2. Waterproof all exterior foundation walls enclosing habitable spaces as required by applicable building code at exterior of wall prior to backfilling.
3. Flashing: Code approved corrosion resistive flashing shall be provided at top and sides of all window and door openings in such a manner as to be leakproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing material around the perimeter of the opening, including corners, do not require additional flashing. Jamb flashing may also be omitted when specifically approved by the building official. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides of stucco copings; under and at ends of masonry, wood or metal copings and sills; continuously above all projecting wood trim at all wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.
4. The Contractor is further responsible for using sound judgment and accepted building practices to prevent thermal and moisture infiltration and to protect the integrity of the building.
5. Building paper : When veneer of brick, clay tile, fiber cement planks, concrete or natural or artificial stone are used, min. "Tyvek" or equivalent building wrap shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer.

HEATING, VENTILATION AND AIR CONDITIONING

Design and installation of HVAC system, including sizing of equipment and ductwork, is the responsibility of the Mechanical Contractor. These plans typically show suggested locations for installation of return air ducts and gas flues. Duct sizes shown are approximate and actual sizes may vary. Contractor shall verify size and location of these items with design drawings as provided by the installer. ENVIRONMENTAL HAZARDS These plans do not include design for systems to alleviate specific environmental hazards, including radon gas, seepage of toxic waste, acid rain, lead or asbestos which may occur on building sites

P.T. WOOD REQUIREMENTS:

1. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH CHROMATID COPPER ARSENATE (CCA) (AS AVAILABLE AND AS ALLOWED). ALKALINE COPPER QUOT (ACO) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BEIER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2 X 12 LUMBER):
-BENDING STRESS " F_b " = 975 PSI FOR SINGLE MEMBER USE
-HORIZONTAL SHEAR " F_v " = 90 PSI
-MODULUS OF ELASTICITY " E_m " = 1,600,000 PSI
-COMPRESSION PARALLEL TO GRAIN " F_c " = 1,450 PSI
-COMPRESSION PERPENDICULAR TO GRAIN " F_c " = 565 PSI
2. PREFABRICATED JOIST HANGERS. BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ALL ATTACHED PER MANUFACTURERS RECOMMENDATION.
3. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL BE G85 GALVANIZED OR STAINLESS STEEL.



NOTES ON FLOOR TRUSS SYSTEM:

- The floor truss systems are assumed to be TJI joists supplied and engineered by Truss Joist or Equal. The Truss Joist supplier is expected to review all systems and details herein for compatibility with the actual system supplied. Floor trusses supplied by other manufacturers may require different details and may not be substituted without consulting the Architect.
- 3/4" minimum bearing is required at joist ends. 3 1/2" minimum bearing is required when joists are continuous over the support.
 - Rim joist material to be 1-1 1/4" Parallel Strand Composite member (U.N.O.).
 - Rim joist and cantilever reinforcement shall bear fully on the wall plate.
 - Nail joists at bearings with 2-8d (or 1Od or 12d box) nails (1 each side), 1 1/2" minimum from end to minimize splitting.
 - Nail TJI joist blocking panels or TJ rim joist to bearing plate with 8d nails at 6" O.C.
 - Nail rim joist to every TJI joist with 2-8d nails, one each at top and bottom flange.
 - Attach 2x4 min. squash blocks to TJI joist top and bottom flanges with 1 -8d nail.
 - Web stiffeners are required if the sides of joist hangers do not laterally support(contact) the TJ joist top flange.
 - Holes for HVAC, electrical, plumbing, etc, are not allowed except as specifically approved by TrusJoist. Refer to "T1 Joist Hole Charts" in manufacturer's brochure for specific information.
 - Refer to keyed details herein for specific TJI joist framing reinforcement and attachment. Details not keyed may not be substituted. If a condition arises that is not specifically keyed and detailed here, contact TrusJoist or their supplier for additional detail as required.
 - Contractor shall refer to floor framing diagrams supplied by manufacturer and sealed by a professional engineer for additional information.

STRUCTURAL CRITERIA:			
LOADS (PSF)	LIVE	DEAD	TOTAL
FLOOR JOISTS	40	10	50

ADDITIONAL CRITERIA:
DEFLECTION ON ALL MANUFACTURED FLOOR JOISTS SHALL BE LIMITED TO L/480 OR 1/2". WHICHEVER IS LESS.

WALL BRACING NOTES:
"ALL NEW STRUCTURE IS DESIGNED AND BRACED ACCORDING TO THE REQUIREMENTS OF THE 2021 1-2 Family Residential Code .
"UNLESS OTHERWISE CALLED OUT ON THESE FRAMING PLANS, ALL NEW EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND ON GABLE END WALLS) ARE TO BE BRACED USING THE CS-WSP METHOD, WHICH CALLS FOR CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING WITH A MINIMUM 3/8" THICKNESS, SECURED AT PANEL EDGES WITH 6d COMMON NAILS AT 6" ON CENTER SPACING, AND AT 12" ON CENTER SPACING AT INTERMEDIATE SUPPORTS (OR 16 ga. X 1 3/4" STAPLES SPACED 3" ON CENTER AT PANEL EDGES AND SPACED 6" ON CENTER AT INTERMEDIATE SUPPORTS.
"ALL NEW EXTERIOR CORNER FRAMING SHALL BE IN COMPLIANCE WITH 2021 1-2 Family Residential Code.
"LENGTHS OF BRACED WALL PANELS AT CORNERS ADJACENT TO WINDOW & DOOR OPENINGS ARE DESIGNED TO BE IN ACCORDANCE WITH THE MINIMUM REQUIRED BY 2021 1-2 Family Residential Code.
"WHERE CSPF IS CALLED FOR ON THESE FRAMING PLANS, WALL PANELS ARE TO BE CONSTRUCTED AS CONTINUOUS PORTAL FRAME BRACED WALL PANELS AS PER 2021 1-2 Family Residential Code.
"ALL OTHER REQUIREMENTS AND DETAILS CONTAINED IN THE IRC-2021 THAT ARE NOT SPECIFICALLY STATED IN THESE NOTES SHALL ALSO BE FOLLOWED. CONSULT ARCHITECT WITH ANY QUESTIONS REGARDING WALL BRACING REQUIREMENTS IN THE FIELD.

GENERAL REQUIREMENTS

- The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Architect in the form of drawings, specifications and written instructions.
- Contractor shall visit the site to verify all existing dimensions and conditions and shall notify the Architect in writing of any discrepancies before proceeding with the work or shall be responsible Contractor shall be familiar with provisions of all applicable codes and shall insure compliance's of the work to those codes.
- These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety are and shall be the Contractor's responsibility.
- Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- If in the event of conflict between local, state, and national codes, the more stringent shall govern.
- All construction is to follow the following code: 2021 I.R.C. One and Two Family Dwelling Code, 2021 edition of SC.

STRUCTURAL SPECIFICATIONS GENERAL REQUIREMENTS
Refer to structural drawings in these documents for specific Structural Criteria including live and dead loading for roofs, floors and other structural components. Under no circumstances shall loading be assumed to be less than the applicable building code minimum.
The conditions and assumptions stated in these documents shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering shall be applied to insure the building's structural integrity.

- These requirements may be superseded by more stringent information within the drawings. The more stringent information shall be followed.
- Any additional equipment or fixtures not shown on structural drawings and having a weight in excess of 400 pounds shall be brought to the attention of the Architect prior to installation.
- The basic stability of the structure is dependent upon the diaphragm action of floors, walls and roof acting together. Contractor to provide all guys, braces, struts, etc. as required to accommodate all live, dead and wind loads until all final connections between these elements are made.
- Basement and foundation walls are dependent upon the completed installation of floors for their stability. Contractor shall not place backfill until these elements are completely installed, or Contractor has provided shoring and braces as required to adequately restrain wall.

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

NO.	Description

PAGE TITLE:

General Notes/Codes

SHEET #:

A2

SCALE:

Scale Per View

DATE:

12/18/2025

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PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

Rev	Description

PAGE TITLE:

Site Plan

SHEET #:

A3

SCALE:

1"=10'

DATE:

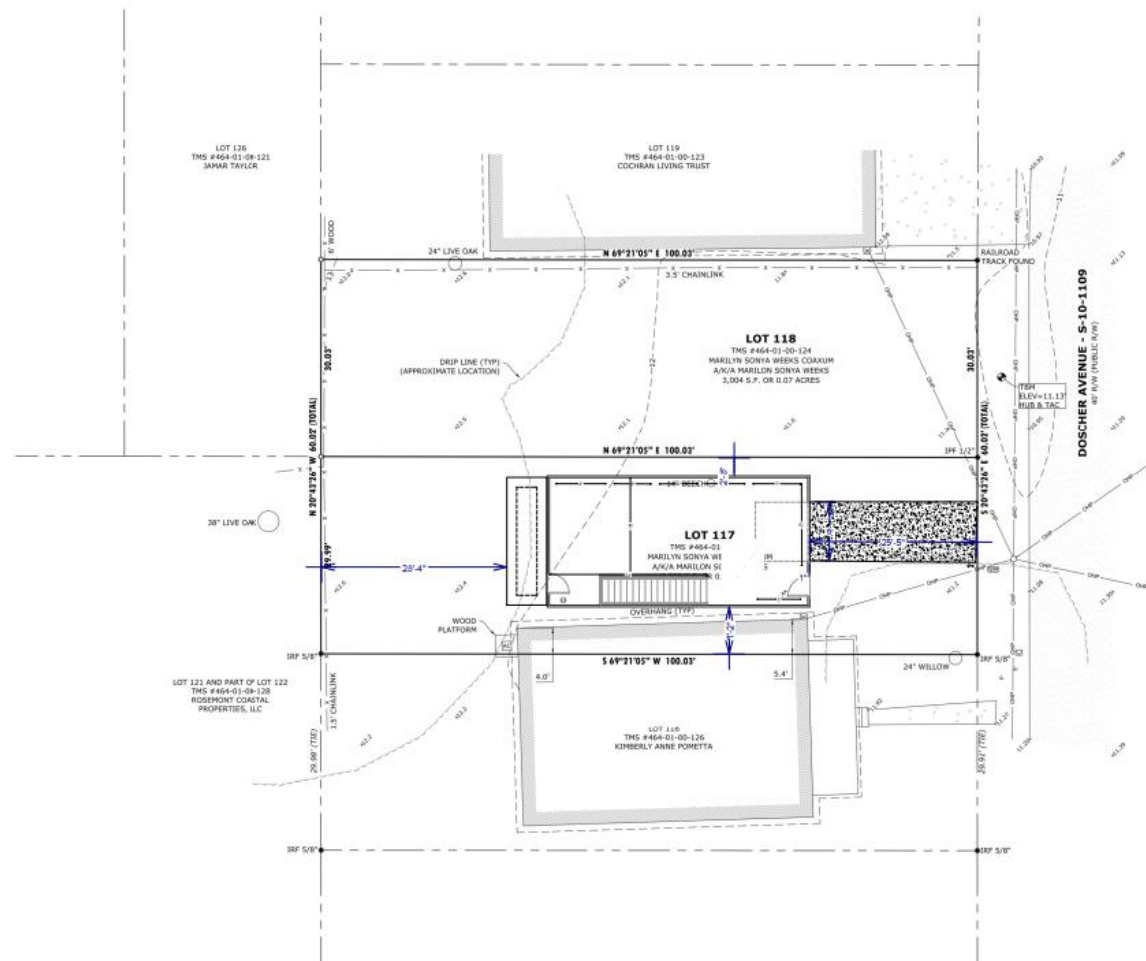
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SITE PLAN
1"=10'

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

Rev	Description

PAGE TITLE:

Proposed Plans

SHEET #:

A4

SCALE:

1/4" = 1'0"

DATE:

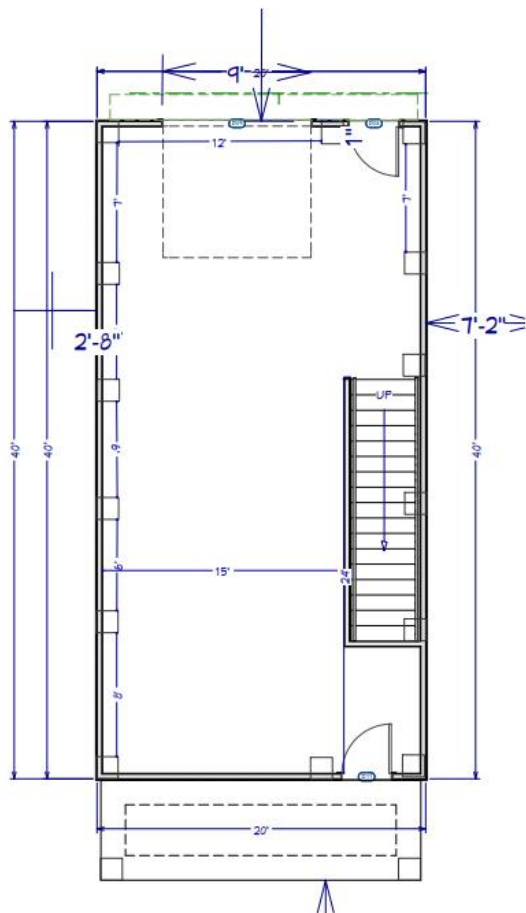
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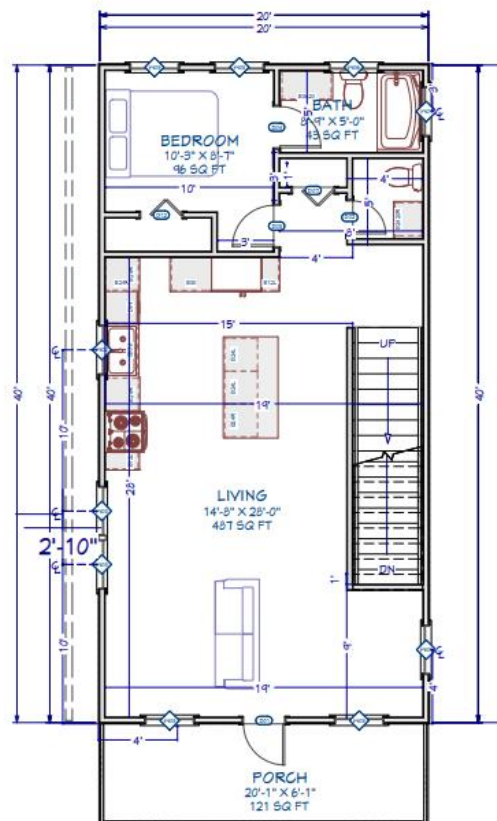
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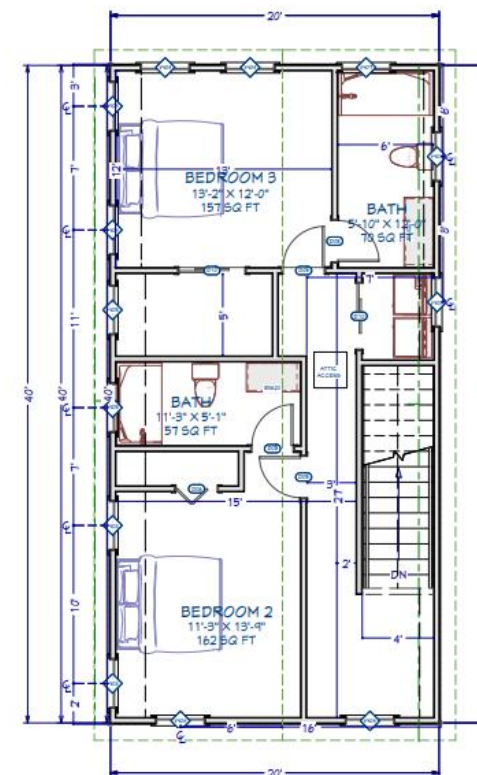
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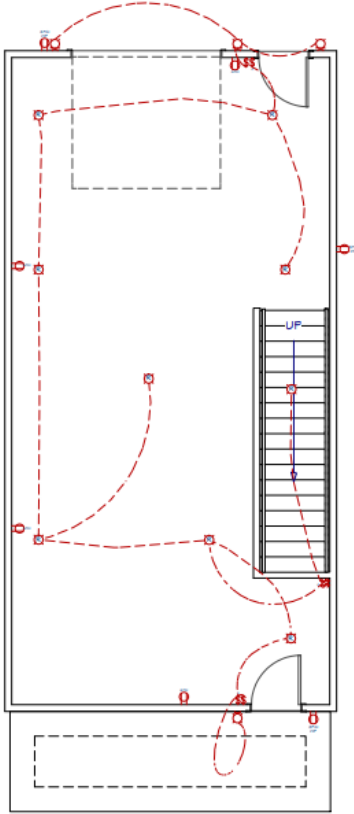
A
A4 PARK UNDER PLAN
SCALE: 1/4" = 1'



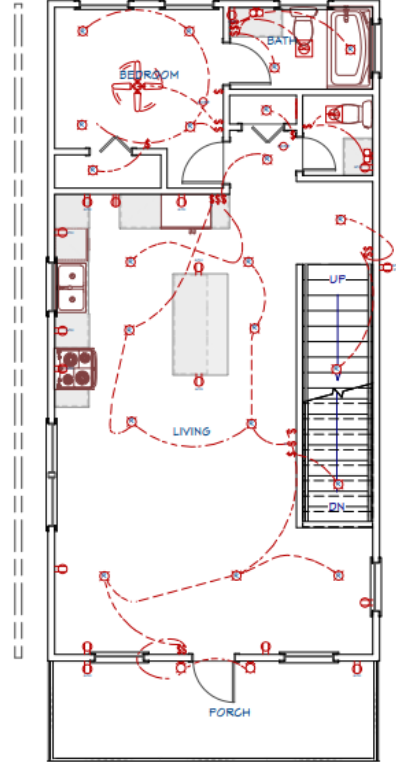
B
A4 FIRST FLOOR PLAN
SCALE: 1/4" = 1'



C
A4 SECOND FLOOR PLAN
SCALE: 1/4" = 1'



A
A5 PARK UNDER ELECTRICAL
SCALE: 1/4" = 1'



B
A5 FIRST FLOOR ELECTRICAL
SCALE: 1/4" = 1'



C
A5 SECOND FLOOR ELECTRICAL
SCALE: 1/4" = 1'

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
	3 BLADE CEILING FAN	
	GFCI W/P	
	GFI/SMOKE DETECTOR	
	DUPLEX	
	EXHAUST FAN	
	GFCI	
	SINGLE POLE SWITCH	
	VANITY LIGHT	
	RECESSED DOWN LIGHT 6	
	CEILING FAN	
	3-WAY SWITCH	
	ELECTRICAL PANEL - RECESSED	
	PORCH LANTERN	
	220V	
	4-WAY SWITCH	

PROJECT INFORMATION:
1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:
NO. DESCRIPTION

PAGE TITLE:
Electrical Plans

SHEET #:
A5









SCALE:
1/4" = 1'













DATE:
12/18/2025


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WINDOW SCHEDULE									
3D ELEVATION	2D ELEVATION	UNIT	QTY	FINISH	SIZE	NO.	DESCRIPTION	REMARKS	DESIGNER
	W01	3010PK	1	2	3010PK	31"X13"	FIXED GLASS	2'X6'X40" (2)	
	W02	30310DH	1	2	30310DH	31"X46 1/8"	DOUBLE HUNG	2'X6'X40" (2)	
	W03	3050DH	1	2	3050DH	31"X61"	DOUBLE HUNG	2'X6'X40" (2)	
	W04	3050DH	3	3	3050DH	31"X61"	DOUBLE HUNG	2'X6'X40" (2)	
	W05	3010PK	2	3	3010PK	31"X13"	FIXED GLASS	2'X6'X31" (2)	
	W06	30305H	1	2	30305H	31"X31"	SINGLE HUNG	2'X6'X40" (2)	
	W07	30305H	1	3	30305H	31"X31"	SINGLE HUNG	2'X6'X40" (2)	
	W08	3050DH	2	3	3050DH	31"X61"	DOUBLE HUNG	2'X6'X31" (2)	

DOOR SCHEDULE									
3D ELEVATION	2D ELEVATION	UNIT	QTY	FINISH	SIZE	NO.	DESCRIPTION	REMARKS	DESIGNER
	D01	2665	1	2	2665 L IN	32"X52 1/2"	HINGED GLASS PANEL	2'X6'X36" (2)	
	D02	2065	1	2	2065 R IN	26"X52 1/2"	HINGED DOOR F04	2'X6'X36" (2)	
	D03	2665	1	2	2665 L IN	32"X52 1/2"	HINGED DOOR F04	2'X6'X36" (2)	
	D04	2665	1	2	2665 R IN	32"X52 1/2"	HINGED DOOR F04	2'X6'X36" (2)	
	D05	2665	4	3	2665 R IN	32"X52 1/2"	HINGED DOOR F04	2'X6'X36" (2)	
	D06	2665	1	3	2665 R	32"X52 1/2"	2 DR. BIFOLD LOUVERED	2'X6'X36" (2)	
	D07	2665	1	2	2665 L	32"X52 1/2"	2 DR. BIFOLD LOUVERED	2'X6'X36" (2)	
	D08	3065	1	1	3065 L EX	38"X39"	EXT. HINGED DOOR E21	2'X6'X41" (2)	
	D09	4030	1	1	4030	110"X99"	GARAGE-GARAGE DOOR GH05	2'X12'X110" (2)	
	D10	4065	2	3	4065 R IN	50"X52 1/2"	SLIDER DOOR F04	2'X8'X59" (2)	
	D11	3065	1	1	3065 R EX	38"X39"	EXT. HINGED DOOR E21	2'X6'X41" (2)	
	D12	2665	1	2	2665 R	32"X52 1/2"	2 DR. BIFOLD LOUVERED	2'X6'X36" (2)	



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

Rev	Description

PAGE TITLE:

Window/Door Schedules

SHEET #:

A6

SCALE:

1/4" = 1'0"

DATE:

12/18/2025

DISCLAIMERS:

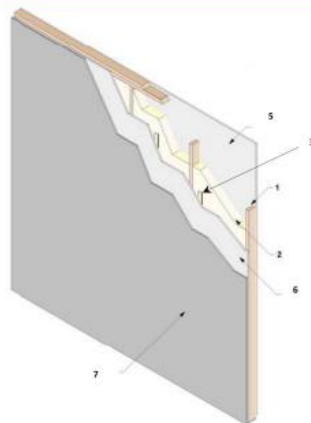
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James Hardie Building Products
Design No. JH/FCS 60-07
James Hardie Fiber Cement Siding
ASTM E119, CAN/ULC S101

Non-Symmetrical, 1 Hour Limited Load-Bearing Wall Assembly,
Max. Load – 31% of NDS Full Design Load (Rating applies to both sides)



1. **WOOD STUDS:** Nominal 2 in. x 4 in. solid sawn wood studs located 16 in. on center (oc), with two top plates and a single bottom plate.
 - Min. 4.574 in. wide x 3/4 in. thick James Hardie Horizontal Steel Furring installed per manufacturer's installation instructions (min. 18 GA 33 ksi metal)
2. **INSULATION:** Min. 3 in. thickness, 3 pcf mineral fiber batt insulation (rockwool), conforming to ASTM-C665 Type I, friction fit in joist cavities.
3. **FURRING (Optional):**
 - Min. 1-1/2 in. wide x 3/8 in. thick furring (Wood: Min. 0.42 s.g.; Metal: Corrosion Resistant min. 20 GA 33 ksi metal hat channel, z-girt or u-bar), or
4. **WOOD SHEATHING (Optional, Not Shown):** Install one layer of wood structural panel sheathing on Item 1.
5. **GYPSUM WALLBOARD, SIDE A:** 5/8 in. Type X gypsum wallboard installed horizontally or vertically and fastened with min. 1-7/8 in. long cup-head gypsum board nails or equivalent Type W screws, 8 in. oc at board perimeter and in field areas of boards.

Date Revised: September 24, 2019

Page 1 of 2

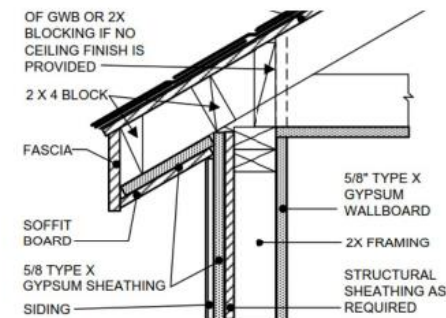
Project No. G103972785

Version: 02 August 2017

SFT-8C-OP-19I



6. **FIBRE-CEMENT BOARD, SIDE B:** HardieBacker® EZ Grid®, HardieBacker® 500, HardieBacker® with HydroDefense™, HardieBacker® ProGrid™, and HardieBacker® Underlayment backerboard installed in accordance with the manufacturer's installation instructions.



1-HOUR RATED WALL AND
PROTECTED EAVE OVERHANG

7. **CERAMIC TILE:** Nominal 4 in. x 4 in. x 1/4 in. standard grade ceramic wall tile on the fire-exposed side.

Date Revised: September 24, 2019

Page 2 of 2

Project No. G103972785

Version: 02 August 2017

SFT-8C-OP-19I

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

Rev	Description

PAGE TITLE:

FIRE RATING

SHEET #:

A7

SCALE:

1/4" = 1'-0"

DATE:

12/18/2025

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PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

Roof PlanS

SHEET #:

A8

SCALE:

1/4" = 1'0"

DATE:

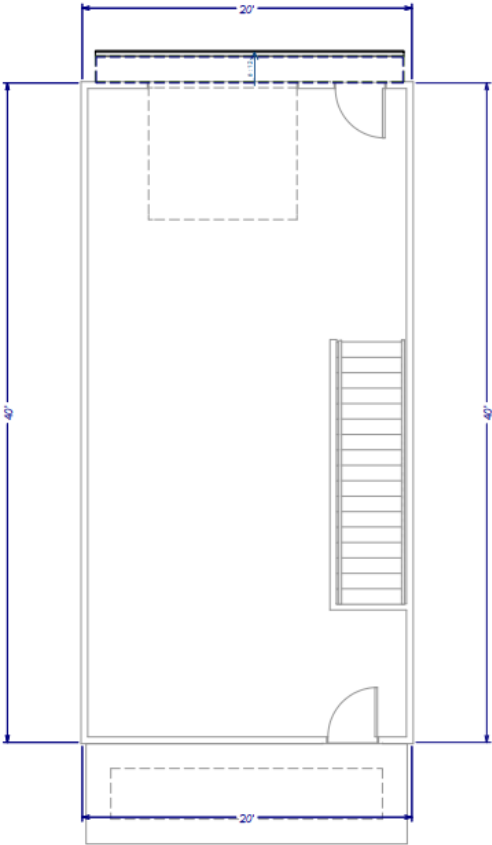
12/18/2025

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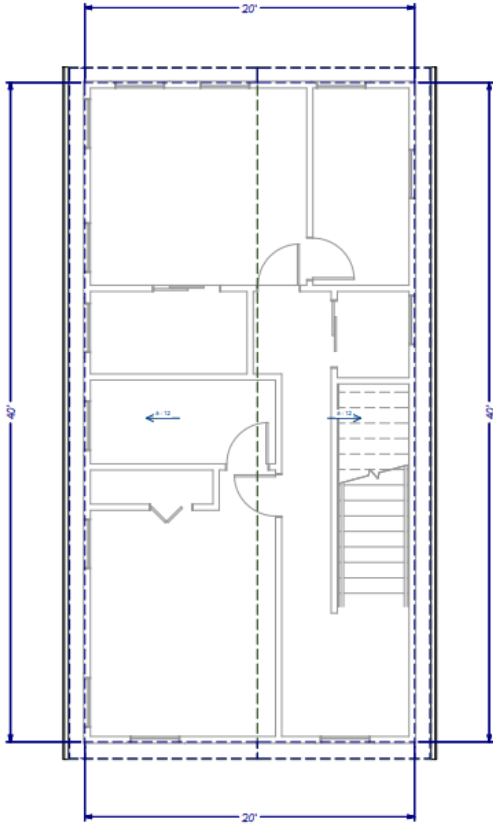
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A
A8 LOWER ROOF PLAN
SCALE: 1/4" = 1'



B
A8 UPPER ROOF PLAN
SCALE: 1/4" = 1'



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:
1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

NO.	REVISION

PAGE TITLE:
Rear and Front Exterior Elevation

SHEET #:
A9

SCALE:
1/8" = 1'0"

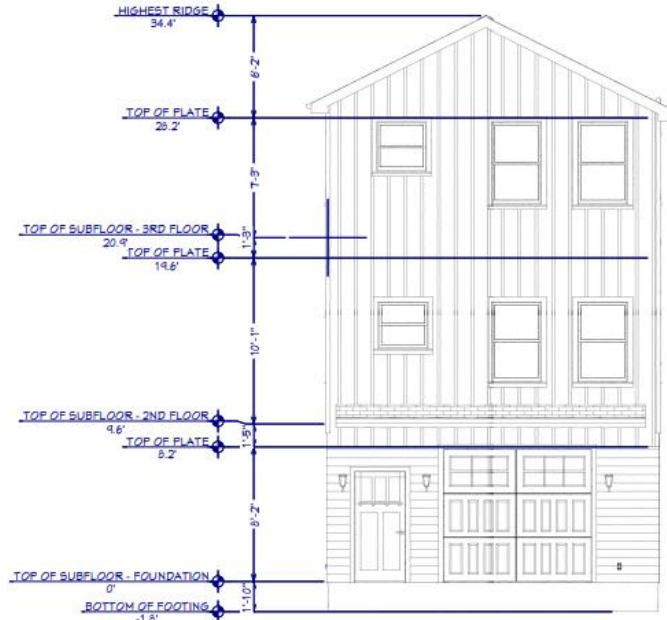
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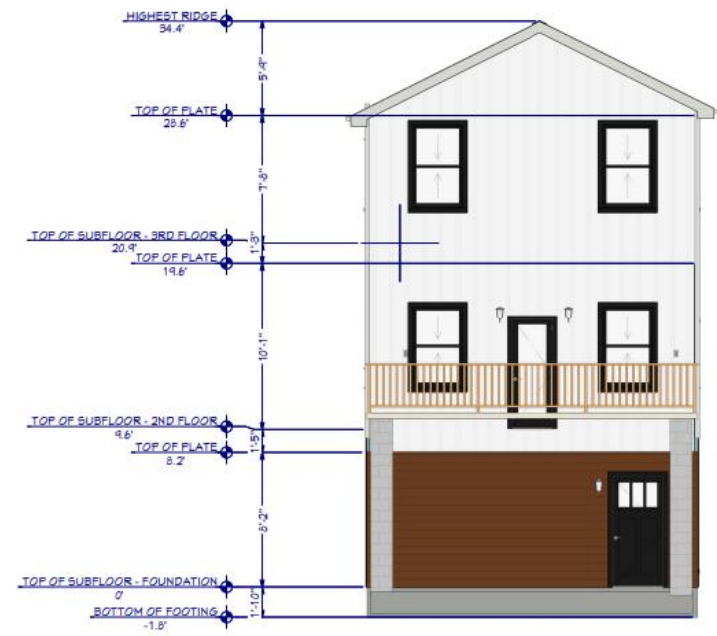
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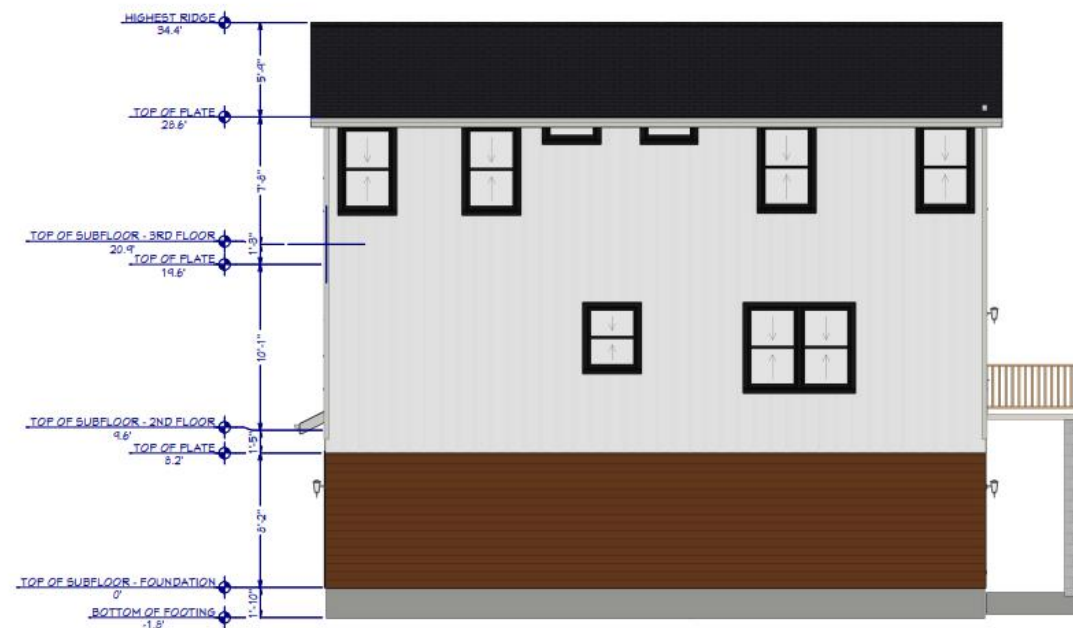
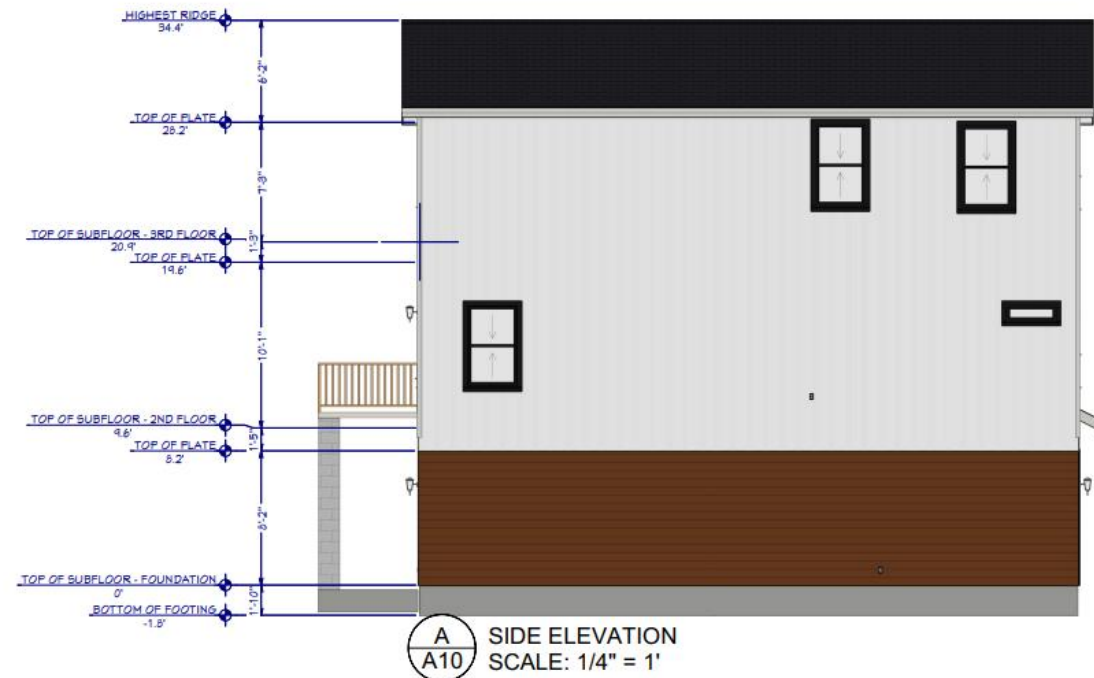
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A
A9 FRONT ELEVATION
SCALE: 1/4" = 1'



B
A9 BACK ELEVATION
SCALE: 1/4" = 1'





PROJECT INFORMATION:
1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

Rev	Description

PAGE TITLE:
Side Exterior Elevation

SHEET #:
A10

SCALE:
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12/18/2025

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STRUCTURAL DESIGN NOTES:

DEAD LOADS	ACTUAL SELF WEIGHT
ROOF LIVE LOADS	20PSF
FLOOR LIVE LOADS	40 PSF
BEDROOM LIVE LOADS	30 PSF
GROUND SNOW LOAD	5 PSF
ATTIC (W/O STORAGE)	10 PSF
DECK LIVE LOADS	60 PSF
ATTIC (W/ STORAGE)	20 PSF

CODE COMPLIANCE:

PROJECT DESIGNED IN ACCORDANCE WITH:	
A. INTERNATIONAL RESIDENTIAL CODE	2021 EDITION
B. ASCE 7	2016 EDITION

BASIC REVIEW INFORMATION:

1. DESIGN WIND SPEED	150
2. EXPOSURE CATEGORY	B
3. SEISMIC DESIGN CATEGORY	D2
4. SOIL BEARING CAPACITY (ASSUMED)	1,500 PSF
5. WINDOW DP RATING	DP50
6. WINDOW PROTECTION	IMPACT RATED PER IRC 301.2.1.2

GENERAL DESIGN NOTES:

1. FOUNDATION AND STRUCTURAL MEMBERS SHALL BE ANCHORED TO RESIST FLOTATION, COLLAPSE & LATERAL MOVEMENT DUE TO THE EFFECTS OF WIND AND WATER ASSOCIATED WITH THE BASE FLOOD ELEVATION AND IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE LATEST EDITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR THE STABILITY OF THE STRUCTURE DURING ALL PHASES OF THE CONSTRUCTION PROCESS.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL OPENINGS. REFER TO THE MECHANICAL AND ELECTRICAL PLANS FOR SIZE AND LOCATION OF ALL OPENINGS FOR DUCTS, PIPES, CONDUITS, ETC. NOT SHOWN.
4. IN CASE OF CONFLICT BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE SUBSTANTIAL REQUIREMENT SHALL BE ASSUMED TO GOVERN UNTIL A RULING IS MADE BY THE ARCHITECT AND/OR ENGINEER.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR ALL STRUCTURAL COMPONENTS THAT REQUIRE SHOP DRAWINGS. STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTIONS SHEETS, OR CONSTRUCTION DRAWINGS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND ONE SET OF PRINTS FOR REVIEW AND APPROVAL. THE PRINTS SHALL BE CLEARLY MARKED "FOR FILE". SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND CONSTRUCTION PROCEDURES PRIOR TO REVIEW BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. PROCEEDING WITH THE WORK APPROVED SHOP DRAWINGS SHALL BE AT CONTRACTORS OWN RISK. WITHOUT
6. THE CONTRACTOR SHALL BUILD THIS PROJECT IN STRICT ACCORDANCE WITH THE MOST CURRENT EDITION OF ALL APPLICABLE CODES AND STANDARDS THAT GOVERN THE WORK.
7. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY ERROR OR INCONSISTENCIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
8. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL DROPPED FLOOR AREAS, FLOOR DRAINS, AND ANY OTHER DETAILS NOT SHOWN ON STRUCTURAL PLANS THAT AFFECT THE WORK.
9. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS THAT RELATE TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT THE ARCHITECT AND/OR ENGINEER.

GEOTECHNICAL:

1. THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS INDICATED IN THE GEOTECHNICAL REPORT, IF SUPPLIED. ALL GEOTECHNICAL QUESTIONS ARE TO BE DIRECTED TO THE GEOTECHNICAL ENGINEER VIA THE ARCHITECT IN WRITING.
2. IF THIS FOUNDATION DESIGN HAS BEEN PREPARED IN THE ABSENCE OF SOIL REPORTS, A SOIL BEARING CAPACITY OF 1500 PSF IS TO BE ASSUMED. THE REASONABLENESS OF THIS ASSUMPTION SHOULD BE VERIFIED PRIOR TO THE COMMENCEMENT OF FOUNDATION WORK FOR THIS PROJECT.
3. TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 8" BELOW THE FINISHED GRADE UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY AND ALL EXCAVATION SLOPES OR ANY OTHER EXCAVATION SITUATIONS.
5. THE EXPOSED SOIL SURFACE AFTER EXCAVATION SHALL BE COMPACTED TO A MINIMUM OF 98% OF THEIR STANDARD PROCTOR MAXIMUM DRY DENSITY TO COMPLY WITH ASTM D698 TO A DEPTH OF 8".

CONCRETE:

1. CONCRETE SHALL BE A MINIMUM OF 3,000 psi.
2. ALL CONCRETE WORK SHALL COMPLY WITH "AMERICAN CONCRETE INSTITUTE: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318 LATEST EDITION) AND "AMERICAN CONCRETE INSTITUTE: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301 LATEST EDITION).
3. ALL CONCRETE REINFORCING WORK SHALL COMPLY WITH "AMERICAN CONCRETE INSTITUTE: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (ACI 315 LATEST EDITION)
4. CONCRETE SLUMP SHALL NOT EXCEED 4".
5. CONCRETE SHALL BE CAST IN PLACE AND COMPACTED BY VIBRATING AND SUPPLEMENTED WITH HAND TAMPING AND SPADING AS REQUIRED.
6. CONCRETE SHALL BE MAINTAINED ABOVE 50° F AND IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT UNLESS OTHERWISE NOTED.
7. ALL REBAR SHALL BE GRADE 60 OR 60S, DEFORMED CONFORMING WITH ASTM 615.
8. ALL REBAR MINIMUM LAP SHALL COMPLY WITH ACI-318. ALL WELDED WIRE FABRIC SHALL BE OVERLAPPED 1'-0" MINIMUM, AT SIDES AND ENDS AND BE ADEQUATELY TIED. FIBERMESH MAY BE USED AS AN OPTION.
9. ALL CONCRETE SLABS ON GRADE SHALL BE THICKNESS AS INDICATED ON THE DRAWINGS OVER A MINIMUM 10 MIL. POLYETHYLENE VAPOR BARRIER. SUCH SLABS SHALL BE REINFORCED WITH W6X6 W1.4XW1.4 WWM LAPPED 12" AT EDGES AND ENDS, IN CONFORMANCE WITH ASTM-185
10. FILL UNDER CONCRETE SLABS SHALL BE CLEAN SAND OR ROCK FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
11. ALL FOOTINGS MUST REST ON UNDISTURBED SOIL OR UPON SOIL COMPACTED TO A DENSITY OF AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST THREE FEET (3') BELOW THE BOTTOM OF THE FOOTING.
12. WHERE SHOWN AND AT ALL VERTICAL REINFORCEMENT, CORES OF BLOCK MASONRY SHALL BE FILLED WITH COARSE GROUT OR PEA GRAVEL CONCRETE WITH MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
13. MINIMUM CONCRETE COVER FOR ALL REINFORCEMENT SHALL BE THREE INCHES (3").
14. HORIZONTAL BEAM AND FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH 2'-0" LAP SHALL BE PROVIDED.
15. CONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC. NECESSARY TO SUPPORT REINFORCING STEEL.
16. GENERAL CONTRACTOR SHALL CHECK ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, SLAB DEPRESSIONS, PITCH AND ANY OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR LOCATION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPECIFIED STRENGTH AND PROPER PLACING OF ALL CONCRETE AND POSITIONING OF ALL REINFORCING STEEL.
18. ALL CONCRETE IMPROPERLY PLACED AND/OR TESTING BELOW SPECIFIED STRENGTH SHALL BE REPLACED, ALONG WITH OTHER AFFECTED WORK AT NO ADDITIONAL COST.
19. ALL CONCRETE WITH A VERTICAL LIFT OF 12" OR MORE SHALL BE COMPACTED WITH HIGH FREQUENCY, INTERNAL MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND SPADING AND TAMPING AS NECESSARY.
20. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WITH CONCRETE BEING PLACED AND CURED DURING VERY COLD OR VERY HOT WEATHER. THE CONTRACTOR SHALL FOLLOW THE PROCEDURES ESTABLISHED BY THE ACI FOR HOT AND COLD WEATHER PLACEMENT.
21. NON-SHRINK POURABLE GROUT SHALL BE USED UNDER ALL COLUMN AND BEAM BASE PLATES ONCE MATERIAL IS SET, PLUMB AND LEVEL.

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

NO.	Description

PAGE TITLE:

STRUCTURAL NOTES

SHEET #:

S001

SCALE:

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DATE:

12/18/2025

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MASONRY

1. FOR ALL BEAM BEARING LOCATIONS ON MASONRY WALLS, CONTRACTOR SHALL FILL MASONRY CELLS WITHIN 2'-0" OF BEAM BEARING WITH A MINIMUM 3000 PSI PEA GRAVEL CONCRETE. A #5 BAR SHALL BE SUPPLIED IN EACH OF THESE CELLS AND TIED TO THE FOOTING REINFORCEMENT.
2. A #5 BAR SHALL BE PLACED AT EACH SIDE, TOP AND BOTTOM OF ALL OPENINGS. ALL HORIZONTAL AND VERTICAL REINFORCING SHALL EXTEND A MINIMUM OF 30" BEYOND THE OPENING.
3. ALL LINTEL BEAMS SHALL BEAR A MINIMUM OF 12" ON EACH SIDE OF THE OPENINGS. ALL CELLS UNDER THE BEARING POINTS SHALL BE REINFORCED WITH A #5 BAR IN EACH CELL AND BE TIED TO THE FOOTING REINFORCEMENT.
4. CONCRETE MASONRY SHALL HAVE A MINIMUM F₂₈ OF 1500 PSI. THIS IS ACHIEVED BY A CONCRETE BLOCK MASONRY UNIT WITH A NET AREA COMPRESSIVE STRENGTH OF 2000 PSI WHEN USED WITH TYPE M OR S MORTAR.
5. THE CONTRACTOR SHALL INSTALL REINFORCEMENT PLACEMENT WALL TIES TO ENSURE THAT REINFORCEMENT IS PROPERLY PLACED.
6. ALL RUNNING BOND MASONRY SHALL HAVE 9 GAUGE GALV. LADDER TYPE JOINT REINFORCEMENT @ 16" O.C. VERTICALLY. AT ALL WALL CORNERS AND ALL INTERSECTIONS PROFORMED BED JOINT REINFORCEMENT SHALL BE USED.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WHEN MASONRY WORK IS TO BE ERECTED DURING COLD WEATHER (AMBIENT TEMPERATURE BELOW 40° F), DURING HOT WEATHER (ABOVE 90° F) PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EXCESS HEAT OR COLD IN THE MASONRY UNITS. WATER, AND MORTAR, THE CONTRACTOR IS TO BE ADVISED TO FOLLOW THE RECOMMENDATIONS SET FORTH BY THE PORTLAND CEMENT ASSOCIATION FOR COLD OR HOT WEATHER APPLICATIONS.
8. FILL ALL CELLS BELOW FLOOR FRAMING (RETAINING WALLS) OR CONTAINING REINFORCEMENT WITH 2000 PSI PEA GRAVEL. GROUT, PLACE CONCRETE IN LIFTS THAT ARE NO HIGHER THAN 5 FEET. ALL MASONRY UNITS SHALL BE CLEAN AND DRY PRIOR TO FILLING WITH CONCRETE. REINFORCING SHALL BE TIED & SPICED AS NECESSARY.
9. ALL MASONRY SHALL BE PLACED IN FULL MORTAR BED. TYPE M OR S SHALL BE USED.
10. TYPICAL MASONRY REINFORCEMENT SPLICES SHALL BE AS FOLLOWS: #4 BARS-24"LAP #5 BARS-30"LAP #6 BARS-36"LAP #7 BARS-42"LAP #8 BARS-48"LAP
11. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY CONTROL JOINTS AND BRICK EXPANSION JOINTS. ALL CONTROL AND EXPANSION JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE NATIONAL CONCRETE MASONRY ASSOCIATION. IN NO CASE SHALL EXTERIOR WALL JOINTS BE SPACED GREATER THAN 25 FEET AND INTERIOR WALL JOINTS SHALL NOT EXCEED 30 FEET ON CENTER.
12. THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS FOR REINFORCEMENT SHOWING THE NUMBER, SIZE, AND LOCATION, INCLUDING BAR LISTS AND DIAGRAMMS FOR THE COMPLETION OF WORK.
13. ALL MASONRY OPENINGS SHALL BE PROVIDED WITH A "CASTCRETE" OR "POWERS STEEL" LINTEL BEAMS WITH (2) #5 REBAR.

STRUCTURAL & MISCELLANEOUS STEEL:

1. ALL FRAMING AND MISCELLANEOUS STEEL SHALL BE WELDED WITH A FILLET ALL AROUND UNLESS NOTED OTHERWISE. WELD SIZE SHALL BE THE MAXIMUM ALLOWED BY THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" BASED ON THE THICKNESS OF THE MATERIAL.
2. SHOP AND FIELD CONNECTIONS NOT DETAILED ON THE DRAWINGS MAY BE WELDED OR BOLTED. CUTS, HOLES, COPING, ETC., REQUIRED FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND BE FABRICATED IN THE SHOP. FIELD CUTTING AND/OR BURNING IS NOT PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
3. THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE WEB REINFORCEMENT AT ALL OPENINGS IN STEEL MEMBERS INCLUDING BEAMS, JOISTS, AND GIRDERS.
4. ALL STRUCTURAL STEEL BEAMS SHALL HAVE A YIELD STRESS OF 50 KSI. PLATES, ANGLES, AND MISC. STEEL SHALL COMPLY WITH THE LATEST EDITION OF ASTM A-36. UNLESS OTHERWISE NOTED, STEEL PIPES SHALL COMPLY WITH ASTM A-501. STEEL TUBES SHALL CONFORM TO ASTM A-500.
5. STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF BEAM ELEVATIONS AS NOTED ON DRAWINGS. IN CASE OF A CONFLICT, THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID AND ADDRESS IT TO THE ENGINEER IN WRITING.
6. ALL HARDWARE AND TIE DOWN STRAPS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
7. ALL BEAM CONNECTIONS SHALL BE 3/4" DIAMETER BOLT OR SLIP CRITICAL TYPE CONNECTIONS A-325/BOLTS UNLESS NOTED OTHERWISE. ALL BEAM AND GIRDRED CONNECTIONS UNLESS SHOWN OTHER DISTRIBUTED LOADING CAPACITY OF MEMBER FOR ITS SPAN AS PER THE AISC MANUAL OF STEEL CONSTRUCTION (LATEST EDITION), ALL OTHER CONNECTIONS THAT ARE NOT INDICATED SHALL BE BOLTED (3/4" DIAMETER) CONNECTIONS USING AN A-325 SLIP CRITICAL TYPE BOLT, UNLESS OTHERWISE NOTED.
8. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS TO COMPLY WITH A.W.S. SPECIFICATIONS (LATEST EDITION). BOTH SHOP AND FIELD WELDER CERTIFICATIONS SHALL BE CURRENT UNTIL THE COMPLETION OF THE STEEL WORK AND MADE AVAILABLE UPON REQUEST OF THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO DELAY SHOP DRAWING APPROVAL IN THE ABSENCE OF THE REQUESTED CERTIFICATES.
9. ANCHOR BOLTS SHALL COMPLY WITH ASTM A-307.
10. FIELD SPLICES SHALL BE DESIGNED AND CONSTRUCTED TO DEVELOP THE FULL CAPACITY OF THE MEMBER IN BENDING, SHEAR, AND AXIAL LOADING TO COMPLY WITH THE AISC SPECIFICATIONS.
11. WEB STIFFENER PLATES ARE TO BE SUPPLIED BY THE CONTRACTOR AT THE END OF STEEL BEAM CANTILEVERS AND IN THE BENDS OF ALL CRIPPLED BEAMS (DIAGONALLY). THE STIFFENER PLATE THICKNESS SHALL EQUAL OR EXCEED THE FLANGE THICKNESS OF THE BEAM.
12. USE TWO SIDED WEB ANGLE CONNECTIONS FOR ALL BEAM CONNECTIONS PER AISC SPECIFICATIONS (LATEST EDITION) UNLESS OTHERWISE NOTED OR DETAILED.
13. THE CONTRACTOR SHALL SUBMIT DETAILED STRUCTURAL STEEL SHOP DRAWINGS TO INCLUDE COLUMNS, BEAMS, JOISTS, BRIDGING, DECKING, AND ANY CONNECTIONS. THESE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT. STEEL FABRICATOR SHALL SUPPLY EMBEDDED STEEL PLATE AND BRACKET LOCATION DRAWINGS. THE STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTION SHEETS, OR ERECTION PLANS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND ERECTION PROCEDURE PRIOR TO SUBMITTAL TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. THE CONTRACTOR PROCEEDING WITHOUT APPROVED SHOP DRAWINGS IS DOING SO AT HIS OWN RISK.
14. ALL STEEL BEAMS AND JOISTS GIRDER SHALL BEAR FULLY ON STEEL BEARING PLATES (TYPICALLY).
15. A CONTINUOUS 3/8" PLATE SHALL BE SHOP WELDED TO THE BOTTOM FLANGE OF ALL BEAMS SUPPORTING MASONRY UNLESS NOTED OTHERWISE.
16. THE ENGINEER SHALL VERIFY THAT JOIST AND BEAM BEARING ELEVATIONS ENSURE PROPER ROOF SLOPES TO ALLOW FOR DRAINAGE AND CORRECT FLOOR ELEVATIONS. SEE ARCHITECTURAL DRAWINGS FOR FLASHING, ROOFING, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL PLANS.
17. FOR ALL STEEL BEAM LOCATIONS, INSTALL STEEL STIFFENER PLATES ON EACH SIDE OF THE WEB AT SUPPORTS AND LOCATIONS OF POINT LOADS FROM BEAMS AND COLUMNS.
18. NON-SHRINK GROUT SHALL BE PLACED UNDER ALL BASE PLATES AFTER THE STEEL IS SET, PLUMB AND LEVEL.
19. GALVANIZED HURRICANE ANCHORS (SIMPSON TYPE H2 S OR H10) SHALL BE USED FOR ALL RAFTER ANCHORAGES AT INTERSECTIONS WITH ALL WALLS OR BRICK WALLS OR DIAPHRAGM STIFFNESS STEEL (S.S.). HURRICANE ANCHORS SHALL BE USED IN AREAS EXPOSED TO THE ATMOSPHERE, FASTENED WITH (S.S.) RING SHANK NAILS.
20. ALL WELDS THAT ARE APPLIED TO ANY EXPOSED STEEL MEMBER SHALL BE FIELD COATED WITH A ZINC RICH PAINT.
21. ALL STEEL BEAMS AND STEEL COLUMNS SHALL BEAR ON STEEL PLATES (MIN. SIZE 7"x12"x1/2"). SHOP DRAWINGS TO BE APPROVED BY THE ARCHITECT/ENGINEER.
22. ALL STRUCTURAL STEEL SHALL BE DELIVERED WITH ONE COAT OF PRIMER & SHALL BE FIELD PAINTED W/ 2 COATS OF PAINT. TOUCH UP AFTER ERECTION.
23. COLD-FORMED METAL STUDS SHALL CONFORM TO ASTM A653 (Fy = 33.0 KSI) AND SHALL BE CLARK PCS SERIES (1-5/8" FLANGES & 1/2" LIPS) SIZED AS INDICATED OR APPROVED EQUAL.

TIMBER DESIGN NOTES:

1. ALL WOOD FRAMING SHALL BE FABRICATED AND INSTALLED PER AITC AND TPI AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
2. ALL STRUCTURAL WOOD MEMBERS SHALL BE SOUTHERN YELLOW PINE #1 NON-DENSE OR #2 DENSE UNLESS NOTED OTHERWISE AND HAVE A MINIMUM EXTREME FIBER STRESS IN BENDING (FB) = 1200 PSI AND MODULUS OF ELASTICITY OF 1,600,000.
3. ALL LUMBER SHALL BE CONTINUOUS WITHOUT SPLICES EXCEPT AS NOTED ON THE STRUCTURAL PLANS OR DETAILS. BUTT SEAMS IN GIRDERS, BEAMS AND HEADERS, INCLUDING INDIVIDUAL MEMBERS IN MULTIPLY BEAMS, SHALL BE LOCATED AT SUPPORTS.
4. ALL TREATED WOOD SHALL COMPLY WITH THE LATEST EDITION OF CODES. LUMBER AND ENGINEERED WOOD PRODUCTS EXPOSED TO WEATHER OR EXPOSED TO MASONRY OR CONCRETE SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) GUIDELINES FOR THE SPECIFIED EXPOSURE. CUT ENDS OF PRESSURE TREATED MEMBERS SHALL BE COATED WITH THE MANUFACTURER'S SUPPLIERS APPROVED PRESERVATIVE. LUMBER SHALL BE TREATED FOR ABOVE OR BELOW GROUND USE AS APPLICABLE.
5. ALL STRAPS / CONNECTORS SPECIFIED ARE SIMPSON STRONG TIE. SEE MANUFACTURER'S MANUALS FOR INSTALLATION INSTRUCTIONS AND DETAILS. CONNECTORS CALLED FOR AS NAILS AND NAILED TO SINGLE FRAMING MEMBERS SHALL USE EQUIVALENT DIAMETER SHORT NAILS SUCH AS SIMPSON N8 OR N10.
6. NAILS BOLTS AND FASTENERS IN CONTACT WITH TREATED LUMBER OR EXPOSED TO WEATHER, MASONRY OR CONCRETE SHALL BE GALVANIZED OR STAINLESS STEEL TO PROTECT FROM CORROSION.
7. NAIL SIZES SHOWN ARE BASED ON COMMON OR HOT DIPPED GALVANIZED BOX NAILS.
8. ALL NAILS TO BE ANNULAR (RING-SHANK) NAILS AS DEFINED IN ASTM F 547.
9. BOLTS SHOWN ARE THROUGH BOLTS WITH WASHERS UNDER BOLT HEADS AND NUTS THAT ARE IN CONTACT WITH WOOD UNLESS OTHERWISE NOTED. BOLT HOLES IN WOOD ARE 1/32" BIGGER THAN THE BOLT DIAMETER. <<CONTINUED>>
10. STRAPPING SHOWN IS INTENDED TO PROVIDE CONTINUOUS LOAD PATHS TO THE FOUNDATION GIRDERS, PILES, COLUMNS AND WALLS TO RESIST THE UPLIFT OF THE WALL STUDS, COLUMN, BEAMS, HEADERS AND OTHER STRUCTURAL ELEMENTS. FRAMER TO MODIFY AS REQUIRED TO SUIT AS BUILT CONDITIONS.
11. ALL ROOF RAFTER ENDS SHALL BE ANCHORED WITH WIND UPLIFT ANCHOR BY SIMPSON OR EQUAL. SUCH ANCHORS SHALL BE USED AT JOINTS BETWEEN PLATES, STUDS, AND GILL PLATES TO PROVIDE A PATH OF UNBROKEN UPLIFT RESISTANCE FROM THE ROOF TO THE FOUNDATION.
12. WHERE CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS, SUBFLOORING OR METAL STRAPS ATTACHED TO THE END OF THE RAFTERS SHALL BE INSTALLED TO PROVIDE A CONTINUOUS ACROSS THE BUILDING THEREBY PREVENTING THE ROOF RAFTERS FROM SPREADING APART. WHERE THE CEILING JOISTS ARE NOT PROVIDED AT THE TOP OF THE RAFTER SUPPORT WALLS, THE RIDGE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY DESIGNED RIDGE SEE STRUCTURAL DRAWINGS.
13. SOLID BLOCKING TO BE PROVIDED BETWEEN ALL FLOOR JOISTS AT MID-SPAN AND ALL LINES OF JOIST SUPPORT EVEN IF NOT SHOWN ON THE SECTION OR DETAIL DRAWINGS. BLOCKING MAY NOT BE SHOWN ON THE STRUCTURAL SECTIONS OR DETAILS FOR CLARITY.
14. ALL NAILING SHALL COMPLY WITH THE STANDARDS SET FORTH IN THE LATEST EDITION OF THE BUILDING CODES.
15. WOOD MEMBERS SHALL NOT BE LESS THAN 6" FROM FINISHED GRADE EXCEPT WHERE SIDING, SHEETING, AND WALL FRAMING OF AN APPROVED PRESSURE TREATED OR NATURALLY DURABLE WOOD PRODUCT.
16. INSTALL EXTRA CONTINUOUS STUDS, NOT JACK STUDS. STUDS SHALL BE INSTALLED AT ALL JAMBS TO REPLACE THE TYPICALLY PLACED STUDS INTERRUPTED BY THE OPENING.
17. PLYWOOD FLOORING SHALL BE 3/4" ADVANTEK OR EQUAL. ALL FLOOR DECKING SHALL BE GLUED AND FASTENED WITH RING-SHANK NAILS AT ALL SUPPORTS WITH A NAILING PATTERN OF 8d NAILS @ 6" O.C. ALONG EDGES AND 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS/JOISTS UNLESS OTHERWISE NOTED.
18. EXTERIOR WALLS SHALL BE TIED TO GIRDERS WITH SIMPSON LSTA30 (OR EQUAL) STRAP TIES AT 6'-0" O.C. AND TIED WITH 1/2" CDX PLYWOOD FROM TOP PLATE TO CMU WALL TIMBER PLATE. EXTERIOR GIRDERS BETWEEN FLOORS TIED W/ SIMPSON LSTA30 (OR EQUAL) STRAP TIES AT MAX. 6'-0" O.C.
19. ENGINEERED LVL BEAMS SHALL BE VERSA-LAM F3 3100 BY BOISE CASCADE.
20. NON-TREATED WOOD MEMBERS SUPPORTED ON MASONRY SHALL BEAR ON TREATED TIMBER PLATES.
21. FLOOR JOISTS SHALL BE FASTENED TO SUPPORTS WITH HURRICANE ANCHORS (SIMPSON TS12 OR EQUAL).
22. ALL PLYWOOD SHEETING SHALL HAVE 1/8" SPACE BETWEEN SHEETS (EXCEPT FOR AREAS THE CALL FOR T & G PLYWOOD).
23. LOAD BEARING WALLS AND/OR SHEAR WALLS LOCATED PERPENDICULAR TO FLOOR JOISTS SHALL HAVE SOLID BLOCKING SECURELY PLACED BETWEEN THE FLOOR MEMBERS. THIS SOLID WOOD BLOCKING SHALL BE FOR THE FULL DEPTH OF THE FLOOR MEMBERS AND BE LOCATED DIRECTLY UNDER THE WALL FOR THE FULL BEARING WIDTH AND LENGTH OF THE WALL CONSTRUCTION.



PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:	
NO.	DESCRIPTION
PAGE TITLE:	
STRUCTURAL NOTES	
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S002	
SCALE:	
N/A	
DATE:	
12/18/2025	
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PROJECT INFORMATION:

1851 DOSCHER ST
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TMS#4640100125

Revision Table:	
Date	Description

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STRUCTURAL NOTES

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S003

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HEADER / LINTEL SCHEDULE

SINGLE STORY OR SECOND FLOOR

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S 3.5X8 LVL/PSL	1	1
3'-3" TO 6'-2"	2 - 2X8'S 3.5X7.25 LVL/PSL	1	2
6'-3" TO 8'-0"	2 - 2X10'S 3.5X9.25 LVL/PSL	1	2
8'-1" TO 10'-0"	(2)1.75X10 LVL	2	3

FIRST FLOOR W/ FLOOR ABOVE

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S	1	1
3'-3" TO 6'-2"	2 - 2X10'S	2	2
6'-3" TO 8'-0"	2 - 2X12'S	2	2
8'-1" TO 10'-0"	(2)1.75X12 LVL	2	3

ALL LINTELS SHALL BEAR ON NOT LESS THAN DOUBLE CUT JACK STUDS. JACK STUDS SHALL BE NAILED TO SUPPORTING DOUBLE KING STUDS WITH 2 ROWS OF 16D NAILS AT 12 O.C. STAGGERED.

FOR 2X6 WALLS, ADD AN ADDITIONAL PLY OF LINTEL MATERIAL.

SEE STRAPPING DETAIL FOR UPLIFT CONNECTIONS AROUND WINDOWS AND DOORS.

THE ABOVE LINTELS/HEADERS ARE INTENDED FOR OPENINGS SUPPORTING ONE FLOOR AND ROOF LOADS ONLY. CONSULT WITH ENGINEER FOR OPENINGS THAT SUPPORT TWO FLOORS AND/OR ROOF LOADS AND FOR THOSE THAT ARE SUPPORTING A POINT OR BEAM LOADING.

THE HEADER SIZES ABOVE DO NOT ALLOW FOR POINT LOADS OR IF A BEAM OR OTHER HEAVILY LOADED ELEMENT FALLS OVER HEADER SHOWN.

MULTI-PLY HEADERS ARE SIZED WITH THE ANTIPOATION OF PLYWOOD OR OSB MATERIAL INSTALLED IN BETWEEN EACH PLY.

FOR HEADER WIDTHS LESS THAN THE THICKNESS OF THE WALL FRAMING SHIFT HEADER TO OUTSIDE FACE OF WALL.

Multiple LVL Attachment Schedule

FASTENER	(2) PLY LVL	(3) PLY LVL	(4) PLY LVL ⁽¹⁾	(5) PLY LVL ⁽¹⁾
16d Nails	3 ROWS 12" O.C.	3 ROWS 12" O.C. EACH SIDE		
1/4"x3.5" SCREWS	3 ROWS 16" O.C.	3 ROWS 16" O.C. EACH SIDE	3 ROWS 16" O.C. EACH SIDE AND EACH PLY	
1/2" DIA THRU BOLTS	2 ROWS 24" O.C.	2 ROWS 24" O.C.	2 ROWS 16" O.C. STAGGERED	2 ROWS 16" O.C. STAGGERED
1/4"x7" SCREWS			3 ROWS 24" O.C. EACH SIDE STAGGERED	3 ROWS 16" O.C. EACH SIDE STAGGERED

1. FASTENER ROWS ARE TO BE STAGGERED
2. FOR LVL BEAMS 17" OR MORE IN DEPTH, INSTALL AN ADDITIONAL ROW OF THE FASTENER SHOWN ABOVE. IE. 3 ROWS BECOME 4 ROWS.
3. WHERE THE MULTIPLE LVL SUPPORTS A PERPENDICULAR BEAM, INSTALL 2 1/2"Ø THROUGH BOLTS WITHIN 8" EACH SIDE OF PERPENDICULAR BEAM.
4. 4 PLY AND 5 PLY BEAMS ARE TO BE TOP LOADED ONLY AND SHOULD NOT BE SIDE LOADED WITHOUT A CLEAR AND SPECIFIC DETAIL FROM TRUSS PROVIDER OR ENGINEER.

GENERAL NAILING SCHEDULE

Joint Description	Number of Common Nails	Number of Box Nails	Nails Spacing
Roof Framing			
Blocking Rafter(Toe-nailed)	2-8d	2-10d	each end
Rim Board to Rafter(End-nailed)	2-16d	2-16d	each end
Wall Framing			
Top Plates at Intersections(Face-nailed)	4-16d	5-16d	at joint
Stud to Stud(Face-nailed)	2-16d	2-16d	24" o.c
Header to Header(Face-nailed)	16d	16d	16" o.c along edges
Floor Framing			
Joist to Sill, Top Plate or Girder(Toe-nailed)(Fig. 14)	4-8	4-10	each end
Blocking to Joist(Toe-nailed)	3-8	2-10	each end
Blocking to Sill or Top Plate(Toe-nailed)	3-16	4-16	each end
Ledger Strip to Beam or Girder(Face-nailed)	3-16	4-16	each joist
Joist on Ledger to Beam (Toe-nailed)	3-8	3-10	each end
Band Joist to Joist(End-nailed)	3-16	4-16	each end
Band Joist to Sill or Top Plate(Toe-nailed)(Fig. 14)	2-16	3-16	each end
Roof Sheathing			
Wood Structural Panels			
rafters or trusses spaced up to 16" o.c.	8d	10d	6" edge/ 6" field
rafters or trusses spaced over16" o.c.	8d	10d	4" edge/ 4" field
gable endwall rake or rake truss w/o gable overhang	8d	10d	6" edge/ 6" field
gable endwall rake or rake truss w/ structural outlookers	8d	10d	6" edge/ 6" field
gable endwall rake or rake truss w/lookout blocks	8d	10d	4" edge/ 4" field
Ceiling Sheathing			
Gypsum Wallboard	5d coolers	-	7" edge/ 10" field
Wall Sheathing			
Wood Structural Panels			
studs spaced up to 24" o.c.	8d	10d	6" edge/ 12" field
1/2" and 25/32" Fiberboard Panels	8d	-	3" edge/ 6" field
1/2 "Gypsum Wallboard	5d coolers	-	7" edge/ 10" field
Floor Sheathing			
Wood Structural Panels			
1" or less	8d	10d	6" edge/ 12" field
greater than 1"	10d	10d	6" edge/ 6" field

1. Corrosion resistant 11 gage roofing nails and 16 gage staples are permitted,check IBC for additional requirements.
2. Nails. Unless otherwise stated,sizes given for nails are common wire sizes. Box and pneumatic nails of equivalent diameter and equal or greater length to the specified common nails be substituted unless otherwise prohibited.



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:
1851 DOSCHER ST
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TMS#4640100125

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:
1ST. FLOOR FRAMING PLAN

SHEET #:
S110

SCALE:
1/4" = 1'0"

DATE:
12/18/2025

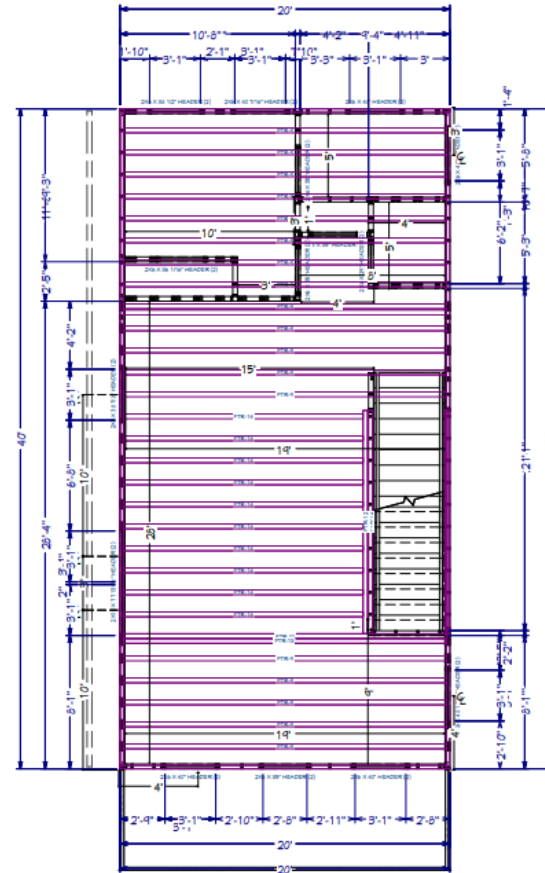
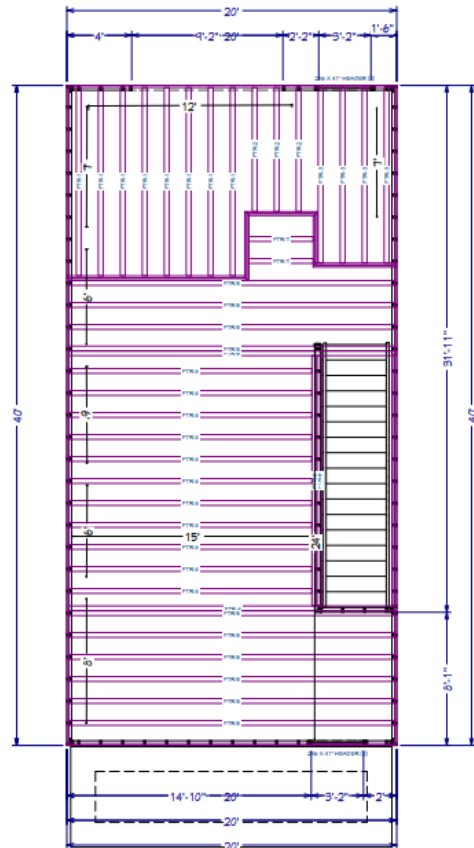
FLOOR FRAMING

DISCLAIMERS:

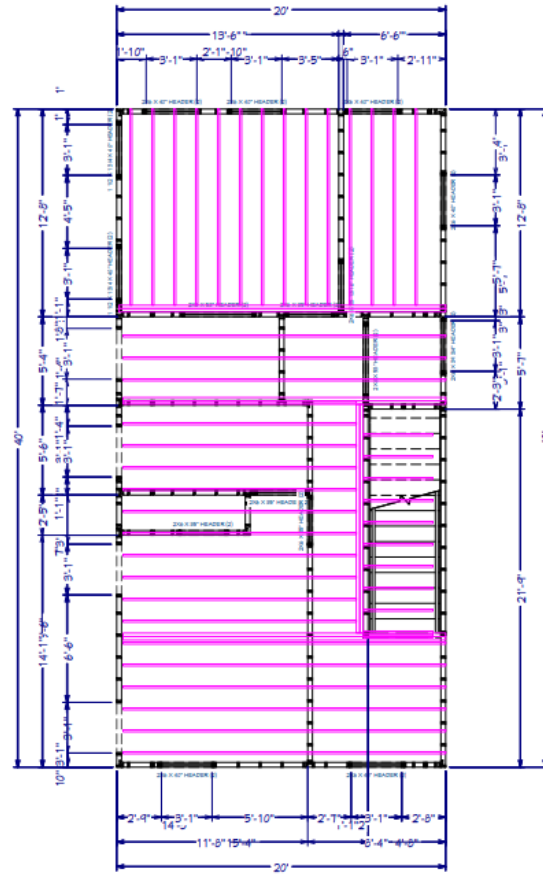
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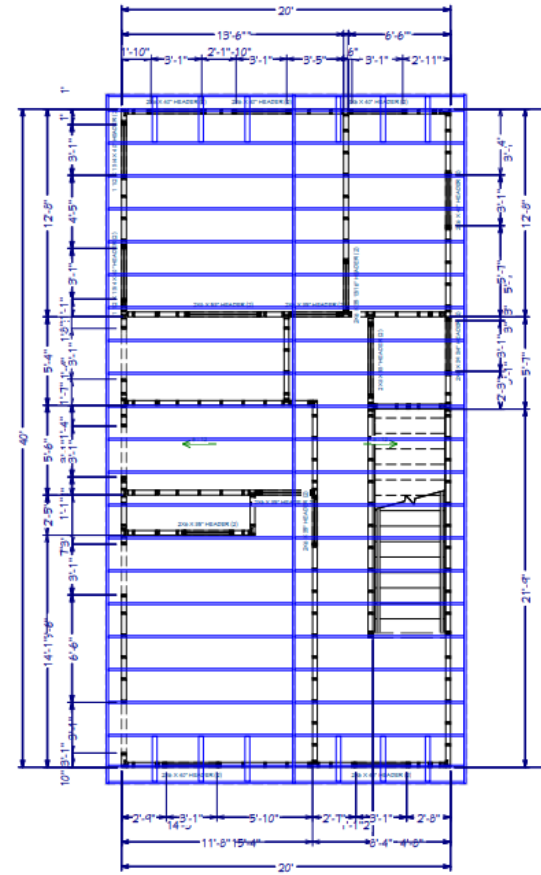
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A
S110 FLOOR FRAMING PLAN
SCALE: 1/4" = 1'



A
S130
CEILING FRAMING PLAN
SCALE: 1/4" = 1'



B
S130
ROOF FRAMING PLAN
SCALE: 1/4" = 1'

PROJECT INFORMATION:
1851 DOSCHER ST
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Revision Table:	
NO.	DESCRIPTION

PAGE TITLE:
CEILING/ROOF FRAMING

SHEET #:
S130

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1/2" = 1'0"

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1851 DOSCHER ST
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TMS#4640100125

Revision Table:

NO.	REVISION

PAGE TITLE:

SLAB DETAILS

SHEET #:

S201

SCALE:

1/4" = 1'-0"

DATE:

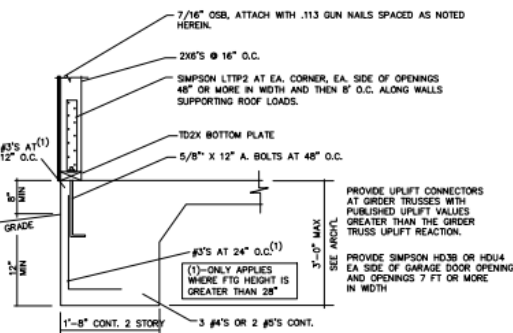
12/18/2025

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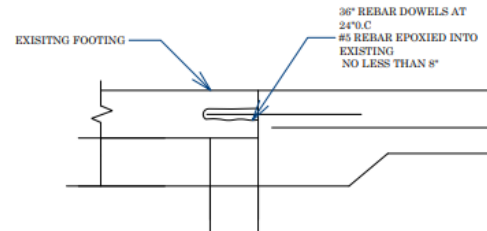
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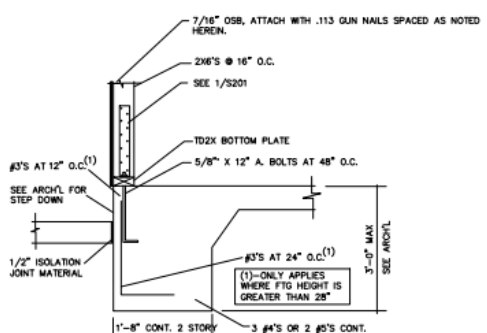
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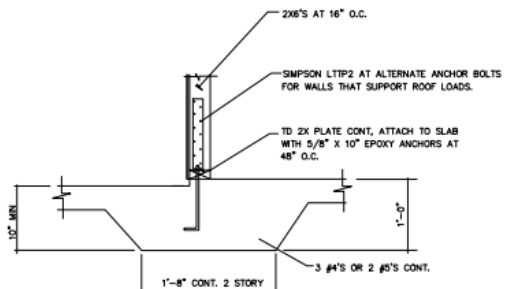
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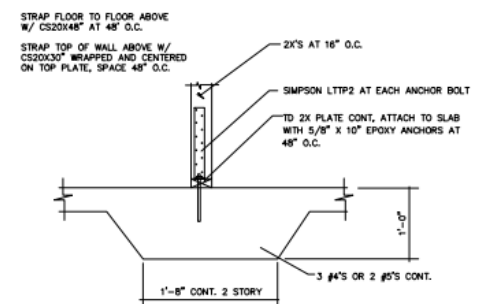
2 NEW TO EXISTING FOOTING CONNECTION
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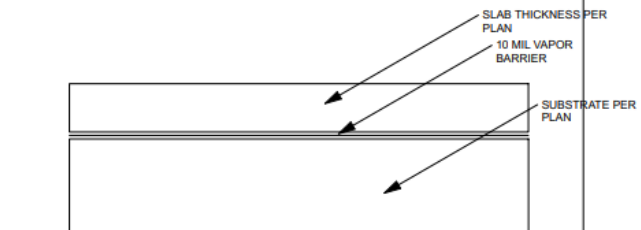
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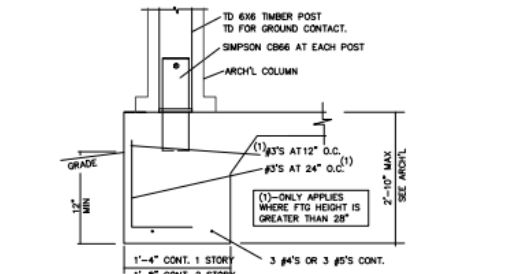
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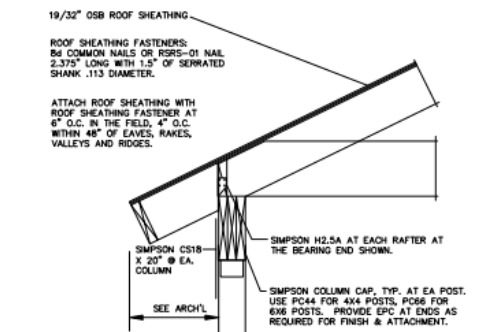
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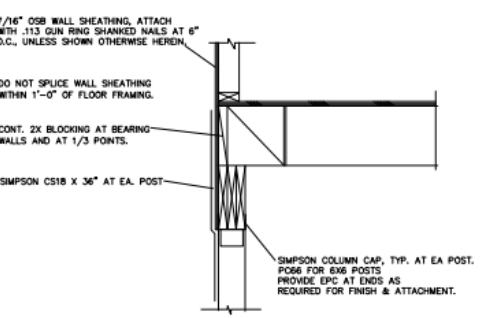
6 VAPOR BARRIER DETAIL
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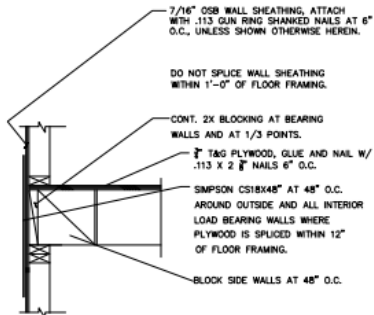
7 POST FOOTING DETAIL
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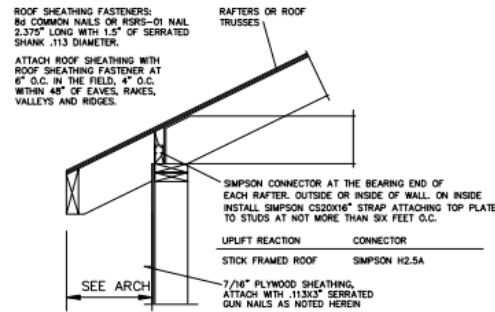
8 EAVE AT PORCH DETAIL
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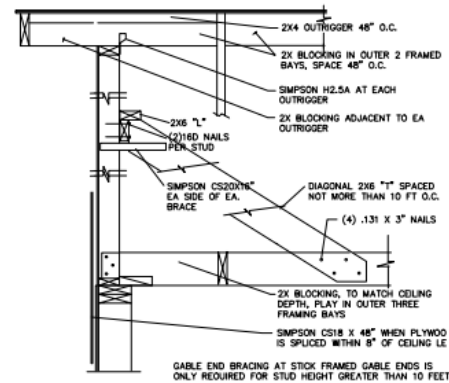
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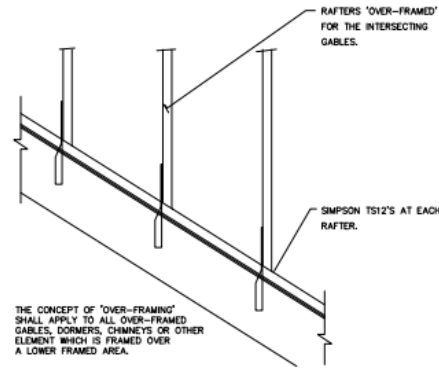
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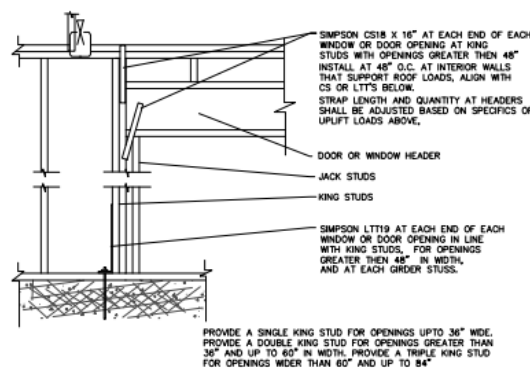
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S202 SCALE N.T.S.



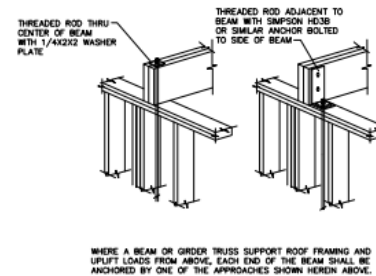
3 GABLE END FRAMING
S202 SCALE N.T.S.



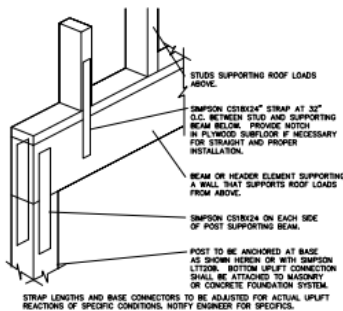
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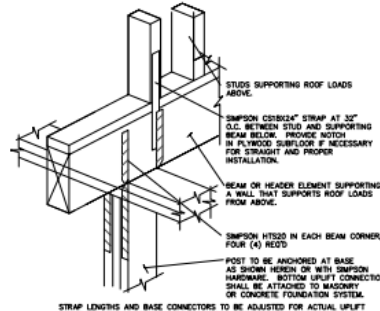
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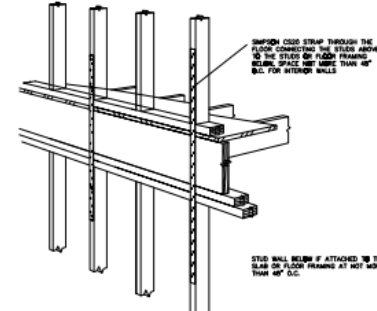
6 BEAM / TRUSS HOLD DOWN
S202 SCALE N.T.S.



7 BEAM STRAPPING DETAIL
S202 SCALE N.T.S.



8 BEAM STRAPPING DETAIL CONT.
S202 SCALE N.T.S.



9 INTERIOR WALL WITH ROOF LOADS
S202 SCALE N.T.S.

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

PAGE TITLE:
STRAPPING DETAILS

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S202

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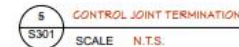
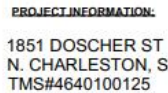
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TMS#4640100125

Revision Table:	
Rev	Description

PAGE TITLE:
STRAPPING DETAILS

SHEET #:
S410

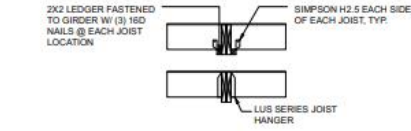
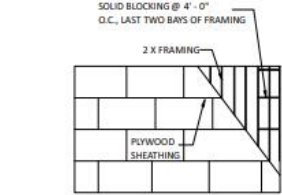
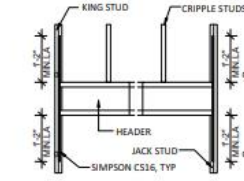
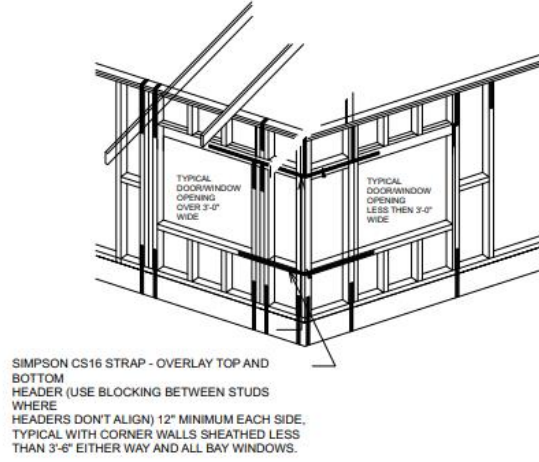
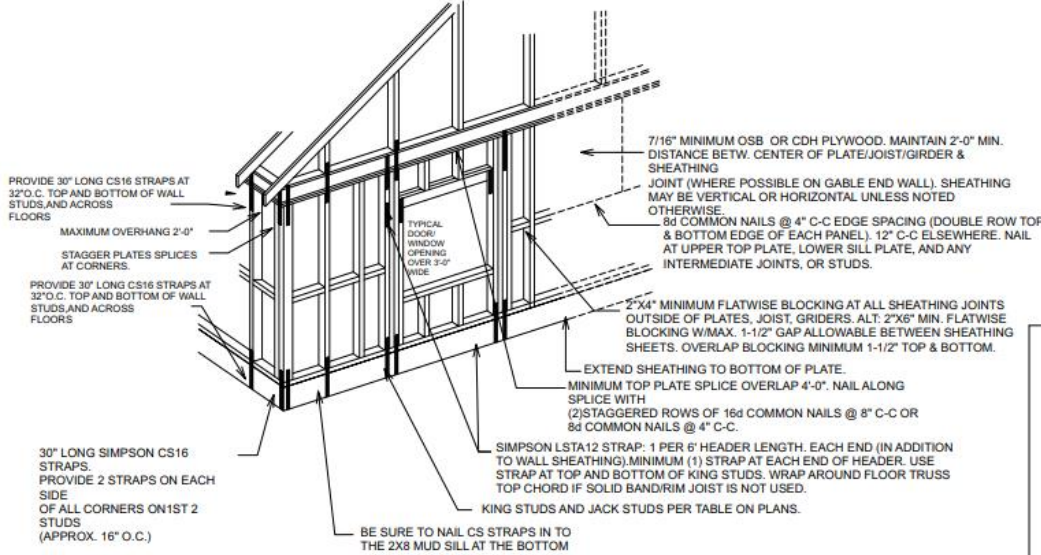
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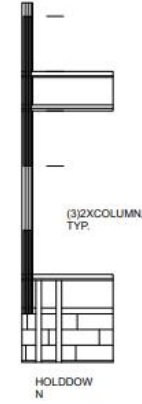


(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

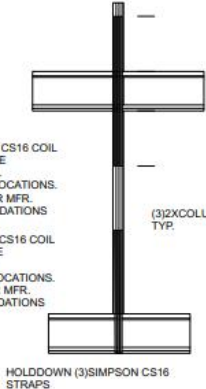
(2) SIMPSON PA51 STRAPS EACH HOLDDOWN LOCATION

CMU WALL (PIERS, SIMILAR)

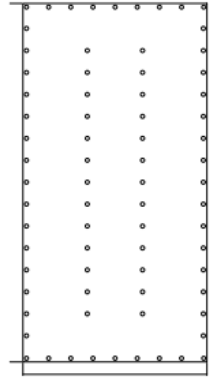


(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

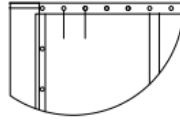


NAIL SPACING @
INTERMEDIATE FRAMING
TO BE 12" (O.C.)



NOTE: SEE PLANS FOR NAIL
SPACING

PANEL EDGE

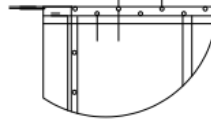


2x FLATWISE BLOCKING

PANEL EDGE
SINGLE ROW OF FASTENERS

SINGLE ROW OF FASTENERS

PANEL EDGE



PANEL EDGE
DOUBLE ROW OF FASTENERS

DOUBLE ROW OF FASTENERS

A
S411

PANEL ATTACHMENT

SCALE N.T.S.

PANEL ATTACHMENT TO UPPER
TOP PLATE OR CEILING JOIST
BAND= DOUBLE ROW 8d NAILS
@ EDGE SPACING PER PLAN

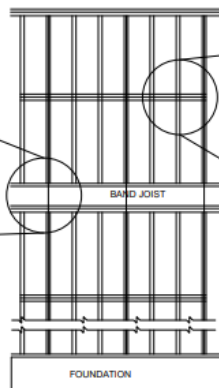
DOUBLE TOP PLATE

8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

8d NAILS @ EDGE
SPACING PER PLAN

STEM WALL/MONO
SLAB FOUND.
CONDITION



(4) 8d COM. NAILS @ 3"
(O.C.) FOR UPLIFT (EACH
SIDE OF HORIZ. JOINT)

NAILING PROVIDED IN
STUDS ON EACH SIDE
OF HORIZ. JOINT

8d NAILS

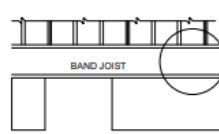
PANEL EDGE

DOUBLE ROW OF 8d
NAILS @ EDGE SPACING
PER PLAN (O.C.)
STAGGERED

BOTTOM PLATE

(4) 8d COM. NAILS @ 3"
(O.C.) FOR UPLIFT (EACH
SIDE OF HORIZ. JOINT)

CRAWLSPACE AND
PIER FOUNDATION
CONDITION



BOTTOM PLATE

8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

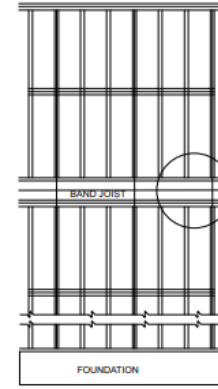
8d NAILS @ EDGE
SPACING PER PLAN

B
S411

PANEL SPLICE OCCURRING ACROSS STUDS

SCALE N.T.S.

DOUBLE TOP PLATE



PANEL ATTACHMENT TO UPPER
TOP PLATE OR CEILING JOIST
BAND= DOUBLE ROW 8d NAILS
@ EDGE SPACING PER PLAN

8d NAILS @
SPACING PER PLAN

SEE PLAN
FOR "S" NAIL
SPACING

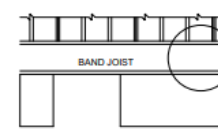
PANEL EDGE

DOUBLE ROW OF 8d
NAILS @ EDGE
SPACING PER PLAN

BOTTOM PLATE

DOUBLE ROW OF FASTENERS

STEM WALL/MONO
SLAB FOUND.
CONDITION



BOTTOM PLATE

8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

8d NAILS @ EDGE
SPACING PER PLAN

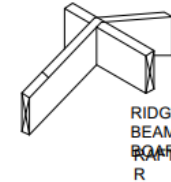
CRAWLSPACE AND
PIER FOUNDATION
CONDITION

C
S411

PANEL SPLICE OCCURRING OVER HORIZ. FRAMING MEMBERS

SCALE N.T.S.

COLLAR TIE, ALTERNATE
EVERY OTHER RAFTER
MIN. (9) 8D NAILS EA. END



RIDGE
BEAM/
BOARD
R

D
S411

RIDGE UPLIFT STRAPPING (ALTERNATIVE TO CONVENTIONAL COLLAR TIE)

SCALE N.T.S.

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

Date	Description

PAGE TITLE:

SHEATHING DETAILS

SHEET #:

S411

SCALE:

N/A

DATE:

12/18/2025

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SCALE BY 50%.

PROJECT INFORMATION:

1851 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100125

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

DECKS AND STAIRS

SHEET #:

S430

SCALE:

N/A

DATE:

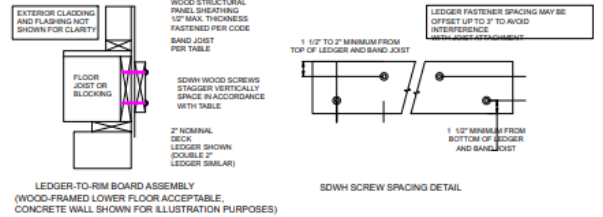
12/18/2025

DISCLAIMERS:

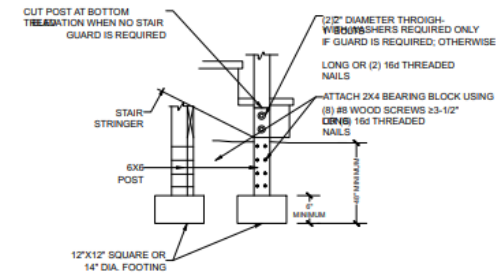
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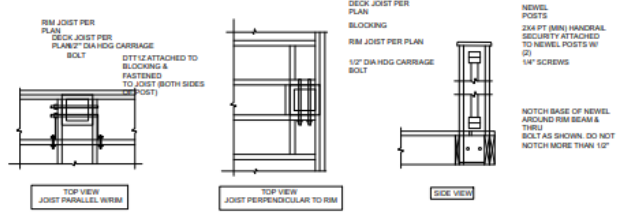
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B
S430
LEDGER ATTACHMENT
DETAIL SCALE N.T.S.



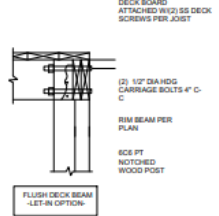
C
S430
STRINGER TO POST CONNECTION
SCALE N.T.S.



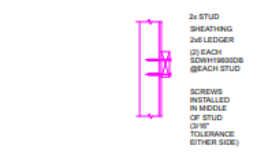
DETAIL NOTES:

1. THIS DETAIL APPLIES TO BASE CONNECTION OF HOLLOW OR SOLID COLUMNS AND GUARDRAIL NEWEL POSTS BOLTED DIRECTLY TO THE TOP OF DECK FRAMING.
2. MAXIMUM NEWEL POST SPACING = 6'-0\"/>

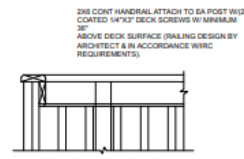
D
S430
LEDGER ATTACHMENT @STUD WALL CONNECTION
DETAIL SCALE N.T.S.



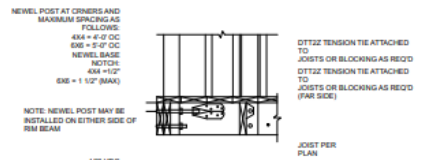
E
S430
TYPICAL BEAM TO POST CONNECTION
DETAIL SCALE N.T.S.



B1
S430
LEDGER ATTACHMENT @STUD
DETAIL SCALE N.T.S.



J
S430
TYPICAL DECK TOP RAIL
CONNECTION SCALE N.T.S.



H
S430
TYPICAL NEWEL POST
CONNECTION SCALE N.T.S.

Agenda Item #B-17

1853 Doscher Ave.

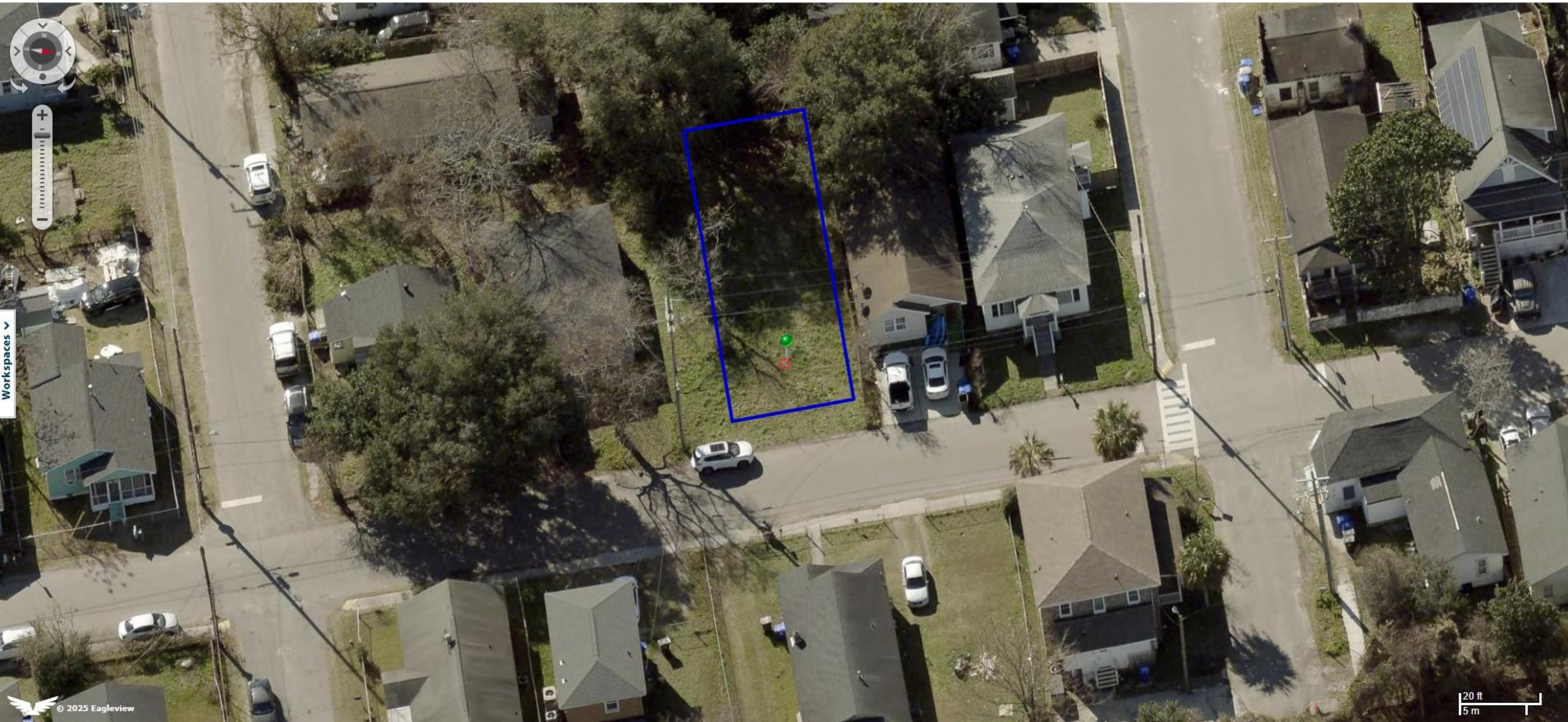
(Rosemont)

TMS # 464-02-00-124

Request special exception under Sec. 54-501 to build a detached single-family home on a lot of insufficient size and a variance from Sec. 54-301 to allow a 5' east side setback and a 5' west side setback (9' and 9' required).

Zoned: SR-1





Workspaces ▼



© 2025 Eagleview

20 ft
5 m



Application for Variance, Special Exception, Reconsideration, or Extension
to the **Board of Zoning Appeals – Zoning (BZA-Z)** **Page 1 of 2**

City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 1/20/2026

Property Address 1853 Doscher Ave. TMS # 464-01-00-124

Property Owner David Natsky Daytime Phone

Applicant David Natsky Daytime Phone

Applicant's Mailing Address 117 Goose Creek Dr.

Goose Creek, SC 29445. E-mail Address misternatsky@gmail.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Same

Zoning of property SR-1

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ **YES or ☒ NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 12/11/2025

For office use only

Date application received Time application received
 Staffperson Fee \$ Receipt #

PLAN INDEX	
Label	Title
1	Master Border Page Template
2	Project Overview
A1	General Notes/Codes
A2	General Notes/Codes
A3	Site Plan
A4	Proposed Plans
A5	Electrical Plans
A6	Window/Door Schedules
A7	FIRE RATING
A8	Roof Plans
A9	Rear and Front Exterior Elevation
A10	Side Exterior Elevation
S001	STRUCTURAL NOTES
S002	STRUCTURAL NOTES
S003	STRUCTURAL NOTES
S110	1ST. FLOOR FRAMING PLAN
S130	CEILING/ROOF FRAMING
S201	SLAB DETAILS
S202	STRAPPING DETAILS
S301	HEADER AND CONNECTION DETAILS
S410	STRAPPING DETAILS
S411	SHEATHING DETAILS
S430	DECKS AND STAIRS



PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

No.	Description

PAGE TITLE:

Project Overview

SHEET #:

2

SCALE:

1/4" = 1'0"

DATE:

12/18/2025

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GENERAL NOTES

1. Contractor is responsible for details not shown in this plan set, including foundation, framing, structural connections, roofing, door and window openings, HVAC, insulation, electrical plumbing, building envelope, water tightness and water infiltration products, components and details
2. All construction materials, detailing, connections and workmanship not showing in these plans shall comply with the 2021 International Residential Code for One- and Two-Family Dwellings (2021 IRC).
3. The Contractor shall review all layouts and dimensions prior to construction. First Choice Designs, LLC and the engineer of record shall be notified of any dimensional discrepancies or inconsistencies before materials are ordered or fabricated, and before construction begins.
4. Do not substitute materials, or do not modify layout, spans or structural elements without the written consent of the structural engineer of record or First Choice Designs, LLC.
5. Contractor shall coordinate with electrical, plumbing and mechanical contractors for block outs, conduit, sleeves, ducts, chases, embedded items. No large holes or notches are permitted through any walls or wood framing.
6. During construction, all foundations, walls, floors, trusses and other building elements shall be adequately braced with appropriate temporary shoring to resist construction loads until all structural elements have been permanently installed and secured.



WOOD

1. All framing lumber (joists, rafters, headers and beams) shall be Hem-Fir Grade #2 or Spruce-Pine-Fir Grade #2 or better, having the following minimum base design values: Bending stress $F_b = 850$ psi for single member use 1000 psi for repetitive member use Horizontal shear $F_v = 70$ psi Compression perpendicular to grain $F_c = 405$ psi Compression parallel to grain $F_c = 1100$ psi Modulus of Elasticity $E = 1,300,000$ psi Note: Spruce-Pine-Fir (South) is not acceptable. Spruce-Pine-Fir must be graded by NLGA.
2. All exterior deck framing lumber or structural posts shall be Southern Yellow Pine Grade #2 or better, having the following minimum properties (based on 2x12 lumber): Bending stress $F_b = 975$ psi for single member use 1150 psi for repetitive member use Horizontal shear $F_v = 90$ psi Compression perpendicular to grain $F_c = 565$ psi Compression parallel to grain $F_c = 1450$ psi Modulus of Elasticity $E = 1,600,000$ psi Note: All wood noted as (P.T.) shall be Southern Yellow Pine Grade #2 or better pressure treated to 0.40 pounds per square foot chemical retention.
3. Plywood laminated beams (noted as "LVL" or "Microlam") shall have the following minimum properties: Bending stress $F_b = 2600$ psi for single member use Horizontal shear $F_v = 285$ psi Modulus of Elasticity $E = 1,900,000$ psi NOTE: HIGHER STRENGTH MEMBERS MAY BE USED AS SPECIFICALLY NOTED IN STRUCTURAL DRAWINGS
4. All studs in bearing walls shall be Spruce-Pine-Fir stud grade or better, having the following minimum base design values: Bending stress $F_b = 625$ psi for single member use compression parallel to grain $F_c = 625$ psi Modulus of Elasticity $E = 1,200,000$ psi
5. Exterior walls shall be minimum 2 x 4's @ 16" O.C. for heights up to 10' -0", and 2 x 6's @ 16" O.C. for heights greater than 10' -0". All stud bearing walls shall have two continuous top plates and one continuous bottom plate unless noted otherwise. Splices of top plate shall occur over a stud. Splices shall be staggered a minimum of four feet.
6. Provide solid blocking at 4' -0" O.C. between band joist and first interior parallel joist unless using manufactured floor joists.
7. Prefab joist and beam hangers shall be sized and attached according to manufacturer's requirements.
8. U.N.O. manufactured floor joist systems shall have a min. 1 1/4" PSL rim board at all perimeter bearing walls. Provide squash blocks and web stiffeners as required to distribute loadings.
9. Wood floor joist systems shall have a min. 2x band matching the depth of the floor system.
10. All freestanding posts shall have prefab post cap and base. Posts within wall shall have prefab cap attached to beam. Posts bearing directly on masonry or concrete shall have prefab base.
11. Trusses, truss joists and floor joists shall align directly over studs with an offset of no more than three inches. Install additional studs as required.
12. Holes bored in bearing wall studs shall not exceed 1/3 of stud width
13. Holes shall not be cut through manufactured floor trusses except as specifically allowed by the manufacturer
14. All roof rafters and trusses shall be connected at each bearing point with one prefabricated galvanized metal connector. Each connector shall be min. 18ga. thick and shall be attached to have a capacity to resist a min. 450 # uplift unless noted otherwise.
15. Truss and truss joist spacing shown on the drawings is maximum acceptable spacing of trusses shall be adjusted as required to meet loading requirements.
16. Contractor shall submit roof and floor truss shop drawings and calculations sealed by a professional engineer in the governing jurisdiction to the Architect for review.
17. All structural wood exposed to outside unprotected or bearing directly on concrete or masonry shall be pressure treated (P.T.) with approved materials to resist decay and infestation by termites and/or moisture.
18. All wall sill plates shall be anchored to foundation walls with anchor bolts embedded a min. 6" into poured concrete and 15" into grouted CMU. Minimum 2 anchors per section of plate and max. spacing of anchors at 6' -0" O.C. One anchor shall be placed within 12" from end of each sill plate. All anchor bolts are to be coated in a manner compatible with the method of treatment of the sill plate.
19. All exterior wood framework supported on foundation walls shall be a min. 8" above finish grade.
20. All wood framed exterior corners shall be laterally braced min. 4' -0" each direction from the corner with 112" exterior plywood or other approved structural sheathing or approved galvanized steel corner bracing.
21. Provide blocking between all joists 2x10 and greater, at intervals not to exceed 8' -0" O.C.
22. All structural wood posts under beams and headers over 4' -0" span shall be min. 2 -2 x 4 unless noted otherwise.
23. All framing shall be detailed and installed in accordance with NFPA Manual for House Framing.
24. Unless noted otherwise, plywood subfloors shall be glued and nailed with APA approved elastomeric structural adhesive and min. 8d common nails spaced @ 6" O.C. at edges and @ 12" O.C. at intermediate supports unless noted otherwise.
25. All plywood roof, floor and wall sheathing shall be APA approved.
26. All wood blocking, nailers, etc. shall be attached to steel or concrete framing with power actuated fasteners or 3/8" diameter bolts unless noted otherwise. Fasteners shall be spaced at 32" max. O.C. and shall be staggered. Fasteners shall have a min. capacity of 100# in shear and pullout unless noted otherwise.

DOORS AND WINDOWS

Contractor shall verify that windows and doors to be installed shall comply with applicable building code standards for egress, light, ventilation, and wind impact loads. Contractor shall install fire-rated doors at specific locations as required by applicable building codes.

THERMAL AND MOISTURE PROTECTION

1. All slabs on grade in conditioned spaces shall be insulated with min. min. 1" thick rigid insulation from top of slab downward to 24" below grade and inward 24" from perimeter of slab.
2. Waterproof all exterior foundation walls enclosing habitable spaces as required by applicable building code at exterior of wall prior to backfilling.
3. Flashing: Code approved corrosion resistive flashing shall be provided at top and sides of all window and door openings in such a manner as to be leakproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing material around the perimeter of the opening, including corners, do not require additional flashing. Jamb flashing may also be omitted when specifically approved by the building official. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides of stucco copings; under and at ends of masonry, wood or metal copings and sills; continuously above all projecting wood trim at all wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.
4. The Contractor is further responsible for using sound judgment and accepted building practices to prevent thermal and moisture infiltration and to protect the integrity of the building.
5. Building paper: When veneer of brick, clay tile, fiber cement planks, concrete or natural or artificial stone are used, min. "Tyvek" or equivalent building wrap shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer.

HEATING, VENTILATION AND AIR CONDITIONING

Design and installation of HVAC system, including sizing of equipment and ductwork, is the responsibility of the Mechanical Contractor. These plans typically show suggested locations for installation of return air ducts and gas flues. Duct sizes shown are approximate and actual sizes may vary. Contractor shall verify size and location of these items with design drawings as provided by the installer. ENVIRONMENTAL HAZARDS These plans do not include design for systems to alleviate specific environmental hazards, including radon gas, seepage of toxic waste, acid rain, lead or asbestos which may occur on building sites

P.T. WOOD REQUIREMENTS:

1. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH CHROMATID COPPER ARSENATE (CCA) (AS AVAILABLE AND AS ALLOWED), ALKALINE COPPER QUOT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2 X 12 LUMBER):
 - BENDING STRESS " F_b " = 975 PSI FOR SINGLE MEMBER USE
 - HORIZONTAL SHEAR " F_v " = 90 PSI
 - MODULUS OF ELASTICITY " E_m " = 1,600,000 PSI
 - COMPRESSION PARALLEL TO GRAIN " F_c " = 1,450 PSI
 - COMPRESSION PERPENDICULAR TO GRAIN " F_c " = 565 PSI
2. PREFABRICATED JOIST HANGERS. BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ALL ATTACHED PER MANUFACTURERS RECOMMENDATION.
3. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL BE G85 GALVANIZED OR STAINLESS STEEL.

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Date	Description

PAGE TITLE:

General Notes/Codes

SHEET #:

A1

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DATE:

12/18/2025

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1818 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

General Notes/Codes

SHEET #:

A2

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NOTES ON FLOOR TRUSS SYSTEM:

The floor truss systems are assumed to be TJI joists supplied and engineered by Truss Joist or Equal. The Truss Joist supplier is expected to review all systems and details herein for compatibility with the actual system supplied. Floor trusses supplied by other manufacturers may require different details and may not be substituted without consulting the Architect.

- 3/4" minimum bearing is required at joist ends. 3 1/2" minimum bearing is required when joists are continuous over the support.
- Rim joist material to be 1-1 1/4" Parallel Strand Composite member (U.N.O.).
- Rim joist and cantilever reinforcement shall bear fully on the wall plate.
- Nail joists at bearings with 2-8d (or 10d or 12d box) nails (1 each side), 1 1/2" minimum from end to minimize splitting.
- Nail TJI joist blocking panels or TJI rim joist to bearing plate with 8d nails at 6" O.C.
- Nail rim joist to every TJI joist with 2-8d nails, one each at top and bottom flange.
- Attach 2x4 min. squash blocks to TJI joist top and bottom flanges with 1 -8d nail.
- Web stiffeners are required if the sides of joist hangers do not laterally support(contact) the TJI joist top flange.
- Holes for HVAC, electrical, plumbing, etc. are not allowed except as specifically approved by TrusJoist. Refer to "TJ Joist Hole Charts" in manufacturer's brochure for specific information.
- Refer to keyed details herein for specific TJI joist framing reinforcement and attachment. Details not keyed may not be substituted. If a condition arises that is not specifically keyed and detailed here, contact TrusJoist or their supplier for additional detail as required.
- Contractor shall refer to floor framing diagrams supplied by manufacturer and sealed by a professional engineer for additional information.

STRUCTURAL CRITERIA:			
LOADS (PSF)	LIVE	DEAD	TOTAL
FLOOR JOISTS	40	10	50

ADDITIONAL CRITERIA:
DEFLECTION ON ALL MANUFACTURED FLOOR JOISTS SHALL BE LIMITED TO L/480 OR 1/2". WHICHEVER IS LESS.

WALL BRACING NOTES:

*ALL NEW STRUCTURE IS DESIGNED AND BRACED ACCORDING TO THE REQUIREMENTS OF THE 2021 1-2 Family Residential Code.
*UNLESS OTHERWISE CALLED OUT ON THESE FRAMING PLANS, ALL NEW EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND ON GABLE END WALLS) ARE TO BE BRACED USING THE CS-WSP METHOD, WHICH CALLS FOR CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING WITH A MINIMUM 3/8" THICKNESS, SECURED AT PANEL EDGES WITH 6d COMMON NAILS AT 6" ON CENTER SPACING, AND AT 12" ON CENTER SPACING AT INTERMEDIATE SUPPORTS (OR 16 ga. X 1 3/4" STAPLES SPACED 3" ON CENTER AT PANEL EDGES AND SPACED 6" ON CENTER AT INTERMEDIATE SUPPORTS.
*ALL NEW EXTERIOR CORNER FRAMING SHALL BE IN COMPLIANCE WITH 2021 1-2 Family Residential Code.
*LENGTHS OF BRACED WALL PANELS AT CORNERS ADJACENT TO WINDOW & DOOR OPENINGS ARE DESIGNED TO BE IN ACCORDANCE WITH THE MINIMUM REQUIRED BY 2021 1-2 Family Residential Code.
*WHERE CS/PF IS CALLED FOR ON THESE FRAMING PLANS, WALL PANELS ARE TO BE CONSTRUCTED AS CONTINUOUS PORTAL FRAME BRACED WALL PANELS AS PER 2021 1-2 Family Residential Code.
* ALL OTHER REQUIREMENTS AND DETAILS CONTAINED IN THE IRC-2021 THAT ARE NOT SPECIFICALLY STATED IN THESE NOTES SHALL ALSO BE FOLLOWED. CONSULT ARCHITECT WITH ANY QUESTIONS REGARDING WALL BRACING REQUIREMENTS IN THE FIELD.

GENERAL REQUIREMENTS

- The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Architect in the form of drawings, specifications and written instructions.
- Contractor shall visit the site to verify all existing dimensions and conditions and shall notify the Architect in writing of any discrepancies before proceeding with the work or shall be responsible Contractor shall be familiar with provisions of all applicable codes and shall insure compliance's of the work to those codes.
- These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety are and shall be the Contractor's responsibility.
- Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- If in the event of conflict between local, state, and national codes, the more stringent shall govern.
- All construction is to follow the following code: 2021 I.R.C. One and Two Family Dwelling Code, 2021 edition of SC.

STRUCTURAL SPECIFICATIONS GENERAL REQUIREMENTS

Refer to structural drawings in these documents for specific Structural Criteria including live and dead loading for roofs, floors and other structural components. Under no circumstances shall loading be assumed to be less than the applicable building code minimum.
The conditions and assumptions stated in these documents shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering shall be applied to insure the building's structural integrity.

- These requirements may be superseded by more stringent information within the drawings. The more stringent information shall be followed.
- Any additional equipment or fixtures not shown on structural drawings and having a weight in excess of 400 pounds shall be brought to the attention of the Architect prior to installation.
- The basic stability of the structure is dependent upon the diaphragm action of floors, walls and roof acting together. Contractor to provide all guys, braces, struts, etc. as required to accommodate all live, dead and wind loads until all final connections between these elements are made.
- Basement and foundation walls are dependent upon the completed installation of floors for their stability. Contractor shall not place backfill until these elements are completely installed, or Contractor has provided shoring and braces as required to adequately restrain wall.



1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Date	Description

Site Plan

A3

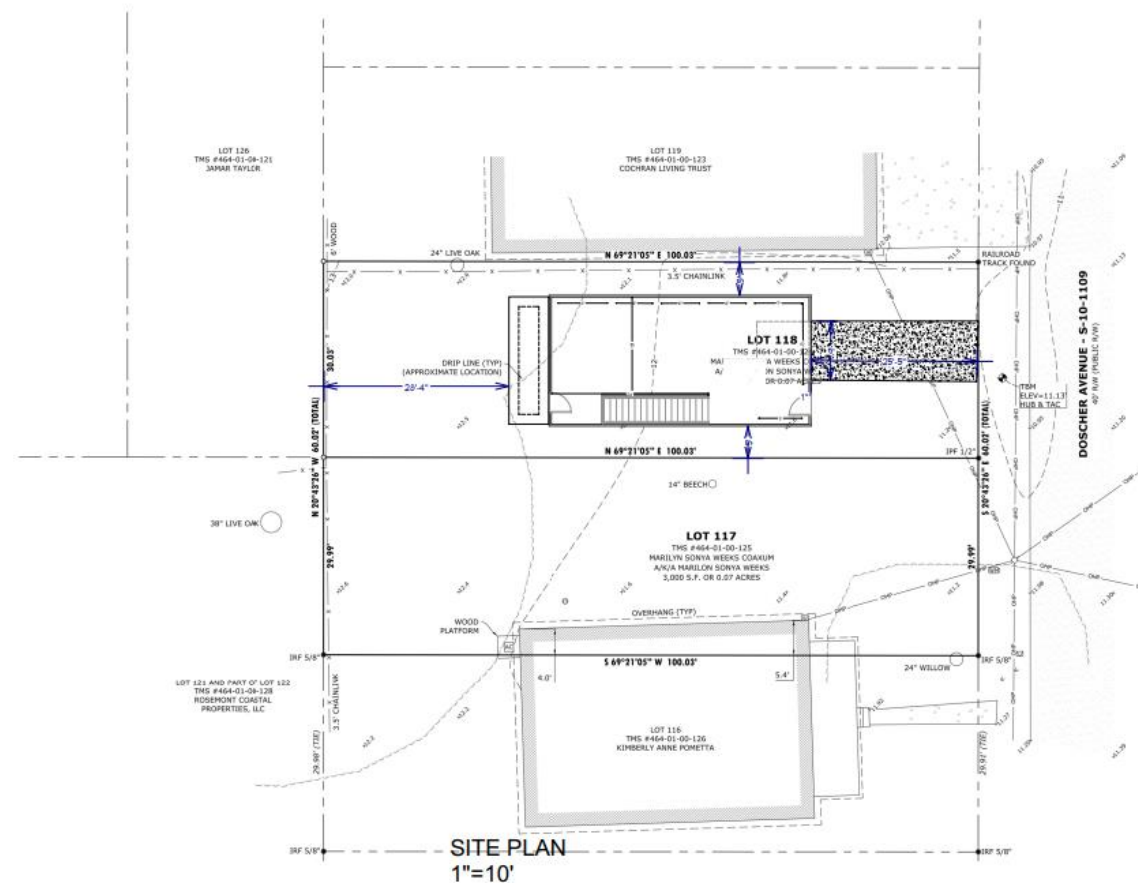
1"=10'

12/18/2025

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IS AVAILABLE FOR THE PROJECT.
2D VIEWS ALWAYS SUPERCEDE 3D
VIEWS.

IF THIS PLAN IS PRINTED ON
11"x17" PAPER, REDUCE NOTED
SCALE BY 50%.



PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Rev	Description

PAGE TITLE:

Proposed Plans

SHEET #:

A4

SCALE:

1/4" = 1'0"

DATE:

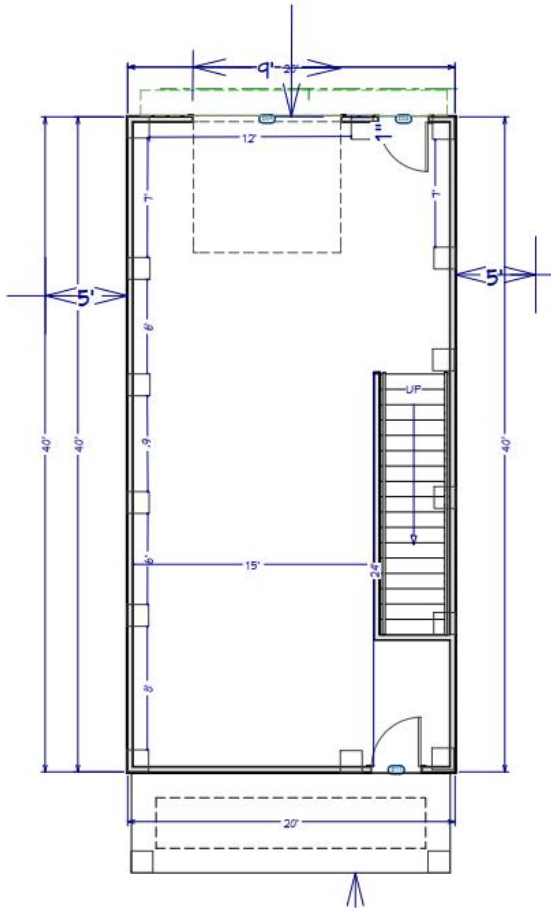
12/18/2025

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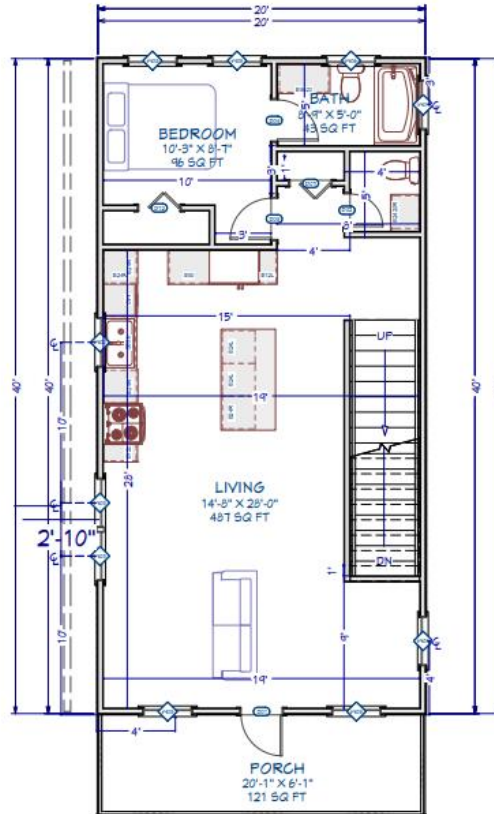
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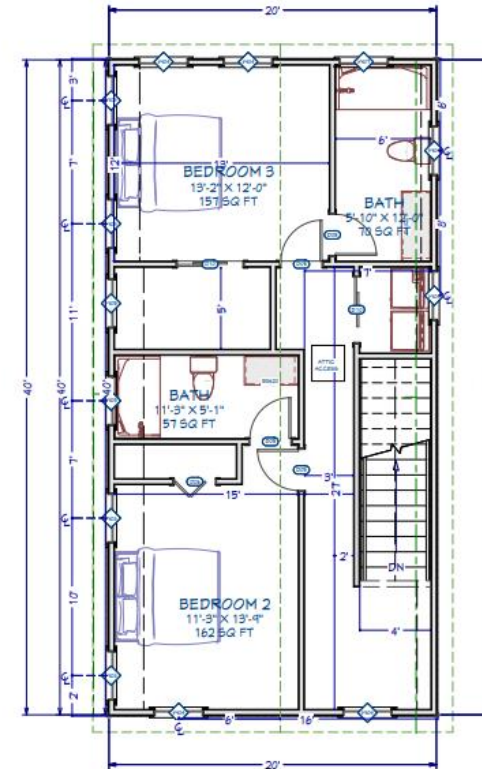
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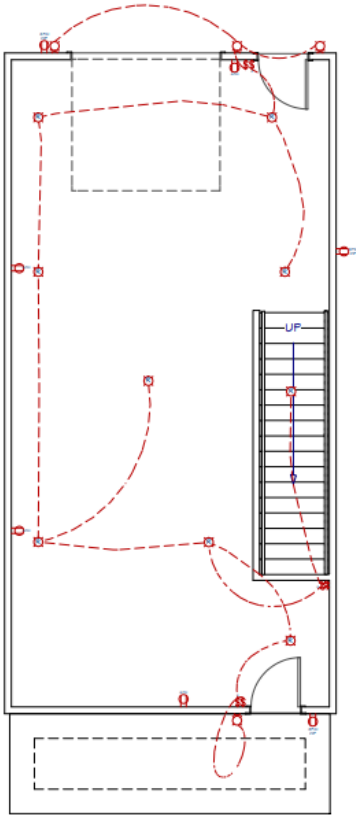
A
A4 PARK UNDER PLAN
SCALE: 1/4" = 1'



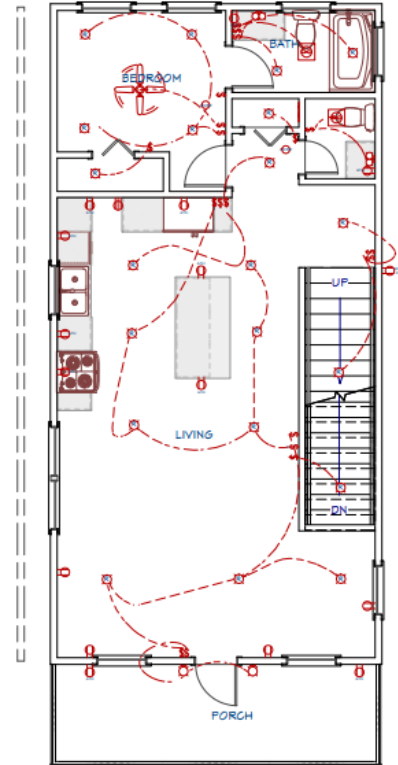
B
A4 FIRST FLOOR PLAN
SCALE: 1/4" = 1'



C
A4 SECOND FLOOR PLAN
SCALE: 1/4" = 1'



A
A5 PARK UNDER ELECTRICAL
SCALE: 1/4" = 1'



B
A5 FIRST FLOOR ELECTRICAL
SCALE: 1/4" = 1'



C
A5 SECOND FLOOR ELECTRICAL
SCALE: 1/4" = 1'

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
	3 BLADE CEILING FAN	
	GFCI W/P	
	CO/SMOKE DETECTOR	
	DUPLEX	
	EXHAUST FAN	
	GFCI	
	SINGLE POLE SWITCH	
	VANITY LIGHT	
	RECESSED DOWN LIGHT 6	
	CEILING FAN	
	3-WAY SWITCH	
	ELECTRICAL PANEL - RECESSED	
	PORCH LANTERN	
	220V	
	4-WAY SWITCH	

PROJECT INFORMATION:
1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Rev	Description

PAGE TITLE:
Electrical Plans

SHEET #:
A5




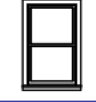

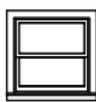
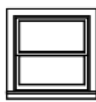

SCALE:
1/4" = 1"













DATE:
12/18/2025

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DOOR SCHEDULE		WINDOW SCHEDULE		DOOR SCHEDULE		WINDOW SCHEDULE		DOOR SCHEDULE		WINDOW SCHEDULE	
DOOR SYMBOL	DOOR NUMBER	DOOR TYPE	DOOR SIZE	DOOR MATERIAL	DOOR DESCRIPTION	DOOR SIZE	DOOR MATERIAL	DOOR DESCRIPTION	DOOR SIZE	DOOR MATERIAL	DOOR DESCRIPTION
	P01	3010FK	1	2	3010FK	31"x13"		FIXED GLASS	2'x6'x40" (2)		
	P02	30310DH	1	2	30310DH	31"x46 1/8"		DOUBLE HUNG	2'x6'x40" (2)		
	P03	3050DH	1	2	3050DH	31"x61"		DOUBLE HUNG	2'x6'x40" (2)		
	P04	3050DH	5	3	3050DH	31"x61"		DOUBLE HUNG	2'x6'x40" (2)		
	P05	3010FK	2	3	3010FK	31"x13"		FIXED GLASS	2'x6'x31" (2)		
	P06	30305H	1	2	30305H	31"x31"		SINGLE HUNG	2'x6'x40" (2)		
	P07	30305H	1	3	30305H	31"x31"		SINGLE HUNG	2'x6'x40" (2)		
	P08	3050DH	2	3	3050DH	31"x61"		DOUBLE HUNG	2'x6'x31" (2)		

DOOR SCHEDULE		DOOR SCHEDULE		DOOR SCHEDULE		DOOR SCHEDULE		DOOR SCHEDULE		DOOR SCHEDULE	
DOOR SYMBOL	DOOR NUMBER	DOOR TYPE	DOOR SIZE	DOOR MATERIAL	DOOR DESCRIPTION	DOOR SIZE	DOOR MATERIAL	DOOR DESCRIPTION	DOOR SIZE	DOOR MATERIAL	DOOR DESCRIPTION
	D01	2666	1	2	2666 L IN	32"x52 1/2"		HINGED-GLASS PANEL	2'x6'x39" (2)		
	D02	2066	1	2	2066 R IN	26"x52 1/2"		HINGED-DOOR F04	2'x6'x39" (2)		
	D03	2666	1	2	2666 L IN	32"x52 1/2"		HINGED-DOOR F04	2'x6'x39" (2)		
	D04	2666	1	2	2666 R IN	32"x52 1/2"		HINGED-DOOR F04	2'x6'x39" (2)		
	D05	2666	4	3	2666 R IN	32"x52 1/2"		HINGED-DOOR F04	2'x6'x39" (2)		
	D06	2666	1	3	2666 R	32"x52 1/2"		2 DR. BIFOLD-LOUVERED	2'x6'x39" (2)		
	D07	2666	1	2	2666 L	32"x52 1/2"		2 DR. BIFOLD-LOUVERED	2'x6'x39" (2)		
	D08	3066	1	1	3066 L EX	38"x39"		EXT. HINGED-DOOR E21	2'x6'x41" (2)		
	D09	4030	1	1	4030	110"x99"		GARAGE-GARAGE DOOR GHD05	2'x12'x110" (2)		
	D10	4066	2	3	4066 R IN	50"x52 1/2"		SLIDER-DOOR F04	2'x3'x59" (2)		
	D11	3066	1	1	3066 R EX	38"x39"		EXT. HINGED-DOOR E21	2'x6'x41" (2)		
	D12	2666	1	2	2666 R	32"x52 1/2"		2 DR. BIFOLD-LOUVERED	2'x6'x39" (2)		



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

Window/Door Schedules

SHEET #:

A6

SCALE:

1/4" = 1'0"

DATE:

12/18/2025

DISCLAIMERS:

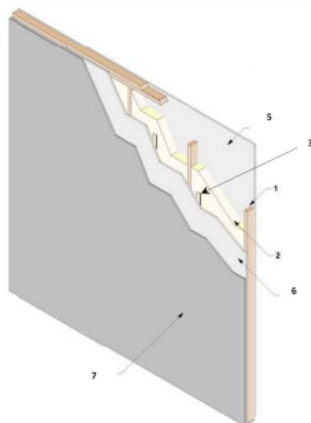
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James Hardie Building Products
Design No. JH/FCS 60-07
James Hardie Fiber Cement Siding
ASTM E119, CAN/ULC S101

Non-Symmetrical, 1 Hour Limited Load-Bearing Wall Assembly,
Max. Load – 31% of NDS Full Design Load (Rating applies to both sides)



1. **WOOD STUDS:** Nominal 2 in. x 4 in. solid sawn wood studs located 16 in. on center (oc), with two top plates and a single bottom plate.
 - Min. 4.574 in. wide x 3/4 in. thick James Hardie Horizontal Steel Furring installed per manufacturer's installation instructions (min. 18 GA 33 ksi metal)
2. **INSULATION:** Min. 3 in. thickness, 3 pcf mineral fiber batt insulation (rockwool), conforming to ASTM-C665 Type I, friction fit in joist cavities.
3. **FURRING (Optional):**
 - Min. 1-1/2 in. wide x 3/8 in. thick furring (Wood: Min. 0.42 s.g.; Metal: Corrosion Resistant min. 20 GA 33 ksi metal hat channel, z-girt or u-bar), or
4. **WOOD SHEATHING (Optional, Not Shown):** Install one layer of wood structural panel sheathing on Item 1.
5. **GYPSUM WALLBOARD, SIDE A:** 5/8 in. Type X gypsum wallboard installed horizontally or vertically and fastened with min. 1-7/8 in. long cup-head gypsum board nails or equivalent Type W screws, 8 in. oc at board perimeter and in field areas of boards.

Date Revised: September 24, 2019

Page 1 of 2

Project No. G103972785

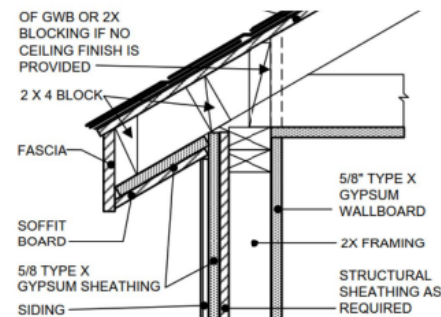
Version: 02 August 2017

SFT-BC-OP-19I



6. **FIBRE-CEMENT BOARD, SIDE B:** HardieBacker® EZ Grid®, HardieBacker® 500, HardieBacker® with HydroDefense™, HardieBacker® ProGrid™, and HardieBacker® Underlayment backerboard installed in accordance with the manufacturer's installation instructions.

7. **CERAMIC TILE:** Nominal 4 in. x 4 in. x 1/4 in. standard grade ceramic wall tile on the fire-exposed side.



1-HOUR RATED WALL AND
PROTECTED EAVE OVERHANG

Date Revised: September 24, 2019

Page 2 of 2

Project No. G103972785

Version: 02 August 2017

SFT-BC-OP-19I

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Rev	Description

PAGE TITLE:

FIRE RATING

SHEET #:

A7

SCALE:

1/4" = 1'-0"

DATE:

12/18/2025

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PROJECT INFORMATION:
1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:
Roof PlanS

SHEET #:
A8

SCALE:
1/4" = 1'0"

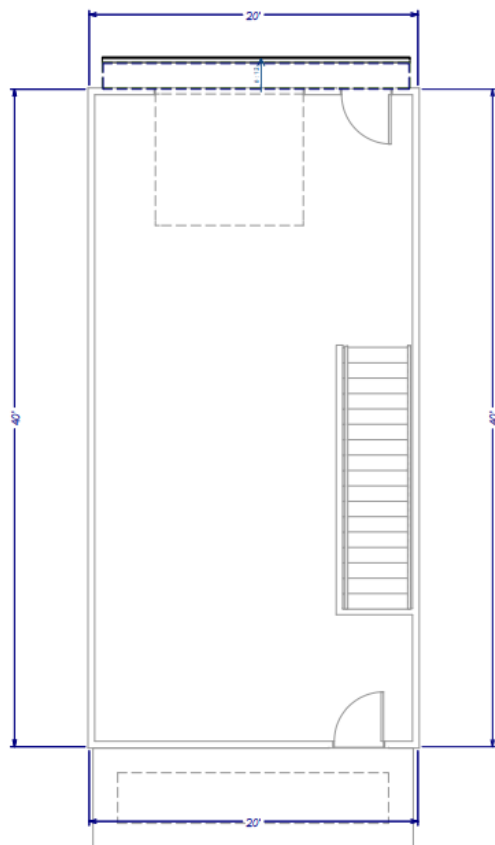
DATE:
12/18/2025

DISCLAIMERS:

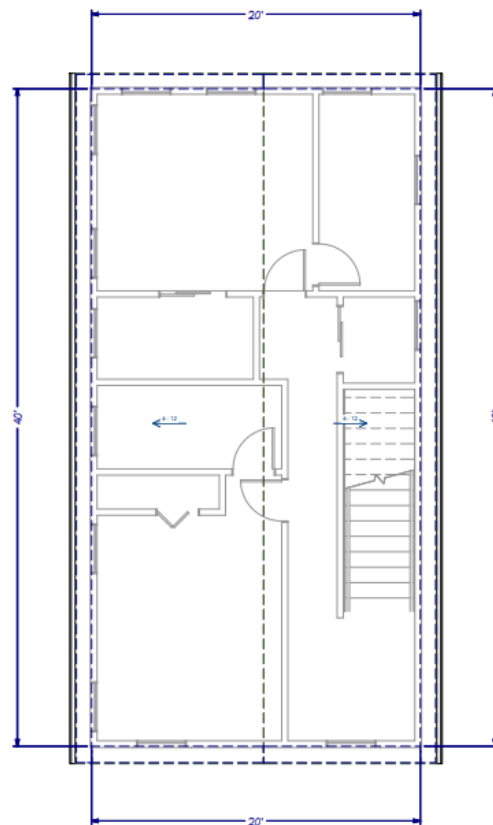
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A
A8 LOWER ROOF PLAN
SCALE: 1/4" = 1'



B
A8 UPPER ROOF PLAN
SCALE: 1/4" = 1'

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Date	Description

PAGE TITLE:

Rear and Front Exterior Elevation

SHEET #:

A9

SCALE:

1/8" = 1'0"

DATE:

12/18/2025

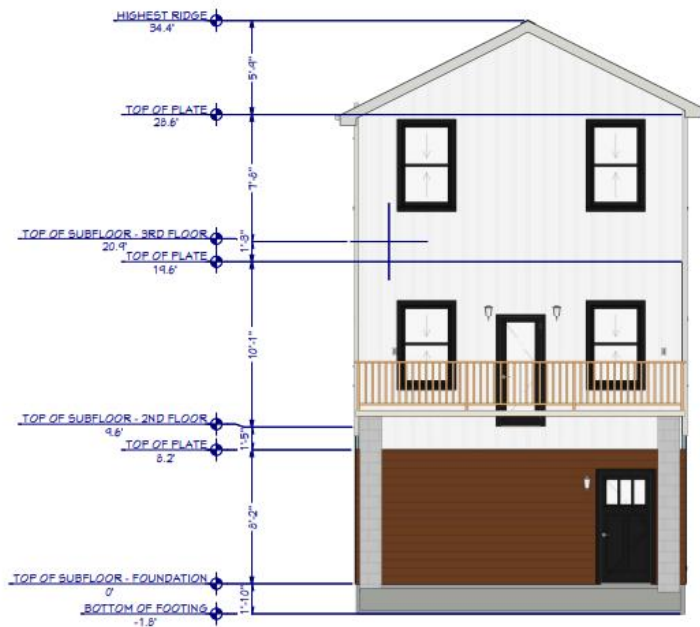
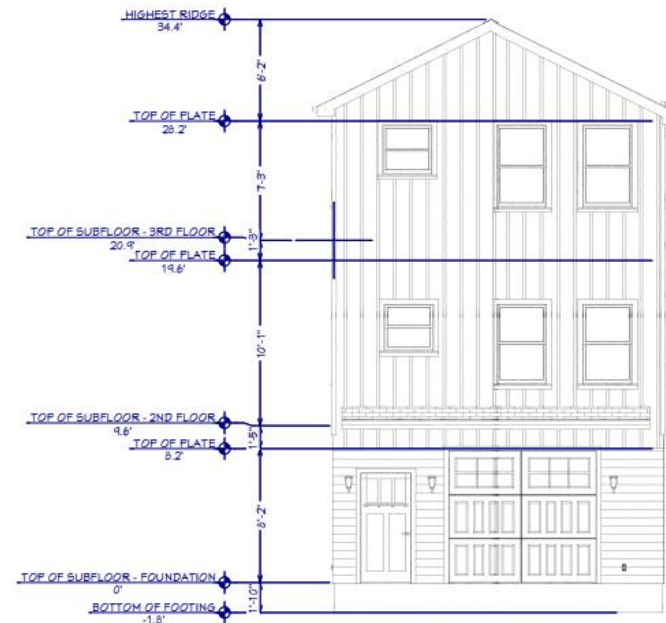
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**A
A9** FRONT ELEVATION
SCALE: 1/4" = 1'



**B
A9** BACK ELEVATION
SCALE: 1/4" = 1'



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Rev	Description

PAGE TITLE:

Side Exterior Elevation

SHEET #:

A10

SCALE:

1/8" = 1'0"

DATE:

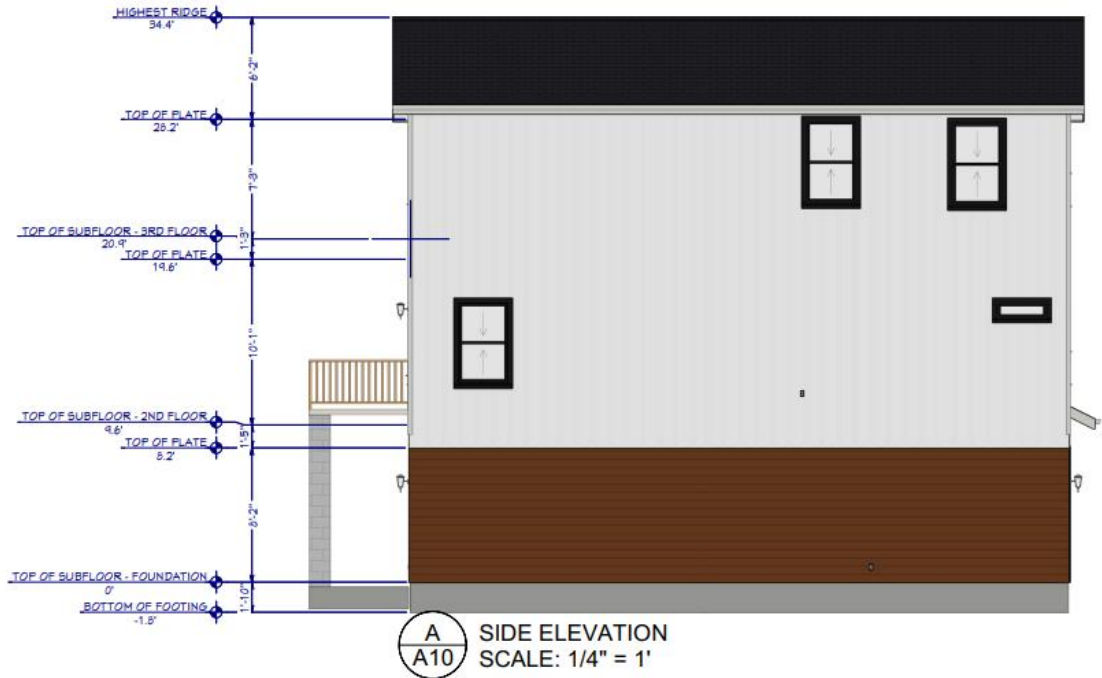
12/18/2025

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STRUCTURAL DESIGN NOTES:

DEAD LOADS	ACTUAL SELF WEIGHT
ROOF LIVE LOADS	20PSF
FLOOR LIVE LOADS	40 PSF
BEDROOM LIVE LOADS	30 PSF
GROUND SNOW LOAD	5 PSF
ATTIC (W/O STORAGE)	10 PSF
DECK LIVE LOADS	60 PSF
ATTIC (W/ STORAGE)	20 PSF

CODE COMPLIANCE:

PROJECT DESIGNED IN ACCORDANCE WITH:	2021 EDITION
A. INTERNATIONAL RESIDENTIAL CODE	
B. ASCE 7	2016 EDITION

BASIC REVIEW INFORMATION:

1. DESIGN WIND SPEED	150
2. EXPOSURE CATEGORY	B
3. SEISMIC DESIGN CATEGORY	D2
4. SOIL BEARING CAPACITY (ASSUMED)	1,500 PSF
5. WINDOW DP RATING	DP50
6. WINDOW PROTECTION	IMPACT RATED PER IRC 301.2.1.2

GENERAL DESIGN NOTES:

1. FOUNDATION AND STRUCTURAL MEMBERS SHALL BE ANCHORED TO RESIST FLOTATION, COLLAPSE & LATERAL MOVEMENT DUE TO THE EFFECTS OF WIND AND WATER ASSOCIATED WITH THE BASE FLOOD ELEVATION AND IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE LATEST EDITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR THE STABILITY OF THE STRUCTURE DURING ALL PHASES OF THE CONSTRUCTION PROCESS.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL OPENINGS. REFER TO THE MECHANICAL AND ELECTRICAL PLANS FOR SIZE AND LOCATION OF ALL OPENINGS FOR DUCTS, PIPES, CONDUITS, ETC. NOT SHOWN.
4. IN CASE OF CONFLICT BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE SUBSTANTIAL REQUIREMENT SHALL BE ASSUMED TO GOVERN UNTIL A RULING IS MADE BY THE ARCHITECT AND/OR ENGINEER.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR ALL STRUCTURAL COMPONENTS THAT REQUIRE SHOP DRAWINGS. STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTIONS SHEETS, OR CONSTRUCTION DRAWINGS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND ONE SET OF PRINTS FOR REVIEW AND APPROVAL. THE PRINTS SHALL BE CLEARLY MARKED "FOR FILE". SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND CONSTRUCTION PROCEDURES PRIOR TO REVIEW BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. PROCEEDING WITH THE WORK APPROVED SHOP DRAWINGS SHALL BE AT CONTRACTORS OWN RISK. WITHOUT
6. THE CONTRACTOR SHALL BUILD THIS PROJECT IN STRICT ACCORDANCE WITH THE MOST CURRENT EDITION OF ALL APPLICABLE CODES AND STANDARDS THAT GOVERN THE WORK.
7. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY ERROR OR INCONSISTENCIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
8. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL DROPPED FLOOR AREAS, FLOOR DRAINS, AND ANY OTHER DETAILS NOT SHOWN ON STRUCTURAL PLANS THAT AFFECT THE WORK.
9. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS THAT RELATE TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT THE ARCHITECT AND/OR ENGINEER.

GEOTECHNICAL:

1. THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS INDICATED IN THE GEOTECHNICAL REPORT, IF SUPPLIED. ALL GEOTECHNICAL QUESTIONS ARE TO BE DIRECTED TO THE GEOTECHNICAL ENGINEER VIA THE ARCHITECT IN WRITING.
2. IF THIS FOUNDATION DESIGN HAS BEEN PREPARED IN THE ABSENCE OF SOIL REPORTS, A SOIL BEARING CAPACITY OF 1500 PSF IS TO BE ASSUMED. THE REASONABLENESS OF THIS ASSUMPTION SHOULD BE VERIFIED PRIOR TO THE COMMENCEMENT OF FOUNDATION WORK FOR THIS PROJECT.
3. TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 8" BELOW THE FINISHED GRADE UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY AND ALL EXCAVATION SLOPES OR ANY OTHER EXCAVATION SITUATIONS.
5. THE EXPOSED SOIL SURFACE AFTER EXCAVATION SHALL BE COMPACTED TO A MINIMUM OF 98% OF THEIR STANDARD PROCTOR MAXIMUM DRY DENSITY TO COMPLY WITH ASTM D698 TO A DEPTH OF 8".

CONCRETE:

1. CONCRETE SHALL BE A MINIMUM OF 3,000 psi.
2. ALL CONCRETE WORK SHALL COMPLY WITH "AMERICAN CONCRETE INSTITUTE: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318 LATEST EDITION) AND "AMERICAN CONCRETE INSTITUTE: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301 LATEST EDITION).
3. ALL CONCRETE REINFORCING WORK SHALL COMPLY WITH "AMERICAN CONCRETE INSTITUTE: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (ACI 315 LATEST EDITION)
4. CONCRETE SLUMP SHALL NOT EXCEED 4".
5. CONCRETE SHALL BE CAST IN PLACE AND COMPACTED BY VIBRATING AND SUPPLEMENTED WITH HAND TAMPING AND SPADING AS REQUIRED.
6. CONCRETE SHALL BE MAINTAINED ABOVE 50° F AND IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT UNLESS OTHERWISE NOTED.
7. ALL REBAR SHALL BE GRADE 60 OR 60S, DEFORMED CONFORMING WITH ASTM 615.
8. ALL REBAR MINIMUM LAP SHALL COMPLY WITH ACI-318. ALL WELDED WIRE FABRIC SHALL BE OVERLAPPED 1'-0" MINIMUM, AT SIDES AND ENDS AND BE ADEQUATELY TIED. FIBERMESH MAY BE USED AS AN OPTION.
9. ALL CONCRETE SLABS ON GRADE SHALL BE THICKNESS AS INDICATED ON THE DRAWINGS OVER A MINIMUM 10 MIL. POLYETHYLENE VAPOR BARRIER. SUCH SLABS SHALL BE REINFORCED WITH W6X6 W1.4XW1.4 WWM LAPPED 12" AT EDGES AND ENDS, IN CONFORMANCE WITH ASTM-185
10. FILL UNDER CONCRETE SLABS SHALL BE CLEAN SAND OR ROCK FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
11. ALL FOOTINGS MUST REST ON UNDISTURBED SOIL OR UPON SOIL COMPACTED TO A DENSITY OF AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST THREE FEET (3') BELOW THE BOTTOM OF THE FOOTING.
12. WHERE SHOWN AND AT ALL VERTICAL REINFORCEMENT, CORES OF BLOCK MASONRY SHALL BE FILLED WITH COARSE GROUT OR PEA GRAVEL CONCRETE WITH MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
13. MINIMUM CONCRETE COVER FOR ALL REINFORCEMENT SHALL BE THREE INCHES (3").
14. HORIZONTAL BEAM AND FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH 2'-0" LAP SHALL BE PROVIDED.
15. CONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC. NECESSARY TO SUPPORT REINFORCING STEEL
16. GENERAL CONTRACTOR SHALL CHECK ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, SLAB DEPRESSIONS, PITCH AND ANY OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR LOCATION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPECIFIED STRENGTH AND PROPER PLACING OF ALL CONCRETE AND POSITIONING OF ALL REINFORCING STEEL
18. ALL CONCRETE IMPROPERLY PLACED AND/OR TESTING BELOW SPECIFIED STRENGTH SHALL BE REPLACED, ALONG WITH OTHER AFFECTED WORK AT NO ADDITIONAL COST.
19. ALL CONCRETE WITH A VERTICAL LIFT OF 12" OR MORE SHALL BE COMPACTED WITH HIGH FREQUENCY, INTERNAL MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND SPADING AND TAMPING AS NECESSARY.
20. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WITH CONCRETE BEING PLACED AND CURED DURING VERY COLD OR VERY HOT WEATHER. THE CONTRACTOR SHALL FOLLOW THE PROCEDURES ESTABLISHED BY THE ACI FOR HOT AND COLD WEATHER PLACEMENT.
21. NON-SHRINK POURABLE GROUT SHALL BE USED UNDER ALL COLUMN AND BEAM BASE PLATES ONCE MATERIAL IS SET, PLUMB AND LEVEL.

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

STRUCTURAL NOTES

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DISCLAIMERS:

ALL DIMENSIONS, DESIGNATIONS, & EXTENTS ARE SUBJECT TO SITE VERIFICATION PRIOR TO CONTRACTOR COMMENCEMENT OF WORK. THESE DRAWINGS ARE INTELLECTUAL PROPERTY AND SUBJECT TO COPYRIGHT. THEY SHALL NOT BE REPRODUCED, DISTRIBUTED, PUBLISHED OR USED OTHERWISE WITHOUT THE EXPRESS CONSENT OF THE DESIGNER.

3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS.

IF THIS PLAN IS PRINTED ON 11"x17" PAPER, REDUCE NOTED SCALE BY 50%.

1. FOR ALL BEAM BEARING LOCATIONS ON MASONRY WALLS, CONTRACTOR SHALL FILL MASONRY CELLS WITH 2'-0" OF BEAM BEARING WITH A MINIMUM 3000 PSI PEA GRAVEL CONCRETE. A #5 BAR SHALL BE SUPPLIED IN EACH OF THESE CELLS AND TIED TO THE FOOTING REINFORCEMENT.

2. A #3 BAR SHALL BE PLACED AT EACH SIDE, TOP AND BOTTOM OF ALL OPENINGS. ALL HORIZONTAL AND VERTICAL REINFORCING SHALL EXTEND A MINIMUM OF 30" BEYOND THE OPENING.

3. ALL LINTEL BEAMS SHALL BEAR A MINIMUM OF 12" ON EACH SIDE OF THE OPENINGS. ALL CELLS UNDER THE BEARING POINTS SHALL BE REINFORCED WITH #4 BARS. ALL FOOTING REINFORCEMENT SHALL BE 12" LONGER THAN THE FOUNDATION.

4. CONCRETE MASONRY SHALL HAVE A MINIMUM F_{cu} OF 1500 PSI. THIS IS ACHIEVED BY A CONCRETE BLOCK MASONRY UNIT WITH A NET AREA COMPRESSIVE STRENGTH OF 2000 PSI WHEN USED WITH TYPE M OR S MORTAR.

5. THE CONTRACTOR SHALL INSTALL REINFORCEMENT PLACEMENT WALL TIES TO ENSURE THAT REINFORCEMENT IN PROPERLY PLACED.

6. ALL RUNNING BOND MASONRY SHALL HAVE 9 GAUGE GALV. LADDER TYPE JOINT REINFORCEMENT @ 16" O.C. VERTICALLY. AT ALL WALL CORNERS AND ALL INTERSECTIONS PREFORMED BED JOINT REINFORCEMENT SHALL BE USED.

7. ALL MASONRY SHALL BE PROTECTED FROM FREEZING TEMPERATURES. ALL MASONRY SHALL BE PROTECTED FROM WEATHER (AMBIENT TEMPERATURE BELOW 40° F) DURING HOT WEATHER (ABOVE 90° F) PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EXCESS HEAT OR COLD IN THE MASONRY UNITS. WATER, AND MORTAR. THE CONTRACTOR IS TO BE ADVISED TO FOLLOW THE RECOMMENDATIONS SET FORTH BY THE PORTLAND CEMENT ASSOCIATION FOR COLD OR HOT WEATHER APPLICATIONS.

8. ALL MASONRY SHALL BE PROTECTED FROM FREEZING TEMPERATURES. ALL MASONRY SHALL BE PROTECTED FROM WEATHER (AMBIENT TEMPERATURE BELOW 40° F) DURING HOT WEATHER (ABOVE 90° F) PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EXCESS HEAT OR COLD IN THE MASONRY UNITS. WATER, AND MORTAR. THE CONTRACTOR IS TO BE ADVISED TO FOLLOW THE RECOMMENDATIONS SET FORTH BY THE PORTLAND CEMENT ASSOCIATION FOR COLD OR HOT WEATHER APPLICATIONS.

9. ALL MASONRY SHALL BE PLACED IN FULL MORTAR BED. TYPE M OR S SHALL BE USED.

10. ALL MASONRY REINFORCEMENT SHALL BE PLACED AS FOLLOWS: #4 BARS-24" LAP #5 BARS-30" LAP #6 BARS-36" LAP #7 BARS-42" LAP #8 BARS-48" LAP

11. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY CONTROL JOINTS, BAR AND BRICK EXPANSION JOINTS, ALL CONTROL JOINTS SHALL BE PLACED IN THE MIDDLE OF THE UNIT. THE LOCATION OF THE CONTROL JOINTS SHALL BE SET FORTH BY THE NATIONAL CEMENT MASONRY ASSOCIATION. IN NO CASE SHALL EXTERIOR WALL JOINTS BE SPACED GREATER THAN 25 FEET AND INTERIOR WALL JOINTS SHALL NOT EXCEED 30 FEET ON CENTER.

12. THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS FOR REINFORCEMENT SHOWING THE NUMBER, SIZE, AND LOCATION. INCLUDE ALL LISTS AND DIAGRAMS FOR THE COMPLETION OF WORK.

13. ALL MASONRY OPENINGS SHALL BE PROVIDED WITH A "CASTCRETE" OR "POWERS STEEL" LINTEL BEAMS WITH (2) #5 REBAR.

1. ALL FRAMING AND MISCELLANEOUS STEEL SHALL BE WELDED WITH A FILET ALL AROUND UNLESS NOTED OTHERWISE. WELD SIZE SHALL BE THE MAXIMUM ALLOWED BY THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" BASED ON THE DESIGN STRESS OF THE MEMBER.

2. SHOP AND FIELD CONNECTIONS NOT DETAILED ON THE DRAWINGS MAY BE WELDED OR BOLTED. CUTS, HOLES, COPING, ETC., REQUIRED FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND BE FABRICATED IN THE SHOP FIELD CUTTING AND/OR BURNING IS NOT PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.

3. ALL STEEL MEMBERS, INCLUDING CONTRACTOR SHALL PROVIDE WEB REINFORCEMENT AT ALL OPENINGS IN STEEL MEMBERS INCLUDING BEAMS, JOISTS, AND GIRDER.

4. ALL STRUCTURAL STEEL BEAMS SHALL HAVE A YIELD STRESS OF 50 KSI. PLATES, ANGLES, AND MISC. STEEL SHALL COMPLY WITH THE LATEST EDITION OF ASTM A-36. UNLESS OTHERWISE NOTED, STEEL PIPES SHALL COMPLY WITH ASTM A-501. STEEL TUBES SHALL COMPLY WITH ASTM A-501.

5. ALL STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF BEAM ELEVATIONS AS NOTED ON DRAWINGS. IN CASE OF A CONFLICT, THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID AND ADDRESS IT TO THE ENGINEER IN WRITING.

6. DOWNWIND AND THE DOWN STRIDE EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANIZED.

7. ALL BEAM CONNECTIONS SHALL BE 3/4" DIAMETER BOLT OR SLIP CRITICAL TYPE CONNECTIONS A-325BOLTS UNLESS NOTED OTHERWISE. ALL BEAM AND GIRDRED CONNECTIONS UNLESS SHOWN OTHER DISTRIBUTED LOADING CAPACITY OF MEMBER FOR ITS SPAN AS PER THE ASCE MANUAL OF STEEL CONSTRUCTION (LATEST EDITION). ALL OTHER CONNECTIONS THAT ARE NOT INDICATED SHALL BE BOLTED (3/4" DIAMETER) CONNECTIONS USING AN A-325 SLIP CRITICAL TYPE BOLT, UNLESS OTHERWISE NOTED.

8. ALL STEEL BEAMS AND GIRDERS SHALL BE FIELD WELDED TO THE JOISTS. ALL JOIST CONNECTIONS SHALL BE WELDED (LATEST EDITION) BOTH SHOP AND FIELD WELDER CERTIFICATIONS SHALL BE CURRENT UNTIL THE COMPLETION OF THE STEEL WORK AND MADE AVAILABLE UPON REQUEST OF THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO DELAY SHOP DRAWING APPROVAL IN THE ABSENCE OF THE REQUESTED CERTIFICATES.

9. ANCHORS SHALL COMPLY WITH ASTM A-307.

10. FIELD SPLICES SHALL BE DESIGNED AND CONSTRUCTED TO DEVELOP THE FULL CAPACITY OF THE MEMBER IN BENDING, SHEAR, AND AXIAL LOADING TO COMPLY WITH THE AISC SPECIFICATIONS.

11. WEB STIFFENER PLATES ARE TO BE SUPPLIED BY THE CONTRACTOR AT THE END OF STEEL BEAM CANTILEVERS AND IN THE MIDS OF DEEP CURVED BEAMS (DIAGONALLY). THE STIFFENER PLATE THICKNESS SHALL EQUAL OR EXCEED THE FLANGE THICKNESS OF THE BEAM.

12. USE TWO SIDED WEB ANGLE CONNECTIONS FOR ALL BEAM CONNECTIONS PER AISC SPECIFICATIONS (LATEST EDITION) UNLESS OTHERWISE NOTED OR DETAILED.

13. THE CONTRACTOR SHALL SUBMIT DETAILED STRUCTURAL STEEL SHOP DRAWINGS TO INCLUDE COLUMNS, BEAMS, JOISTS, BRIDGING, DECKING, AND ANY CONNECTIONS. THESE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT. STEEL FABRICATOR SHALL SUPPLY EMBEDDED STEEL PLATE AND BRACKET LOCATION DRAWINGS. THE STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTION SHEETS, OR PRELIMINARY DRAWINGS. THE CONTRACTOR SHALL SUBMIT THE SET OF REPRODUCIBLE DRAWINGS AND BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND ERECTION PROCEDURE PRIOR TO SUBMITTAL TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. THE CONTRACTOR PROCEEDING WITHOUT APPROVED SHOP DRAWINGS IN DOING SO AT HIS OWN RISK.

14. ALL STEEL JOIST CONNECTIONS SHALL BE FIELD WELDED TO THE BEAMS OR TO THE JOISTS (SPECIALLY).

15. A CONTINUOUS 3/8" PLATE SHALL BE SHOP WELDED TO THE BOTTOM FLANGE OF ALL BEAMS SUPPORTING MASONRY UNLESS NOTED OTHERWISE.

16. THE ENGINEER SHALL VERIFY THAT JOIST AND BEAM BEARING ELEVATIONS ENSURE PROPER ROOF SLOPES TO ALLOW FOR DRAINAGE AND CORRECT FLOOR ELEVATIONS. SEE ARCHITECTURAL DRAWINGS FOR FLASHING, ROOFING, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL PLANS.

17. FOR ALL STEEL BEAM LOCATIONS, INSTALL STIFFENER PLATES ON EACH SIDE OF THE WEB AT SUPPORTS AND LOCATIONS OF POINT LOADS FROM BEAMS AND COLUMNS.

18. NON-SHRINK GROUT SHALL BE USED UNDER ALL BASE PLATES AFTER THE STEEL IS SET, PLUMB AND LEVEL.

19. WIND-RESISTANT HURRICANE ANCHORS (SIMPSON TYPE H-2 OR H-10) SHALL BE USED FOR ALL RAFTER ANCHORAGES AT INTERSECTIONS WITH ALL WALLS OR BEAMS. STAINLESS STEEL (S-5) HURRICANE ANCHORS SHALL BE USED IN AREAS EXPOSED TO THE ATMOSPHERE, FASTENED WITH (S-5) RING SHANK NAILS.

20. ALL STEEL BEAMS AND STEEL COLUMNS SHALL BE FIELD WELDED TO THE JOISTS. THE MEMBER SHALL BE FIELD COATED WITH A ZINC RICH PAINT 2.1. ALL STEEL BEAMS AND STEEL COLUMNS SHALL BEAR ON STEEL PLATES (MIN. SIZE 12"x12"). SHOP DRAWINGS TO BE APPROVED BY THE ARCHITECT/ENGINEER.

21. ALL STRUCTURAL STEEL SHALL BE DELIVERED WITH ONE COAT OF PRIMER & SHALL BE FIELD PAINTED W/ 2 COATS OF PRIMER & TOUCH UP AFTER ERECTION.

22. ALL STEEL JOIST SHALL CONFORM TO ASTM A663 (Fy = 33.0 KSI) AND SHALL BE CLARK PCS SERIES (1-5/8" FLANGES & 12" LIPS) SIZED AS INDICATED OR APPROVED QUALITY.

1. ALL WOOD FRAMING SHALL BEDRIBRICATION AND INSTALLED PER AITC AND TPI AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.

2. ALL JOINTS IN WOOD MEMBERS SHALL BE SOUTHERN YELLOW PINE #1 NON-DENSE OR #2 DENSE UNLESS NOTED OTHERWISE AND HAVE A MINIMUM EXTREME FIBER STRESS IN BENDING (F_b) = 1200 PSI AND MODULUS OF ELASTICITY OF 1,600,000.

3. ALL LUMBER SHALL BE CONTINUOUS WITHOUT SPLICES EXCEPT AS NOTED ON THE STRUCTURAL PLANS OR DETAILS. BUTT JOINTS IN CORDERS, BEAMS AND HEADERS, INCLUDING INDIVIDUAL MEMBERS IN MULTIPLY BEAMS, SHALL BE LOCATED AT SUPPORTS.

4. ALL TREATED WOOD SHALL COMPLY WITH THE LATEST EDITION OF CODES. LUMBER AND ENGINEERED WOOD PRODUCTS EXPOSED TO WEATHER OR EXPOSED TO MASONRY OR CONCRETE SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CONNECTIONS. ALL JOINTS IN TREATED LUMBER SHALL BE TREATED. TREATED MEMBERS SHALL BE COATED WITH THE MANUFACTURER'S SUPPLIER'S APPROVED PRESERVATIVE. LUMBER SHALL BE TREATED FOR ABOVE OR BELOW GROUND USE AS APPLICABLE.

5. ALL STRAPS / CONNECTORS SPECIFIED ARE SIMPSON STRONG TIE. SEE MANUFACTURER'S MANUALS FOR INSTALLATION INSTRUCTIONS AND DETAIL CONNECTIONS. CONNECTORS SHALL BE CALLED AND NAILED TO SINGLE FRAMING MEMBERS SHALL USE EQUIVALENT DIAMETER SHORT NAILS SUCH AS SIMPSON N8 OR N10.

6. NAILS BOLTS AND FASTENERS IN CONTACT WITH TREATED LUMBER OR EXPOSED TO WEATHER, MASONRY OR CONCRETE SHALL BE GALVANIZED OR STAINLESS STEEL TO PROTECT FROM CORROSION.

7. NAILS SHOWN ARE BASED ON COMMON OR EQUAL GALVANIZED BOX NAILS.

8. ALL NAILS TO BE ANNULAR (RING-SHANK) NAILS AS DEFINED IN ASTM F 547.

9. BOLTS SHOWN ARE THROUGH BOLTS WITH WASHERS UNDER BOLT HEADS AND NUTS THAT ARE IN CONTACT WITH WOOD UNLESS OTHERWISE NOTED. BOLT HOLES IN LUMBER ARE 1/32" BIGGER THAN THE BOLT DIAMETER. CONTINUOUS JOINTS IN LUMBER SHALL BE DRILLED THROUGH AND FASTENED TO THE FOUNDATION COLUMNS, PILES, OR WALLS AND REQUIRED TO RESIST THE UPLIFT OF THE WALL STUDS, COLUMN, BEAMS, HEADERS AND OTHER STRUCTURAL ELEMENTS. FRAMER TO MODIFY AS REQUIRED TO SUIT AS BUILT CONDITIONS.

10. JOINTS IN RAFTER ENDS SHALL BE ANCHORED WITH WIND UPLIFT ANCHOR BY SIMPSON OR EQUAL. SUCH ANCHORS SHALL BE USED AT JOINTS BETWEEN PLATES, STUDS, AND SILL PLATES TO PROVIDE A PATH OF UNBROKEN UPLIFT RESISTANCE FROM THE ROOF TO THE FOUNDATION.

12. WHERE CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS, SUBFLOORING OR METAL STRAPS ATTACHED TO THE ENDS OF THE RAFTERS SHALL BE USED TO PROVIDE A CONTINUOUS PATH OF UPLIFT RESISTANCE FROM THE ROOF RAFTERS TO THE FLOOR JOISTS. WHERE THE CEILING JOISTS ARE NOT PROVIDED AT THE TOP OF THE RAFTER SUPPORT WALLS, THE RIDGE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY DESIGNED RIDGE SEE STRUCTURAL DRAWINGS.

13. JOINTS IN RAFTERS SHALL BE PROVIDED BETWEEN ALL FLOOR JOISTS AT MID-SPAN AND ALL LINES OF JOIST SUPPORT EVEN IF NOT SHOWN ON THE SECTION OR DETAIL DRAWINGS. BLOCKING MAY NOT BE SHOWN ON THE STRUCTURAL SECTIONS OR DETAILS FOR CLARITY.

14. ALL NAILING SHALL COMPLY WITH THE STANDARDS SET FORTH IN THE LATEST EDITION OF THE BUILDING CODES.

15. ALL ROOFING SHALL BE 1/2" CDX OR EQUAL. ALL ROOFING SHALL BE GRADE EXCEPT WHERE SIDING, SHEETING, AND WALL FRAMING OF AN APPROVED PRESSURE TREATED OR NATURALLY DURABLE WOOD PRODUCT.

16. INSTALL EXTRA CONTINUOUS STUDS, NOT JACK STUDS, STUDS SHALL BE INSTALLED AT ALL JAMBS TO REPLACE THE TYPICALLY PLACED STUDS AT JAMBS.

17. PLYWOOD FLOORING SHALL BE 3/4" ADVANTAGE OR EQUAL. ALL FLOOR DECKING SHALL BE GLUED AND FASTENED WITH RING-SHANK NAILS AT ALL SUPPORTS WITH A NAILING PATTERN OF 8 NAILS @ 6" O.C. ALONG EDGES AND 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS/JOISTS.

18. EXTERIOR WALLS SHALL BE TIED TO GIRDERS WITH SIMPSON LRT3JO (OR EQUAL) STRAP TIES AT 6'-0" O.C. AND TIED WITH 1/2" CDX PLYWOOD FROM TOP PLATE TO CMU WALL TIMBER PLATE. EXTERIOR GIRDERS BETWEEN FLOORS TIED W/ SIMPSON LRT3JO (OR EQUAL) STRAP TIES AT MAX. 2'-0" O.C.


19. ENGINEERED LVL BEAMS SHALL BE VERSA-LAM F3109 BY BOISCE CASCADE.

20. NON-TREATED WOOD MEMBERS SUPPORTED ON MASONRY SHALL BEAR ON TREATED TIMBER STUDS.

21. ALL JOINTS SHALL BE REFERRED TO CONNECTIONS WITH HURRICANE ANCHORS (SIMPSON HURRICANE) OR EQUAL.

22. ALL PLYWOOD SHEETING SHALL HAVE 1/8" SPACE BETWEEN SHEETS (EXCEPT FOR AREAS THE CALL FOR T & G PLYWOOD).

23. LOAD BEARING WALLS AND/OR SHEAR WALLS LOCATED PERPENDICULAR TO FLOOR JOISTS SHALL HAVE SOLID BLOCKING SECURED TO THE JOIST. THE BLOCKING SHALL BE 2" THICK AND 4" HIGH. THE BLOCKING SHALL BE 4" LONG. THE FLOOR MEMBERS AND BE LOCATED DIRECTLY UNDER THE WALL FOR THE FULL BEARING WIDTH AND LENGTH OF THE WALL CONSTRUCTION.

 <p>1816 Success St Bldg D North Charleston, SC 29405</p>											
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HEADER / LINTEL SCHEDULE

SINGLE STORY OR SECOND FLOOR

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S 3.5X6 LVL/PSL	1	1
3'-3" TO 6'-2"	2 - 2X8'S 3.5X7.25 LVL/PSL	1	2
6'-3" TO 8'-0"	2 - 2X10'S 3.5X9.25 LVL/PSL	1	2
8'-1" TO 10'-0"	(2)1.75X10 LVL	2	3

FIRST FLOOR W/ FLOOR ABOVE

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S	1	1
3'-3" TO 6'-2"	2 - 2X10'S	2	2
6'-3" TO 8'-0"	2 - 2X12'S	2	2
8'-1" TO 10'-0"	(2)1.75X12 LVL	2	3

ALL LINTELS SHALL BEAR ON NOT LESS THAN DOUBLE CUT JACK STUDS. JACK STUDS SHALL BE NAILED TO SUPPORTING DOUBLE KING STUDS WITH 2 ROWS OF 16D NAILS AT 12 O.C. STAGGERED.

FOR 2X6 WALLS, ADD AN ADDITIONAL PLY OF LINTEL MATERIAL.

SEE STRAPPING DETAIL FOR UPLIFT CONNECTIONS AROUND WINDOWS AND DOORS.

THE ABOVE LINTELS/HEADERS ARE INTENDED FOR OPENINGS SUPPORTING ONE FLOOR AND ROOF LOADS ONLY. CONSULT WITH ENGINEER FOR OPENINGS THAT SUPPORT TWO FLOORS AND/OR ROOF LOADS AND FOR THOSE THAT ARE SUPPORTING A POINT OR BEAM LOADING.

THE HEADER SIZES ABOVE DO NOT ALLOW FOR POINT LOADS OR IF A BEAM OR OTHER HEAVILY LOADED ELEMENT FALLS OVER HEADER SHOWN.

MULTI-PLY HEADERS ARE SIZED WITH THE ANTICIPATION OF PLYWOOD OR OSB MATERIAL INSTALLED IN BETWEEN EACH PLY.

FOR HEADER WIDTHS LESS THAN THE THICKNESS OF THE WALL FRAMING SHIFT HEADER TO OUTSIDE FACE OF WALL.

Multiple LVL Attachment Schedule

FASTENER	(2) PLY LVL	(3) PLY LVL	(4) PLY LVL ⁽⁴⁾	(5) PLY LVL ⁽⁴⁾
16d Nails	3 ROWS 12" O.C.	3 ROWS 12" O.C. EACH SIDE		
1/4"x3.5" SCREWS	3 ROWS 16" O.C.	3 ROWS 16" O.C. EACH SIDE	3 ROWS 16" O.C. EACH SIDE AND EACH PLY	
1/2" DIA THRU BOLTS	2 ROWS 24" O.C.	2 ROWS 24" O.C.	2 ROWS 16" O.C. STAGGERED	2 ROWS 16" O.C. STAGGERED
1/4"x3" SCREWS			3 ROWS 24" O.C. EACH SIDE STAGGERED	3 ROWS 16" O.C. EACH SIDE STAGGERED

1. FASTENER ROWS ARE TO BE STAGGERED.

2. FOR LVL BEAMS 17" OR MORE IN DEPTH, INSTALL AN ADDITIONAL ROW OF THE FASTENER SHOWN ABOVE. IE. 3 ROWS BECOME 4 ROWS.

3. WHERE THE MULTIPLE LVL SUPPORTS A PERPENDICULAR BEAM, INSTALL 2 1/2"Ø THROUGH BOLTS WITHIN 8" EACH SIDE OF PERPENDICULAR BEAM.

4. 4 PLY AND 5 PLY BEAMS ARE TO BE TOP LOADED ONLY AND SHOULD NOT BE SIDE LOADED WITHOUT A CLEAR AND SPECIFIC DETAIL FROM TRUSS PROVIDER OR ENGINEER.

GENERAL NAILING SCHEDULE

Joint Description	Number of Common Nails	Number of Box Nails	Nails Spacing
Roof Framing			
Blocking Rafter(Toe-nailed)	2-8d	2-10d	each end
Rim Board to Rafter(End-nailed)	2-16d	2-16d	each end
Wall Framing			
Top Plates at Intersections(Face-nailed)	4-16d	5-16d	at joint
Stud to Stud(Face-nailed)	2-16d	2-16d	24" o.c
Header to Header(Face-nailed)	16d	16d	16" o.c along edges
Floor Framing			
Joist to Sill, Top Plate or Girder(Toe-nailed)(Fig. 14)	4-8	4-10	each end
Blocking to Joist(Toe-nailed)	2-8	2-10	each end
Blocking to Sill or Top Plate(Toe-nailed)	3-16	4-16	each end block
Ledger Strip to Beam or Girder(Face-nailed)	3-16	4-16	each joist
Joist on Ledger to Beam (Toe-nailed)	3-8	3-10	each end
Band Joist to Joist(End-nailed)	3-16	4-16	each end
Band Joist to Sill or Top Plate(Toe-nailed)(Fig.14)	2-16	3-16	end per foot
Roof Sheathing			
Wood Structural Panels			
rafters or trusses spaced up to 16" o.c.	8d	10d	6" edge/ 6" field
rafters or trusses spaced over16" o.c.	8d	10d	4" edge/ 4" field
gable endwall rake or rake truss w/o gable overhang	8d	10d	6" edge/ 6" field
gable endwall rake or rake truss w/ structural outlookers	8d	10d	6" edge/ 6" field
gable endwall rake or rake truss w/lookout blocks	8d	10d	4" edge/ 4" field
Ceiling Sheathing			
Gypsum Wallboard	5d coolers	-	7" edge/ 10" field
Wall Sheathing			
Wood Structural Panels			
studs spaced up to 24" o.c.	8d	10d	6" edge/ 12" field
1/2" and 25/32" Fiberboard Panels	8d	-	3" edge/ 6" field
1/2 "Gypsum Wallboard	5d coolers	-	7" edge/ 10" field
Floor Sheathing			
Wood Structural Panels			
1" or less	8d	10d	6" edge/ 12" field
greater than 1"	10d	10d	6" edge/ 6" field

- Corrosion resistant 11 gage roofing nails and 16 gage staples are permitted,check IBC for additional requirements.
- Nails. Unless otherwise stated,sizes given for nails are common wire sizes. Box and pneumatic nails of equivalent diameter and equal or greater length to the specified common nails be substituted unless otherwise prohibited.



1818 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Sub	Description

PAGE TITLE:

STRUCTURAL NOTES

SHEET #:

S003

SCALE:

N/A

DATE:

12/18/2025

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PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Rev	Description

PAGE TITLE:

1ST. FLOOR FRAMING PLAN

SHEET #:

S110

SCALE:

1/4" = 1'0"

DATE:

12/18/2025

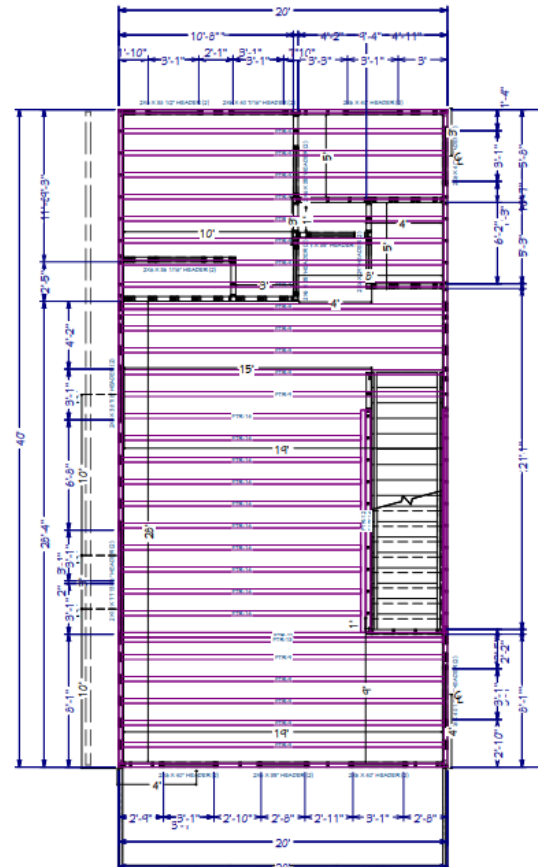
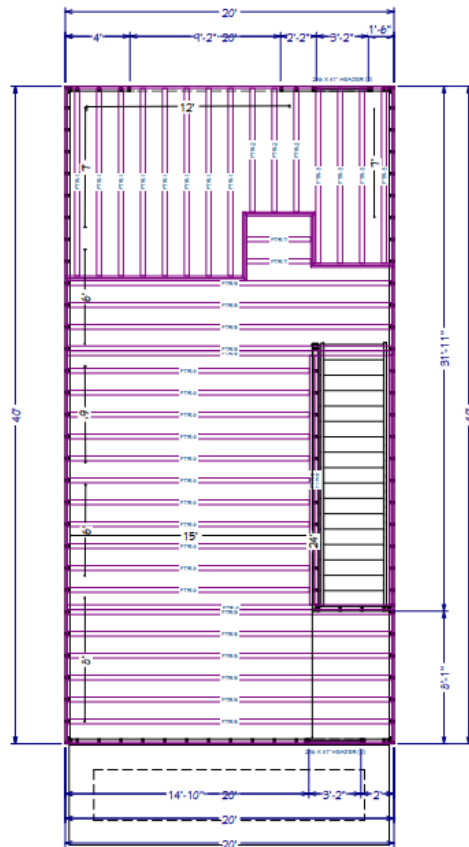
FLOOR FRAMING

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A
S110 FLOOR FRAMING PLAN
SCALE: 1/4" = 1'

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:	
Rev	Description

PAGE TITLE:
CEILING/ROOF FRAMING

SHEET #:
S130

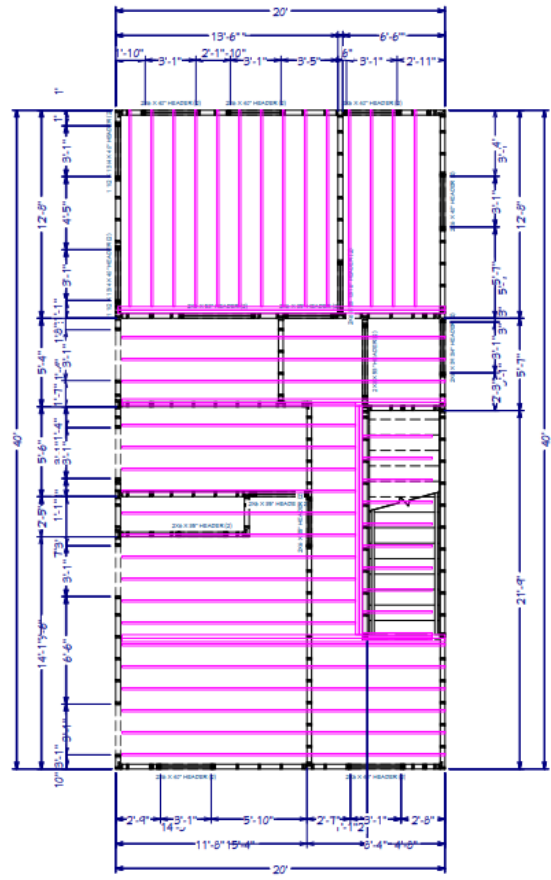
SCALE:
1/2" = 1'0"

DATE:
12/18/2025

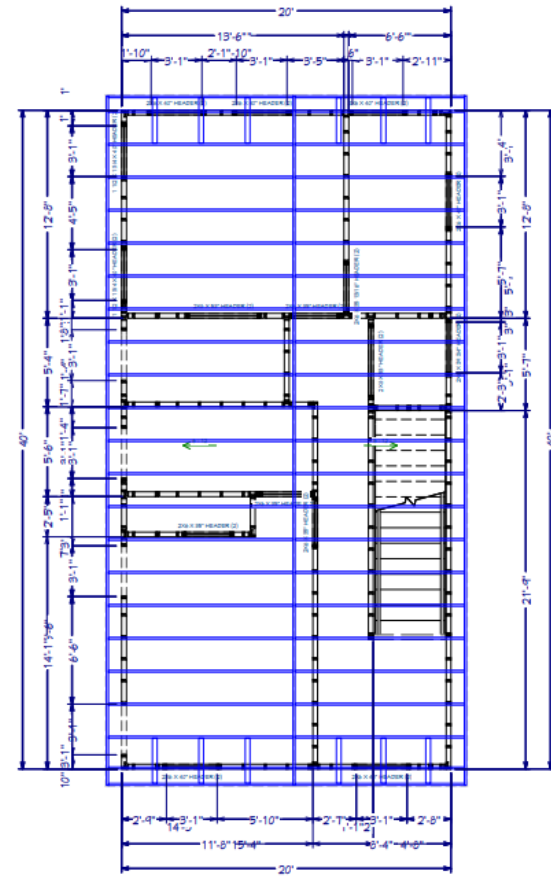
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A CEILING FRAMING PLAN
S130 SCALE: 1/4" = 1'



B ROOF FRAMING PLAN
S130 SCALE: 1/4" = 1'

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Rev	Description

PAGE TITLE:

SLAB DETAILS

SHEET #:

S201

SCALE:

1/4" = 1'-0"

DATE:

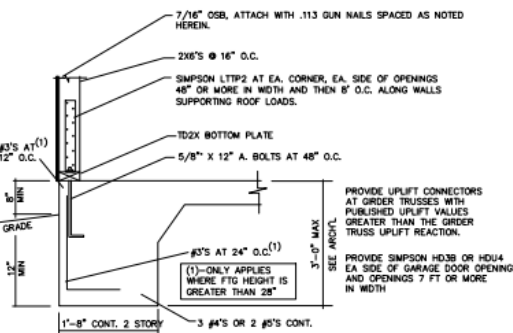
12/18/2025

DISCLAIMERS:

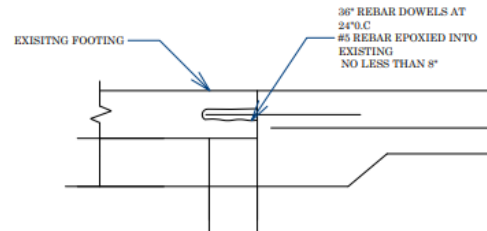
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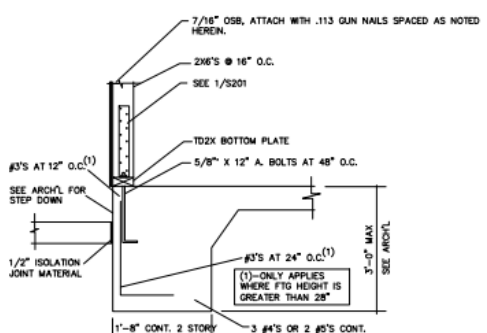
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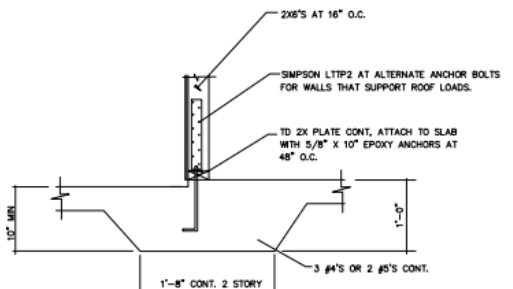
1 WALL FOOTING DETAIL
SCALE N.T.S.



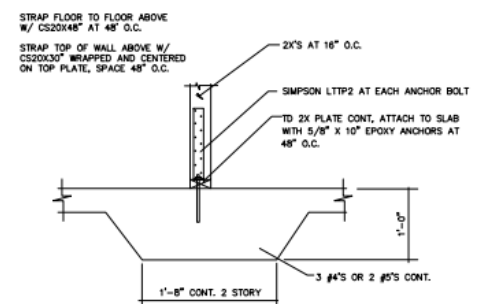
2 NEW TO EXISTING FOOTING CONNECTION
SCALE N.T.S.



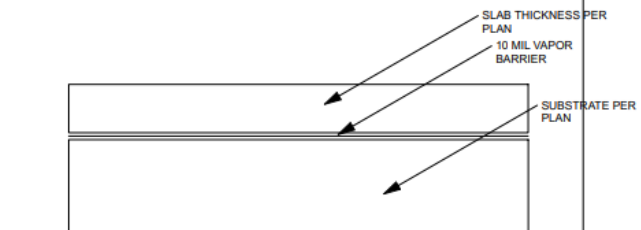
3 STEP DOWN DETAIL
SCALE N.T.S.



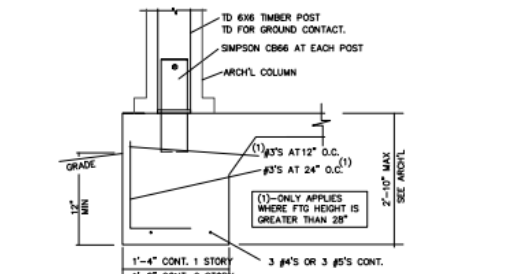
4 DEPRESSED SLAB DETAIL
SCALE N.T.S.



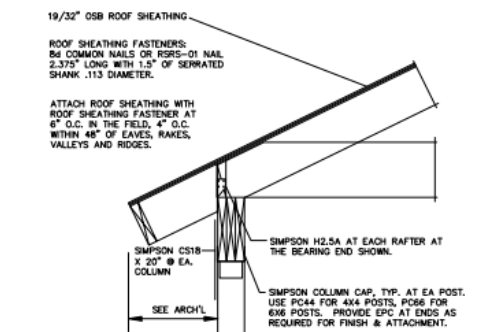
5 INT. WALL W/ROOF LOADS
SCALE N.T.S.



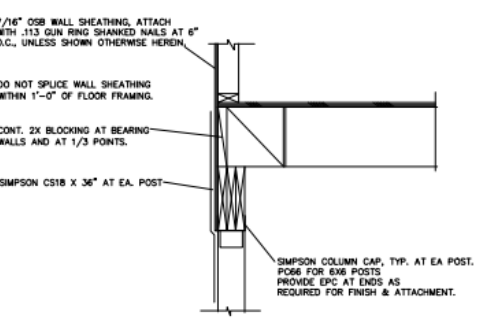
6 VAPOR BARRIER
SCALE N.T.S.



7 POST FOOTING DETAIL
SCALE N.T.S.



8 EAVE AT PORCH
SCALE N.T.S.



9 EAVE AT PORCH DETAIL
SCALE N.T.S.

7/16" OSB WALL SHEATHING, ATTACH WITH .113 GUN RING SHANKED NAILS AT 6" O.C., UNLESS SHOWN OTHERWISE HEREIN.

DO NOT SPURCE WALL SHEATHING WITHIN 1'-0" OF FLOOR FRAMING.

CONT. 2X BLOCKING AT BEARING WALLS AND AT 1/3 POINTS.
2" TAG PLYWOOD, GLUE AND NAIL W/ .113 X 2" NAILS 6" O.C.
SIMPSON CS18X48" AT 48" O.C. AROUND OUTSIDE AND ALL INTERIOR LOAD BEARING WALLS WHERE PLYWOOD IS SPLICED WITHIN 12" OF FLOOR FRAMING.
BLOCK SIDE WALLS AT 48" O.C.

1 TYP. FLOOR TO FLOOR DETAIL
SCALE N.T.S.

RAFTERS 'OVER-FRAMED' FOR THE INTERSECTING GABLES.
SIMPSON TS12'S AT EACH RAFTER.
THE CONCEPT OF 'OVER-FRAMING' SHALL APPLY TO ALL OVER-FRAMED GABLES, DORMERS, CHIMNEYS OR OTHER ELEMENT WHICH IS FRAMED OVER A LOWER FRAMED AREA.

4 TYP. OVER-FRAMING DETAIL
SCALE N.T.S.

STUDS SUPPORTING ROOF LOADS ABOVE.
SIMPSON CS18X24" STRAP AT 32" O.C. BETWEEN STUD AND SUPPORTING BEAM BELOW. PROVIDE NOTCH IN PLYWOOD SUBFLOOR IF NECESSARY FOR STRAIGHT AND PROPER INSTALLATION.
BEAM OR HEADER ELEMENT SUPPORTING A WALL THAT SUPPORTS ROOF LOADS FROM ABOVE.
SIMPSON CS18X24" ON EACH SIDE OF POST SUPPORTING BEAM.
POST TO BE ANCHORED AT BASE AS SHOWN HEREIN OR WITH SIMPSON LIFTING. BOTTOM UPLIFT CONNECTION SHALL BE ATTACHED TO MASONRY OR CONCRETE FOUNDATION SYSTEM.
STRAP LENGTHS AND BASE CONNECTORS TO BE ADJUSTED FOR ACTUAL UPLIFT REACTIONS OF SPECIFIC CONDITIONS. NOTIFY ENGINEER FOR SPECIFICS.

7 BEAM STRAPPING DETAIL
SCALE N.T.S.

ROOF SHEATHING FASTENERS: 8d COMMON NAILS OR RING-01 NAIL 2.375" LONG WITH 1.5" OF SERRATED SHANK .113 DIAMETER.
ATTACH ROOF SHEATHING WITH ROOF SHEATHING FASTENER AT 6" O.C. IN THE FIELD, 4" O.C. WITHIN 48" OF EAVES, RAKES, VALLEYS AND RIDGES.
RAFTERS OR ROOF TRUSSES
SIMPSON CONNECTOR AT THE BEARING END OF EACH RAFTER, OUTSIDE OR INSIDE OF WALL. ON INSIDE INSTALL SIMPSON CS20X16" STRAP ATTACHING TOP PLATE TO STUDS AT NOT MORE THAN SIX FEET O.C.
UPLIFT REACTION CONNECTOR
STICK FRAMED ROOF SIMPSON H2.5A
7/16" PLYWOOD SHEATHING, ATTACH WITH .113X1" SERRATED GUN NAILS AS NOTED HEREIN
SEE ARCH

2 TYP. EAVE DETAIL
SCALE N.T.S.

SIMPSON CS18 X 16" AT EACH END OF EACH WINDOW OR DOOR OPENING AT KING STUDS WITH OPENINGS GREATER THEN 48" INSTALL AT 48" O.C. AT INTERIOR WALLS THAT SUPPORT ROOF LOADS. ALIGN WITH CS OR LT'S BELOW.
STRAP LENGTH AND QUANTITY AT HEADERS SHALL BE ADJUSTED BASED ON SPECIFICS OF UPLIFT LOADS ABOVE.
DOOR OR WINDOW HEADER
JACK STUDS
KING STUDS
SIMPSON LT119 AT EACH END OF EACH WINDOW OR DOOR OPENING IN LINE WITH KING STUDS. FOR OPENINGS GREATER THEN 48" IN WIDTH, AND AT EACH ORDER STUDS.
PROVIDE A SINGLE KING STUD FOR OPENINGS UP TO 36" WIDE. PROVIDE A DOUBLE KING STUD FOR OPENINGS GREATER THAN 36" AND UP TO 60" IN WIDTH. PROVIDE A TRIPLE KING STUD FOR OPENINGS WIDER THAN 60" AND UP TO 84"

5 TYP. WALL STRAPPING DETAIL
SCALE N.T.S.

STUDS SUPPORTING ROOF LOADS ABOVE.
SIMPSON CS18X24" STRAP AT 32" O.C. BETWEEN STUD AND SUPPORTING BEAM BELOW. PROVIDE NOTCH IN PLYWOOD SUBFLOOR IF NECESSARY FOR STRAIGHT AND PROPER INSTALLATION.
BEAM OR HEADER ELEMENT SUPPORTING A WALL THAT SUPPORTS ROOF LOADS FROM ABOVE.
SIMPSON HT20 IN EACH BEAM CORNER, FOUR (4) REQD
POST TO BE ANCHORED AT BASE AS SHOWN HEREIN OR WITH SIMPSON HARDWARE. BOTTOM UPLIFT CONNECTION SHALL BE ATTACHED TO MASONRY OR CONCRETE FOUNDATION SYSTEM.
STRAP LENGTHS AND BASE CONNECTORS TO BE ADJUSTED FOR ACTUAL UPLIFT REACTIONS OF SPECIFIC CONDITIONS. NOTIFY ENGINEER FOR SPECIFICS.

8 BEAM STRAPPING DETAIL CONT.
SCALE N.T.S.

2X4 OUTRIGGER 48" O.C.
2X BLOCKING IN OUTER 2 FRAMED BAYS, SPACE 48" O.C.
SIMPSON H2.5A AT EACH OUTRIGGER
2X BLOCKING ADJACENT TO EA OUTRIGGER
2X6 7" 2" DIAED NAILS PER STUD
SIMPSON CS20X16" EA SIDE OF EA. BRACE
DIAGONAL 2X6 "T" SPACED NOT MORE THAN 10 FT O.C.
(4) .131 X 3" NAILS
2X BLOCKING, TO MATCH CEILING DEPTH, PLAY IN OUTER THREE FRAMING BAYS
SIMPSON CS18 X 48" WHEN PLYWOOD IS SPLICED WITHIN 8" OF CEILING LE
GABLE END BRACING AT STICK FRAMED GABLE ENDS IS ONLY REQUIRED FOR STUD HEIGHT GREATER THAN 10 FEET

3 GABLE END FRAMING
SCALE N.T.S.

THREADED ROD THRU CENTER OF BEAM WITH 1/4X2X2 WASHER PLATE
THREADED ROD ADJACENT TO BEAM WITH SIMPSON H2.5 OR SIMILAR ANCHOR BOLTED TO SIDE OF BEAM
WHERE A BEAM OR ORDER TRUSS SUPPORT ROOF FRAMING AND UPLIFT LOADS FROM ABOVE, EACH END OF THE BEAM SHALL BE ANCHORED BY ONE OF THE APPROACHES SHOWN HEREIN ABOVE.

6 BEAM / TRUSS HOLD DOWN
SCALE N.T.S.

SIMPSON CS18 STRAP THROUGH THE PLUMB-CORNERING OF STUDS ABOVE TO THE STUDS ON FLOOR FRAMING. BEAM SPACE NOT MORE THAN 48" O.C. FOR INTERIOR WALLS
STUD WALL BELOW IF ATTACHED TO THE SLAB OR FLOOR FRAMING AT NOT MORE THAN 48" O.C.

9 INTERIOR WALL WITH ROOF LOADS
SCALE N.T.S.

PROJECT INFORMATION:
1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:	
No.	Description

PAGE TITLE:
STRAPPING DETAILS

SHEET #:
S202

SCALE:
N/A

DATE:
12/18/2025

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1818 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

HEADER AND CONNECTION DETAILS

SHEET #:

S301

SCALE:

N/A

DATE:

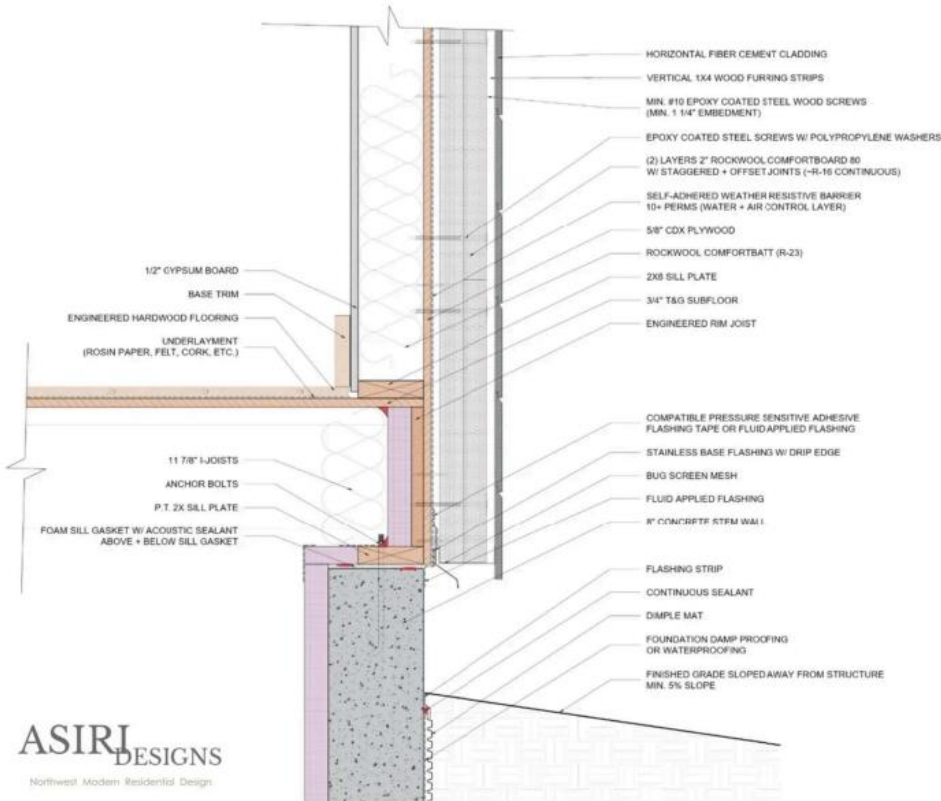
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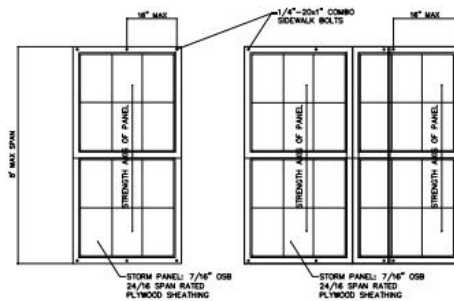
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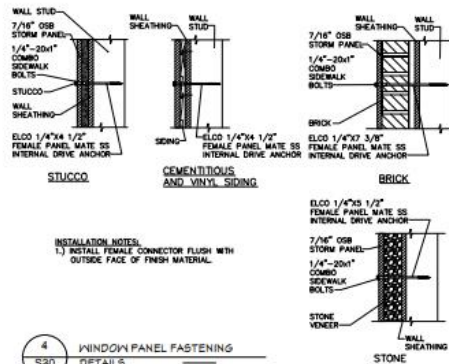
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ASIRI DESIGNS
Northwest Modern Residential Design

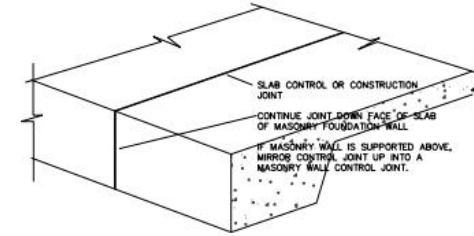


1 WINDOW FLYING DEBRIS PROTECTION
SCALE N.T.S.

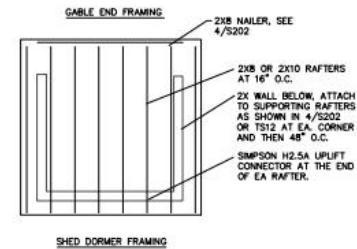
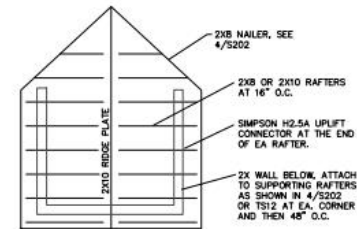


NTS

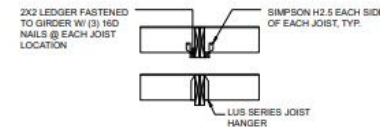
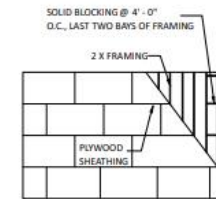
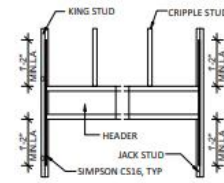
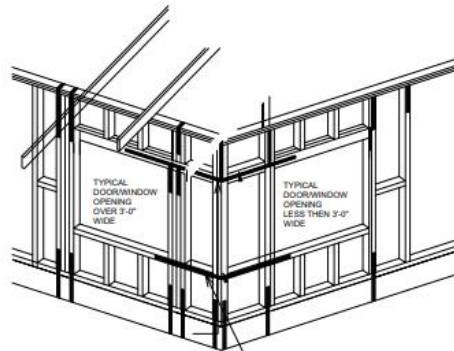
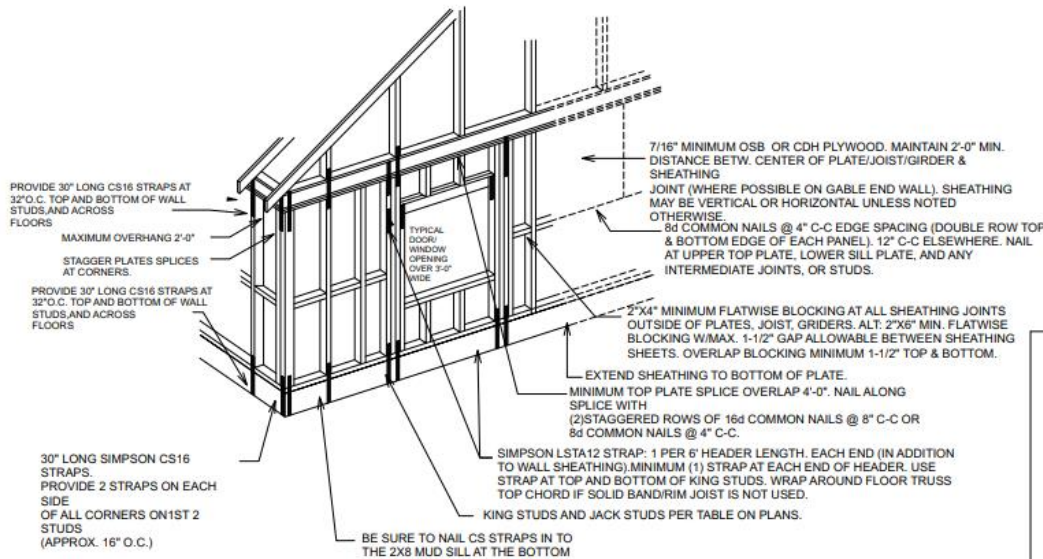
4 WINDOW PANEL FASTENING
SCALE N.T.S.



5 CONTROL JOINT TERMINATION
SCALE N.T.S.



6 DORMER FRAMING DETAIL
SCALE N.T.S.



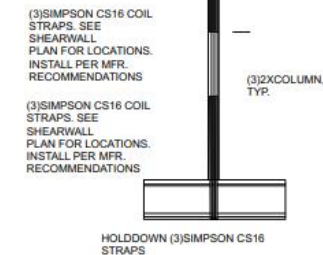
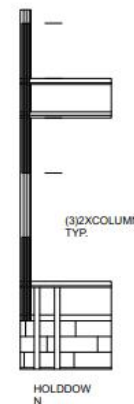
(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

(2) SIMPSON PA51 STRAPS EACH HOLDDOWN LOCATION

CMU WALL (PIERS, SIMILAR)



PROJECT INFORMATION:
1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table	
Rev	Description

PAGE TITLE:
STRAPPING DETAILS

SHEET #:
S410

SCALE:
N/A

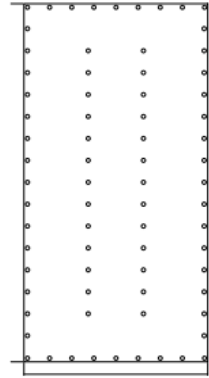
DATE:
12/18/2025

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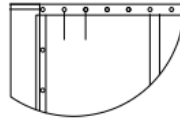
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NAIL SPACING @
INTERMEDIATE FRAMING
TO BE 12" (O.C.)



NOTE: SEE PLANS FOR NAIL
SPACING

PANEL EDGE

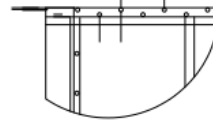


2x FLATWISE BLOCKING

PANEL EDGE
SINGLE ROW OF FASTENERS

SINGLE ROW OF FASTENERS

PANEL EDGE



PANEL EDGE
DOUBLE ROW OF FASTENERS

DOUBLE ROW OF FASTENERS

A
S411

PANEL ATTACHMENT

SCALE N.T.S.

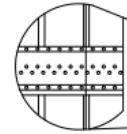
PANEL ATTACHMENT TO UPPER
TOP PLATE OR CEILING JOIST
BAND= DOUBLE ROW 8d NAILS
@ EDGE SPACING PER PLAN

DOUBLE TOP PLATE

8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

8d NAILS @ EDGE
SPACING PER PLAN



(4) 8d COM. NAILS @ 3"
(O.C.) FOR UPLIFT (EACH
SIDE OF HORIZ. JOINT)

NAILING PROVIDED IN
STUDS ON EACH SIDE
OF HORIZ. JOINT

8d NAILS

PANEL EDGE

DOUBLE ROW OF 8d
NAILS @ EDGE SPACING
PER PLAN (O.C.)
STAGGERED

(4) 8d COM. NAILS @ 3"
(O.C.) FOR UPLIFT (EACH
SIDE OF HORIZ. JOINT)

BOTTOM PLATE

BOTTOM PLATE

8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

8d NAILS @ EDGE
SPACING PER PLAN

B
S411

PANEL SPLICE OCCURRING ACROSS STUDS

SCALE N.T.S.

DOUBLE TOP PLATE

PANEL ATTACHMENT TO UPPER
TOP PLATE OR CEILING JOIST
BAND= DOUBLE ROW 8d NAILS
@ EDGE SPACING PER PLAN

8d NAILS @
SPACING PER PLAN

SEE PLAN
FOR "12" NAIL
SPACING

PANEL EDGE

DOUBLE ROW OF 8d
NAILS @ EDGE
SPACING PER PLAN

DOUBLE ROW OF FASTENERS

8d NAILS @
SPACING PER PLAN

BOTTOM PLATE

STEMWALL/MONO
SLAB FOUND.
CONDITION

CRAWLSPACE AND
PIER FOUNDATION
CONDITION

FOUNDATION

BAND JOIST

BOTTOM PLATE

8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

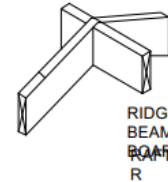
8d NAILS @ EDGE
SPACING PER PLAN

C
S411

PANEL SPLICE OCCURRING OVER HORIZ. FRAMING MEMBERS

SCALE N.T.S.

COLLAR TIE, ALTERNATE
EVERY OTHER RAFTER
MIN. (9) 8D NAILS EA. END



RIDGE
BEAM/
BOARD
R

D
S411

RIDGE UPLIFT STRAPPING (ALTERNATIVE TO CONVENTIONAL COLLAR TIE)

SCALE N.T.S.

PROJECT INFORMATION:

1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:

Rev	Description

PAGE TITLE:

SHEATHING DETAILS

SHEET #:

S411

SCALE:

N/A

DATE:

12/18/2025

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PROJECT INFORMATION:
1853 DOSCHER ST
N. CHARLESTON, SC
TMS#4640100124

Revision Table:	
Rev	Description

PAGE TITLE:
DECKS AND STAIRS

SHEET #:
S430

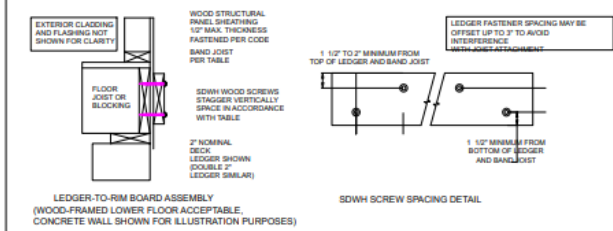
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12/18/2025

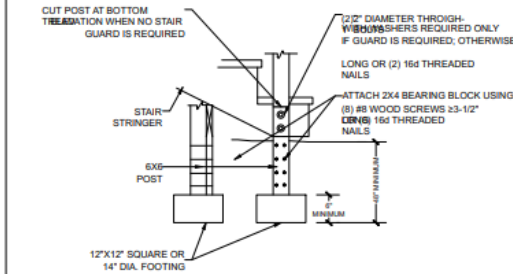
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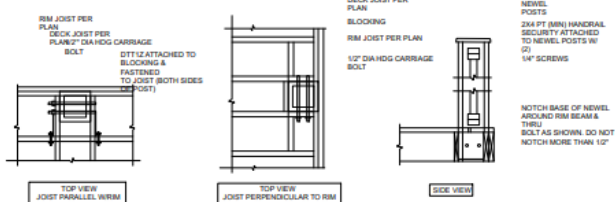
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B
S430
LEDGER ATTACHMENT @ STUD WALL CONNECTION
SCALE N.T.S.

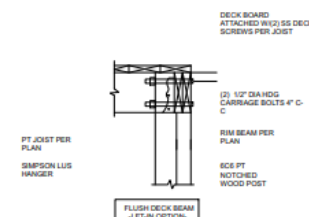


C
S430
STRINGER TO POST CONNECTION
SCALE N.T.S.

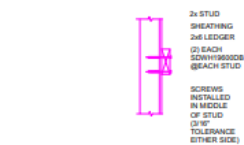


DETAIL NOTES:
1. THIS DETAIL APPLIES TO BASE CONNECTION OF HOLLOW OR SOLID COLUMNS AND GUARDRAIL NEWEL POSTS BOLTED DIRECTLY TO THE TOP OF DECK FRAMING.
2. MAXIMUM NEWEL POST SPACING = 6'-0\"/>

D
S430
LEDGER ATTACHMENT @ STUD WALL CONNECTION
SCALE N.T.S.



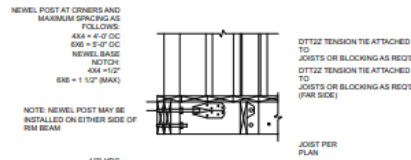
E
S430
TYPICAL BEAM TO POST CONNECTION
SCALE N.T.S.



B1
S430
LEDGER ATTACHMENT @ STUD
SCALE N.T.S.



J
S430
TYPICAL DECK TOP RAIL
SCALE N.T.S.



H
S430
TYPICAL NEWEL POST
SCALE N.T.S.

Agenda Item #B-18

2219 Peonie St.

(Rosemont)

TMS # 464-01-00-178

Request special exception under Sec. 54-501 to build a detached single-family home on a lot of insufficient size and a variance from Sec. 54-301 to allow a 5' south side setback and a 5' north side setback (9' and 9' required).

Zoned: SR-1





Workspaces v



© 2025 Eagleview

20 ft
10 m



Application for Variance, Special Exception, Reconsideration, or Extension
to the **Board of Zoning Appeals – Zoning (BZA-Z)** **Page 1 of 2**

City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. Applications are due by 12 Noon on the deadline date and **must** be complete to be accepted and placed on an agenda. A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days. An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☒ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☒ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 1/20/2026

Property Address 2219 Peonie St. TMS # 464-01-00-178

Property Owner Rosemont Coastal Properties Daytime Phone 843-480-2354

Applicant JJ Rahnamoon Daytime Phone _____

Applicant's Mailing Address 1680 Signiant Dr.

Charleston, SC 29407 E-mail Address jj@charlstonpreproperties.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Same

Zoning of property SR-1

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for a density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☐ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant

Jared Rahnamoon

Date 12/11/2025

For office use only

Date application received _____

Staffperson _____

Fee \$ _____

Time application received _____

Receipt # _____

PLAN INDEX	
Sheet	Title
T	Main Border Page Template
P	Project Overview
A1	General Notes/Codes
A2	General Notes/Codes
A3	Site Plan
A4	Proposed Plans
A5	Electrical Plans
A6	Window/Door Schedules
A7	FIRE RATING
A8	Roof Plans
A9	Rear and Front Exterior Elevation
A10	Side Exterior Elevation
S201	STRUCTURAL NOTES
S202	STRUCTURAL NOTES
S203	STRUCTURAL NOTES
S110	1ST FLOOR FRAMING PLAN
S130	Ceiling/Roof Framing
S401	SLAB DETAILS
S204	SHRAPPING DETAILS
S201	HEADER AND CONNECTION DETAILS
S410	SHRAPPING DETAILS
S411	SHRAPPING DETAILS
S430	RECKS AND STAIRS



PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:

Project Overview

SHEET #:

2

SCALE:

1/4" = 10'

DATE:

12/17/2025

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GENERAL NOTES

- Contractor is responsible for details not shown in this plan set, including foundation, framing, structural connections, roofing, door and window openings, HVAC, insulation, electrical plumbing, building envelope, water tightness and water infiltration products, components and details.
- All construction materials, detailing, connections and workmanship not showing in these plans shall comply with the 2021 International Residential Code for One- and Two-Family Dwellings (2021 IRC).
- The Contractor shall review all layouts and dimensions prior to construction. First Choice Designs, LLC and the engineer of record shall be notified of any dimensional discrepancies or inconsistencies before materials are ordered or fabricated, and before construction begins.
- Do not substitute materials, or do not modify layout, spans or structural elements without the written consent of the structural engineer of record or First Choice Designs, LLC.
- Contractor shall coordinate with electrical, plumbing and mechanical contractors for block outs, conduit, sleeves, ducts, chases, embedded items. No large holes or notches are permitted through any walls or wood framing.
- During construction, all foundations, walls, floors, trusses and other building elements shall be adequately braced with appropriate temporary shoring to resist construction loads until all structural elements have been permanently installed and secured.

WOOD

1. All framing lumber (joists, rafters, headers and beams) shall be Hem-Fir Grade #2 or Spruce-Pine-Fir Grade #2 or better, having the following minimum base design values: Bending stress Fb = 850 psi for single member use 1000 psi for repetitive member use Horizontal shear Fv= 70psi Compression perpendicular to grain Fc= 405 psi Compression parallel to grain Fc 11 00 psi Modulus of Elasticity E= 1,300,000 psi Note: Spruce-Pine-Fir (South) is not acceptable. Spruce-Pine-Fir must be graded by NLGA.
2. All exterior deck framing lumber or structural posts shall be Southern Yellow Pine Grade #2 or better, having the following minimum properties(based on 2x12 lumber): Bending stress Fb = 975 psi for single member use 1150 psi for repetitive member use Horizontal shear Fv= 90psi Compression perpendicular to grain Fc= 565 psi Compression parallel to grain Fc IF 1450 psi Modulus of Elasticity E= 1,600,000 psi Note: All wood noted as (P.T.) shall be Southern Yellow Pine Grade #2 or better pressure treated to 0.40 pounds per square foot chemical retention.
3. Plywood laminated beams (noted as "LVL" or "Microlam") shall have the following minimum properties: Bending stress Fb = 2600 psi for single member use Horizontal shear Fv = 285 psi Modulus of Elasticity E= 1,900,000 psi NOTE: HIGHER STRENGTH MEMBERS MAY BE USED AS SPECIFICALLY NOTED IN STRUCTURAL DRAWINGS
4. All studs in bearing walls shall be Spruce-Pine-Fir stud grade or better, having the following minimum base design values: Bending stress Fb = 625 psi for single member use compression parallel to grain Fc IF 625 psi Modulus of Elasticity E= 1,200,000 psi
5. Exterior walls shall be minimum 2 x 4's @ 16" O.C. for heights up to 10' -0H, and 2 x 6 's @ 16" O.C. for heights greater than 10' -0". All stud bearing walls shall have two continuous top plates and one continuous bottom plate unless noted otherwise. Splices of top plate shall occur over a stud. Splices shall be staggered a minimum of four feet.
6. Provide solid blocking at 4' -0" O.C. between band joist and first interior parallel joist unless using manufactured floor joists.
7. Prefab joist and beam hangers shall be sized and attached according to manufacturer's requirements.
8. U.N.O. manufactured floor joist systems shall have a min. 1 1/4" PSL rim board at all perimeter bearing walls. Provide squash blocks and web stiffeners as required to distribute loadings.
9. Wood floor joist systems shall have a min. 2x band matching the depth of the floor system.
10. All freestanding posts shall have prefab post cap and base. Posts within wall shall have prefab cap attached to beam. Posts bearing directly on masonry or concrete shall have prefab base.
11. Trusses, truss joists and floor joists shall align directly over studs with an offset of no more than three inches. Install additional studs as required.
12. Holes bored in bearing wall studs shall not exceed 1/3 of stud width
13. Holes shall not be cut through manufactured floor trusses except as specifically allowed by the manufacturer
14. All roof rafters and trusses shall be connected at each bearing point with one prefabricated galvanized metal connector. Each connector shall be min. 18ga. thick and shall be attached to have a capacity to resist a min. 450 # uplift unless noted otherwise.
15. Truss and truss joist spacing shown on the drawings is maximum acceptable spacing of trusses shall be adjusted as required to meet loading requirements.
16. Contractor shall submit roof and floor truss shop drawings and calculations sealed by a professional engineer in the governing jurisdiction to the Architect for review.
17. All structural wood exposed to outside unprotected or bearing directly on concrete or masonry shall be pressure treated (P.T.) with approved materials to resist decay and infestation by termites and/or moisture.
18. All wall sill plates shall be anchored to foundation walls with anchor bolts embedded a min. 8" into poured concrete and 15" into grouted CMU. Minimum 2 anchors per section of plate and max. spacing of anchors at 6' -0" O.C. One anchor shall be placed within 12" from end of each sill plate. All anchor bolts are to be coated in a manner compatible with the method of treatment of the sill plate.
19. All exterior wood framework supported on foundation walls shall be a min. 6" above finish grade.
20. All wood framed exterior corners shall be laterally braced min. 4' -0" each direction from the corner with 112" exterior plywood or other approved structural sheathing or approved galvanized steel corner bracing.
21. Provide blocking between all joists 2x10 and greater, at intervals not to exceed 8' -0" O.C.
22. All structural wood posts under beams and headers over 4' -0" span shall be min. 2 -2 x 4 unless noted otherwise.
23. All framing shall be detailed and installed in accordance with NFPA Manual for House Framing.
24. Unless noted otherwise, plywood subfloors shall be glued and nailed with APA approved elastomeric structural adhesive and min. 8d common nails spaced @ 6" O.C. at edges and @ 12" O.C. at intermediate supports unless noted otherwise.
25. All plywood roof, floor and wall sheathing shall be APA approved.
26. All wood blocking, nailers, etc. shall be attached to steel or concrete framing with power actuated fasteners or 3/8" diameter bolts unless noted otherwise. Fasteners shall be spaced at 32" max. O.C. and shall be staggered. Fasteners shall have a min. capacity of 100# in shear and pullout unless noted otherwise.

DOORS AND WINDOWS

Contractor shall verify that windows and doors to be installed shall comply with applicable building code standards for egress, light, ventilation, and wind impact loads. Contractor shall install fire-rated doors at specific locations as required by applicable building codes.

THERMAL AND MOISTURE PROTECTION

1. All slabs on grade in conditioned spaces shall be insulated with min. min.1" thick rigid insulation from top of slab downward to 24" below grade and inward 24" from perimeter of slab.
2. Waterproof all exterior foundation walls enclosing habitable spaces as required by applicable building code at exterior of wall prior to backfilling.
3. Flashing: Code approved corrosion resistive flashing shall be provided at top and sides of all window and door openings in such a manner as to be leakproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing material around the perimeter of the opening, including corners, do not require additional flashing. Jamb flashing may also be omitted when specifically approved by the building official. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides of stucco copings; under and at ends of masonry, wood or metal copings and sills; continuously above all projecting wood trim at all wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.
4. The Contractor is further responsible for using sound judgment and accepted building practices to prevent thermal and moisture infiltration and to protect the integrity of the building.
5. Building paper : When veneer of brick, clay tile, fiber cement planks, concrete or natural or artificial stone are used, min."Tyvek" or equivalent building wrap shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer.

HEATING, VENTILATION AND AIR CONDITIONING

Design and installation of HVAC system, including sizing of equipment and ductwork, is the responsibility of the Mechanical Contractor. These plans typically show suggested locations for installation of return air ducts and gas flues. Duct sizes shown are approximate and actual sizes may vary. Contractor shall verify size and location of these items with design drawings as provided by the installer. ENVIRONMENTAL HAZARDS These plans do not include design for systems to alleviate specific environmental hazards, including radon gas, seepage of toxic waste, acid rain, lead or asbestos which may occur on building sites

P.T. WOOD REQUIREMENTS:

1. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH CHROMATID COPPER ARSENATE (CCA) (AS AVAILABLE AND AS ALLOWED), ALKALINE COPPER QUOT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BEIER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2 X 12 LUMBER):
-BENDING STRESS "Fb" = 975 PSI FOR SINGLE MEMBER USE
-HORIZONTAL SHEAR "Fv" = 90 PSI
-MODULUS OF ELASTICITY "Em" = 1,600,000 PSI
-COMPRESSION PARALLEL TO GRAIN "Fci 1" = 1,450 PSI
-COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 565 PSI
2. PREFABRICATED JOIST HANGERS. BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ALL ATTACHED PER MANUFACTURERS RECOMMENDATION.
3. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL BE G85 GALVANIZED OR STAINLESS STEEL.



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

General Notes/Codes

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A1

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NOTES ON FLOOR TRUSS SYSTEM:

The floor truss systems are assumed to be TJI joists supplied and engineered by Truss Joist or Equal. The Truss Joist supplier is expected to review all systems and details herein for compatibility with the actual system supplied. Floor trusses supplied by other manufacturers may require different details and may not be substituted without consulting the Architect.

1. 3/4" minimum bearing is required at joist ends. 3 1/2" minimum bearing is required when joists are continuous over the support.
3. Rim joist material to be 1-1 1/4" Parallel Strand Composite member (U.N.O.).
4. Rim joist and cantilever reinforcement shall bear fully on the wall plate.
5. Nail joists at bearings with 2-8d (or 10d or 12d box) nails (1 each side), 1 1/2" minimum from end to minimize splitting.
6. Nail TJI joist blocking panels or TJ rim joist to bearing plate with 8d nails at 6" O.C.
7. Nail rim joist to every TJI joist with 2-8d nails, one each at top and bottom flange.
8. Attach 2x4 min. squash blocks to TJI joist top and bottom flanges with 1 -8d nail.
9. Web stiffeners are required if the sides of joist hangers do not laterally support(contact) the TJ joist top flange.
10. Holes for HVAC, electrical, plumbing, etc., are not allowed except as specifically approved by TrusJoist. Refer to "T1 Joist Hole Charts" in manufacturer's brochure for specific information.
11. Refer to keyed details herein for specific TJI joist framing reinforcement and attachment. Details not keyed may not be substituted. If a condition arises that is not specifically keyed and detailed here, contact TrusJoist or their supplier for additional detail as required.
12. Contractor shall refer to floor framing diagrams supplied by manufacturer and sealed by a professional engineer for additional information.

STRUCTURAL CRITERIA:			
LOADS (PSF)	LIVE	DEAD	TOTAL
FLOOR JOISTS	40	10	50

ADDITIONAL CRITERIA:
DEFLECTION ON ALL MANUFACTURED FLOOR JOISTS SHALL BE LIMITED TO L/480 OR 1/2". WHICHEVER IS LESS.

WALL BRACING NOTES:
*ALL NEW STRUCTURE IS DESIGNED AND BRACED ACCORDING TO THE REQUIREMENTS OF THE 2021 1-2 Family Residential Code.
*UNLESS OTHERWISE CALLED OUT ON THESE FRAMING PLANS, ALL NEW EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND ON GABLE END WALLS) ARE TO BE BRACED USING THE CS-WSP METHOD, WHICH CALLS FOR CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING WITH A MINIMUM 3/8" THICKNESS, SECURED AT PANEL EDGES WITH 6d COMMON NAILS AT 6" ON CENTER SPACING, AND AT 12" ON CENTER SPACING AT INTERMEDIATE SUPPORTS (OR 16 ga. X 1 3/4" STAPLES SPACED 3" ON CENTER AT PANEL EDGES AND SPACED 6" ON CENTER AT INTERMEDIATE SUPPORTS.
*ALL NEW EXTERIOR CORNER FRAMING SHALL BE IN COMPLIANCE WITH 2021 1-2 Family Residential Code.
*LENGTHS OF BRACED WALL PANELS AT CORNERS ADJACENT TO WINDOW & DOOR OPENINGS ARE DESIGNED TO BE IN ACCORDANCE WITH THE MINIMUM REQUIRED BY 2021 1-2 Family Residential Code.
*WHERE CSPF IS CALLED FOR ON THESE FRAMING PLANS, WALL PANELS ARE TO BE CONSTRUCTED AS CONTINUOUS PORTAL FRAME BRACED WALL PANELS AS PER 2021 1-2 Family Residential Code.
* ALL OTHER REQUIREMENTS AND DETAILS CONTAINED IN THE IRC-2021 THAT ARE NOT SPECIFICALLY STATED IN THESE NOTES SHALL ALSO BE FOLLOWED. CONSULT ARCHITECT WITH ANY QUESTIONS REGARDING WALL BRACING REQUIREMENTS IN THE FIELD.

GENERAL REQUIREMENTS

1. The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Architect in the form of drawings, specifications and written instructions.
2. Contractor shall visit the site to verify all existing dimensions and conditions and shall notify the Architect in writing of any discrepancies before proceeding with the work or shall be responsible Contractor shall be familiar with provisions of all applicable codes and shall insure compliance's of the work to those codes.
4. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety are and shall be the Contractor's responsibility.
5. Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
6. If in the event of conflict between local, state, and national codes, the more stringent shall govern.
7. All construction is to follow the following code: 2021 I.R.C. One and Two Family Dwelling Code, 2021 edition of SC.

STRUCTURAL SPECIFICATIONS GENERAL REQUIREMENTS
Refer to structural drawings in these documents for specific Structural Criteria including live and dead loading for roofs, floors and other structural components. Under no circumstances shall loading be assumed to be less than the applicable building code minimum.
The conditions and assumptions stated in these documents shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering shall be applied to insure the building's structural integrity.

3. These requirements may be superseded by more stringent information within the drawings. The more stringent information shall be followed.
4. Any additional equipment or fixtures not shown on structural drawings and having a weight in excess of 400 pounds shall be brought to the attention of the Architect prior to installation.
5. The basic stability of the structure is dependent upon the diaphragm action of floors, walls and roof acting together. Contractor to provide all guys, braces, struts, etc. as required to accommodate all live, dead and wind loads until all final connections between these elements are made.
6. Basement and foundation walls are dependent upon the completed installation of floors for their stability. Contractor shall not place backfill until these elements are completely installed, or Contractor has provided shoring and braces as required to adequately restrain wall.

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:

General Notes/Codes

SHEET #:

A2

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12/17/2025

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North Charleston, SC 29405

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

NO.	Description

PAGE TITLE:

Site Plan

SHEET #:

A3

SCALE:

1"=10'

DATE:

12/17/2025

DISCLAIMERS:

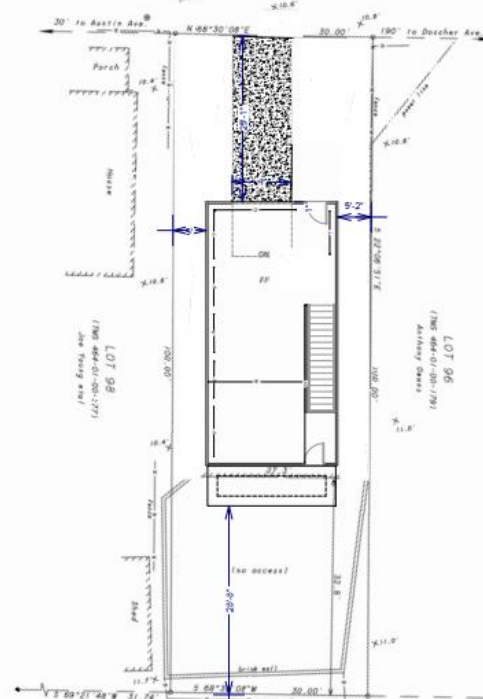
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Total Area:
1600 Sq.Ft.
122 Sq.Ft.
1722 Sq.Ft. (57%)

PEONIE STREET (40' R/W)



- Survey Notes**
- Reference Tax Map Number 464-01-00-178
 - Property Owner: Rosemont Coastal Properties LLC
 - Surveyor has made an investigation or independent search for easements or encumbrances, restrictive covenants, facts that in accurate and current title search may disclose.
 - This lot has been checked against area FEMA maps and to the best of this surveyor's knowledge, said lot is located in Flood Zone Shaded X. It is the responsibility of the owner and/or builder to verify the flood zone with the governing municipality prior to design and construction.
 - AREA: 0.069 Acre 3000 Sq.Ft.
 - Property Zoned: SR-1

Boundary Survey
Lot 97, Richland Village
2219 Peonie Street
Located:
City of Charleston
CHARLESTON COUNTY, SOUTH CAROLINA

LOTS 92 & 93
(TMS 464-01-00-178)
Matthew P. Bobby



2551 Ashley River Road
Charleston, SC 29404
Phone (843) 571-3181
Email: PalmettoLandSurveying@gmail.com

PREPARED EXCLUSIVELY FOR:
SITE LOCATION:

Rosemont Coastal Properties LLC
2219 Peonie Street
Charleston, SC 29405

Surveyor's Statement
I hereby state that the best of my professional knowledge, information and belief, the survey shown herein was made in accordance with the Standards of Practice Manual for Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A Survey as specified therein; also there are no visible encroachments or projections other than shown.

By:
James G. Perington, P.L.S. No. 10251



PROJECT INFORMATION:
2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:	
No.	Description

PAGE TITLE:
Proposed Plans

SHEET #:
A4

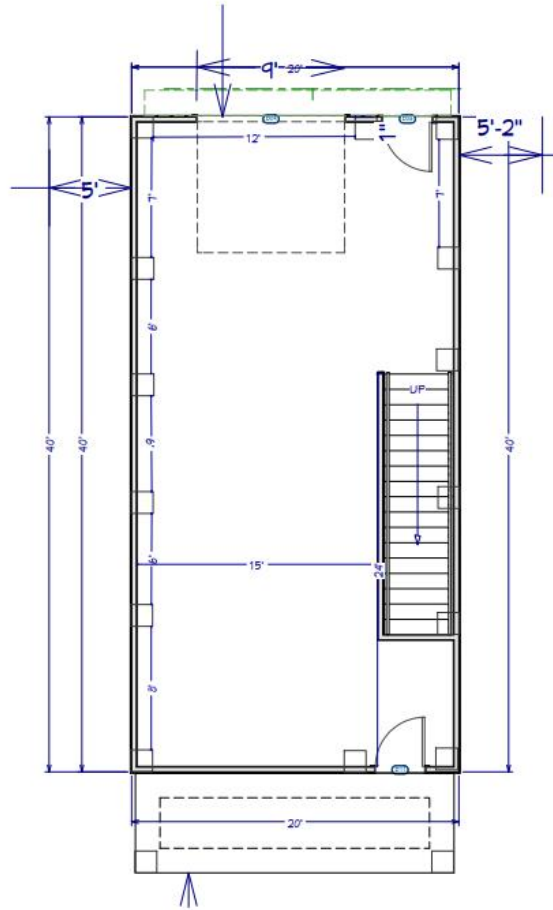
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DATE:
12/17/2025

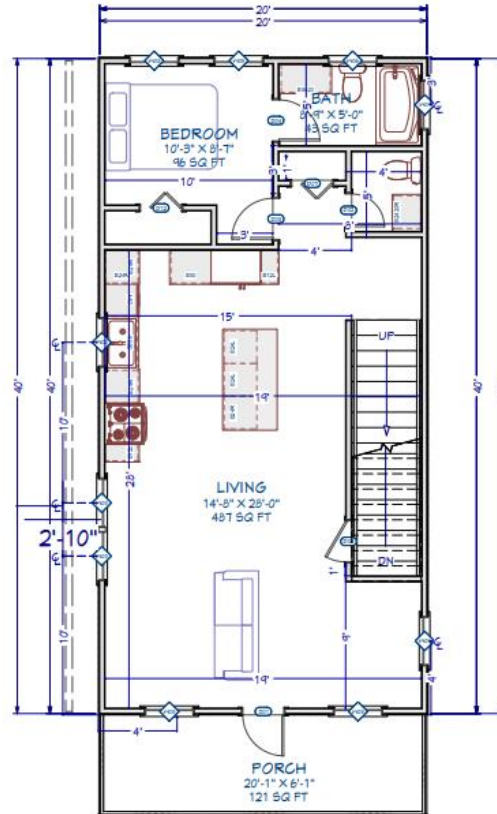
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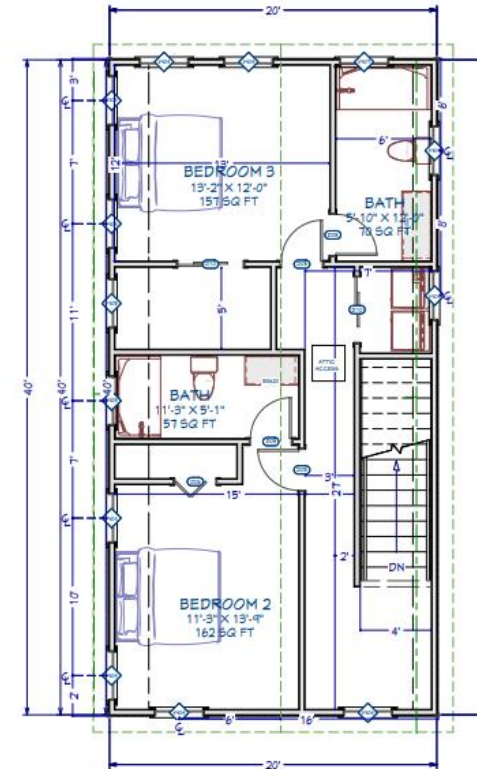
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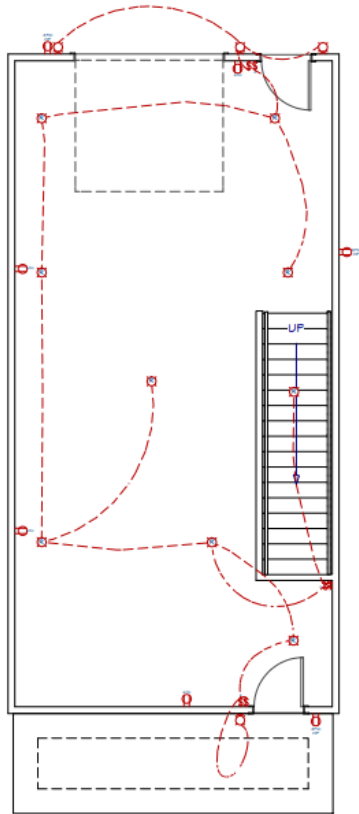
A
A4 PARK UNDER PLAN
SCALE: 1/4" = 1'



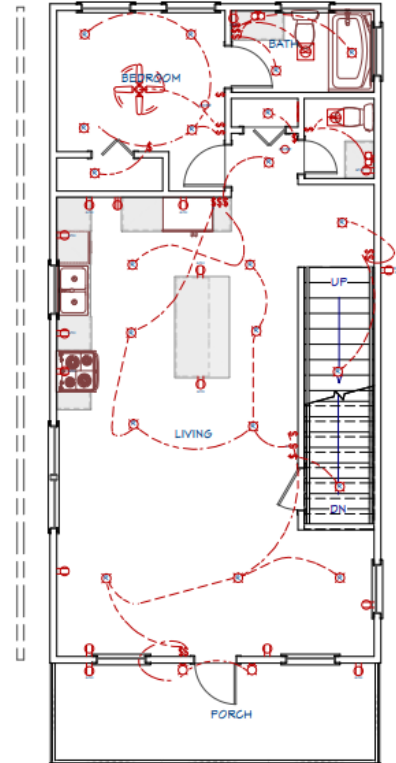
B
A4 FIRST FLOOR PLAN
SCALE: 1/4" = 1'



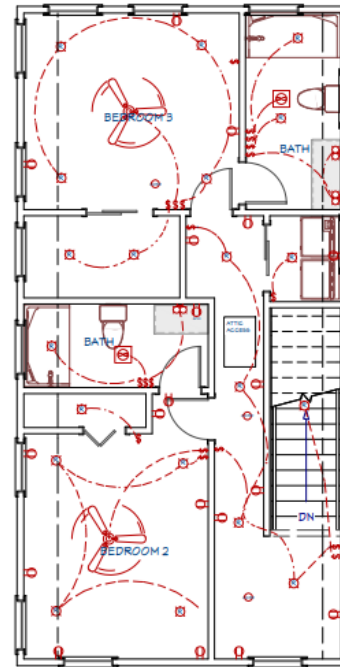
C
A4 SECOND FLOOR PLAN
SCALE: 1/4" = 1'



A
A5 PARK UNDER ELECTRICAL
SCALE: 1/4" = 1'



B
A5 FIRST FLOOR ELECTRICAL
SCALE: 1/4" = 1'



C
A5 SECOND FLOOR ELECTRICAL
SCALE: 1/4" = 1'

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
	3 BLADE CEILING FAN	
	GFCI WIP	
	CO/SMOKE DETECTOR	
	DUPLEX	
	EXHAUST FAN	
	GFCI	
	SINGLE POLE SWITCH	
	VANITY LIGHT	
	RECESSED DOWN LIGHT 6	
	CEILING FAN	
	3-WAY SWITCH	
	ELECTRICAL PANEL - RECESSED	
	PORCH LANTERN	
	220V	
	4-WAY SWITCH	

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Date	Description

PAGE TITLE:

Electrical Plans

SHEET #:

A5

SCALE:

1/4" = 1'0"

DATE:








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WINDOW SCHEDULE								
SYMBOL	WINDOW NUMBER	DATE	REV	DESCRIPTION	REMARKS	UNIT	QTY	REMARKS
	W01	3010FX	1	2	3010FX	81"X19"		FIXED GLASS 2'X6'X40" (2)
	W02	30310DH	1	2	30310DH	81"X46 1/8"		DOUBLE HUNG 2'X6'X40" (2)
	W03	3030DH	1	2	3030DH	81"X61"		DOUBLE HUNG 2'X6'X40" (2)
	W04	3030DH	10	3	3030DH	81"X61"		DOUBLE HUNG 2'X6'X40" (2)
	W05	3010FX	2	3	3010FX	81"X19"		FIXED GLASS 2'X6'X40" (2)
	W06	3030SH	1	2	3030SH	81"X39"		SINGLE HUNG 2'X6'X40" (2)
	W07	3030SH	1	3	3030SH	81"X39"		SINGLE HUNG 2'X6'X40" (2)

DOOR SCHEDULE								
SYMBOL	DOOR NUMBER	DATE	REV	DESCRIPTION	REMARKS	UNIT	QTY	REMARKS
	D01	2665	1	2	2665 L IN	32'X82 1/2"		HINGED GLASS PANEL 2'X6'X35" (2)
	D02	2065	1	2	2065 R IN	26'X82 1/2"		HINGED DOOR F04 2'X6'X21" (2)
	D03	2665	1	2	2665 L IN	32'X82 1/2"		HINGED DOOR F04 2'X6'X35" (2)
	D04	2665	2	2	2665 R IN	32'X82 1/2"		HINGED DOOR F04 2'X6'X35" (2)
	D05	2665	4	3	2665 R IN	32'X82 1/2"		HINGED DOOR F04 2'X6'X35" (2)
	D06	2665	1	3	2665 R	32'X82 1/2"		2 DR. BIFOLD LOUVERED 2'X6'X35" (2)
	D07	2665	1	2	2665 L	32'X82 1/2"		2 DR. BIFOLD LOUVERED 2'X6'X35" (2)
	D08	3085	1	1	3085 L EX	35'X85"		EXT. HINGED DOOR E21 2'X6'X41" (2)
	D09	4030	1	1	4030	110'X96"		GARAGE-GARAGE DOOR CHD05 2'X12'X116" (2)
	D10	4065	2	3	4065 R IN	50'X82 1/2"		SLIDER DOOR F04 2'X6'X35" (2)
	D11	3085	1	1	3085 R EX	35'X85"		EXT. HINGED DOOR E21 2'X6'X41" (2)
	D12	2665	1	2	2665 R	32'X82 1/2"		2 DR. BIFOLD LOUVERED 2'X6'X35" (2)



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:

Window/Door Schedules

SHEET #:

A6

SCALE:

1/4" = 1'0"

DATE:

12/17/2025

DISCLAIMERS:

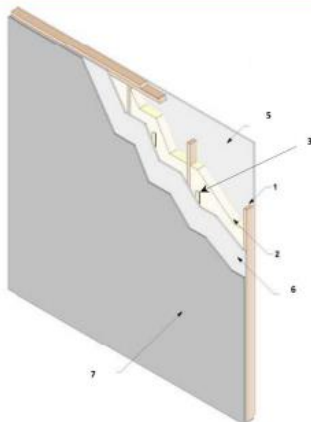
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James Hardie Building Products
Design No. JH/FCS 60-07
James Hardie Fiber Cement Siding
ASTM E119, CAN/ULC S101

Non-Symmetrical, 1 Hour Limited Load-Bearing Wall Assembly,
Max. Load – 31% of NDS Full Design Load (Rating applies to both sides)



1. **WOOD STUDS:** Nominal 2 in. x 4 in. solid sawn wood studs located 16 in. on center (oc), with two top plates and a single bottom plate.
 - Min. 4.574 in. wide x 3/4 in. thick James Hardie Horizontal Steel Furring installed per manufacturer's installation instructions (min. 18 GA 33 ksi metal)
2. **INSULATION:** Min. 3 in. thickness, 3 pcf mineral fiber batt insulation (rockwool), conforming to ASTM-C665 Type I, friction fit in joist cavities.
3. **FURRING (Optional):**
 - Min. 1-1/2 in. wide x 3/8 in. thick furring (Wood: Min. 0.42 s.g.; Metal: Corrosion Resistant min. 20 GA 33 ksi metal hat channel, z-girt or u-bar), or
4. **WOOD SHEATHING (Optional, Not Shown):** Install one layer of wood structural panel sheathing on Item 1.
5. **GYPSUM WALLBOARD, SIDE A:** 5/8 in. Type X gypsum wallboard installed horizontally or vertically and fastened with min. 1-7/8 in. long cup-head gypsum board nails or equivalent Type W screws, 8 in. oc at board perimeter and in field areas of boards.

Date Revised: September 24, 2019

Page 1 of 2

Project No. G103972785

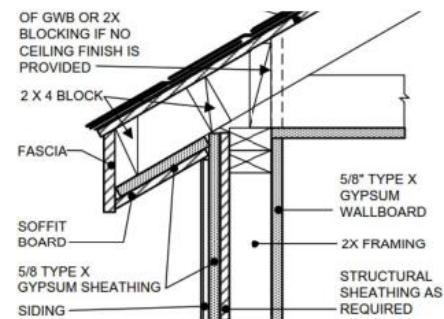
Version: 02 August 2017

SFT-BC-OP-19I



6. **FIBRE-CEMENT BOARD, SIDE B:** HardieBacker® EZ Grid®, HardieBacker® 500, HardieBacker® with HydroDefense™, HardieBacker® ProGrid™, and HardieBacker® Underlayment backerboard installed in accordance with the manufacturer's installation instructions.

7. **CERAMIC TILE:** Nominal 4 in. x 4 in. x 1/4 in. standard grade ceramic wall tile on the fire-exposed side.



1-HOUR RATED WALL AND
PROTECTED EAVE OVERHANG

Date Revised: September 24, 2019

Page 2 of 2

Project No. G103972785

Version: 02 August 2017

SFT-BC-OP-19I

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Date	Description

PAGE TITLE:

FIRE RATING

SHEET #:

A7

SCALE:

1/4" = 1'0"

DATE:

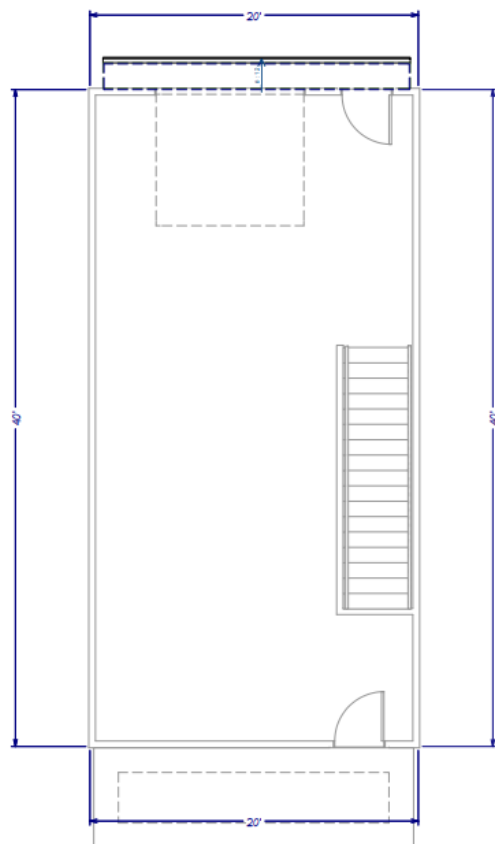
12/17/2025

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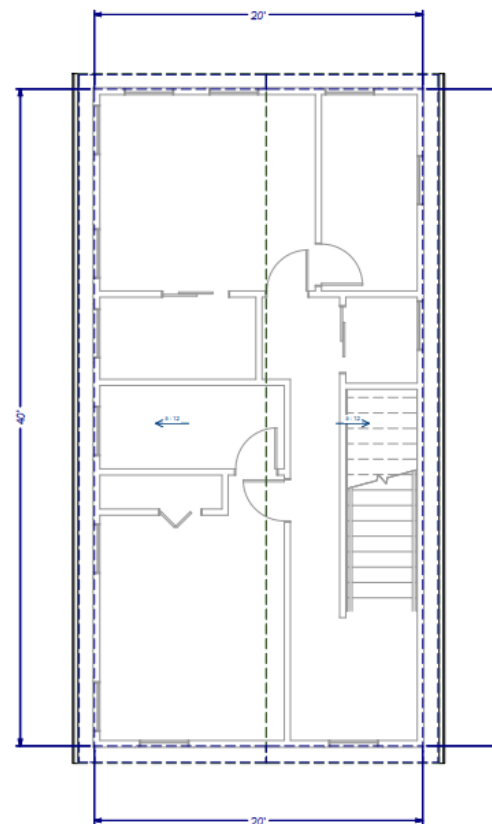
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A
A8 LOWER ROOF PLAN
SCALE: 1/4" = 1'



B
A8 UPPER ROOF PLAN
SCALE: 1/4" = 1'

PROJECT INFORMATION:
2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:	
Rev	Description

PAGE TITLE:
Roof PlanS

SHEET #:
A8

SCALE:
1/4" = 1"

DATE:
12/17/2025

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PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:

Rear and Front Exterior Elevation

SHEET #:

A9

SCALE:

1/8" = 1'0"

DATE:

12/17/2025

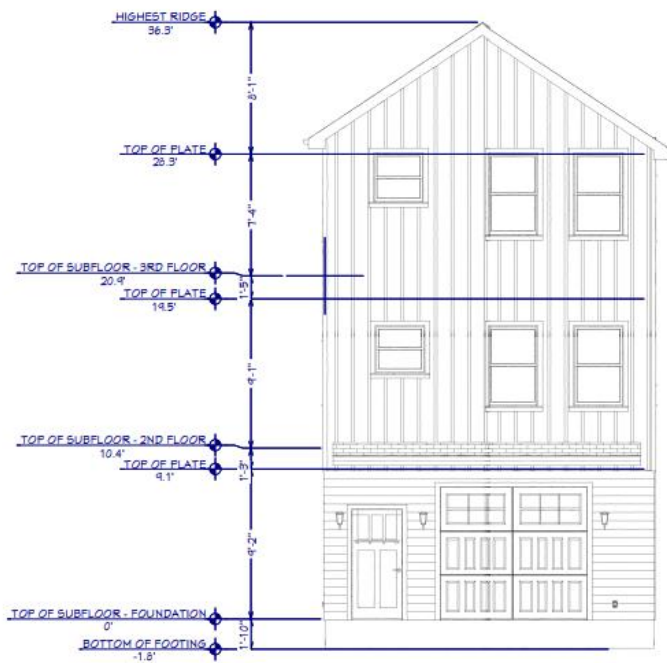
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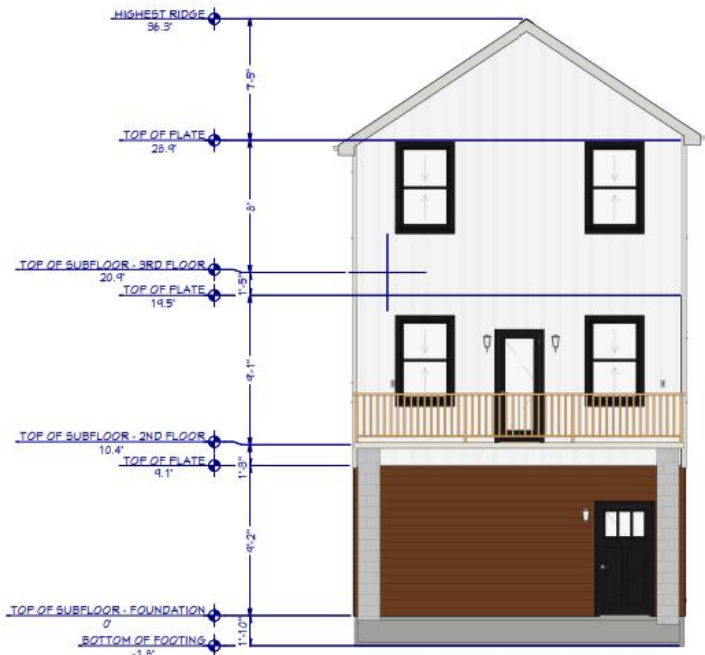
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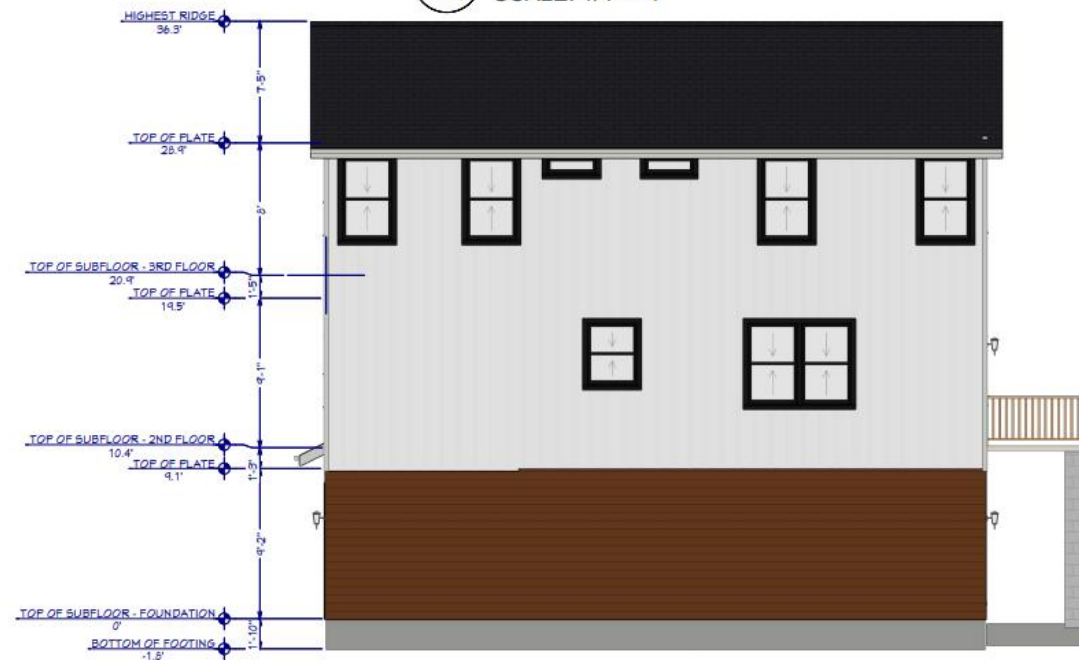
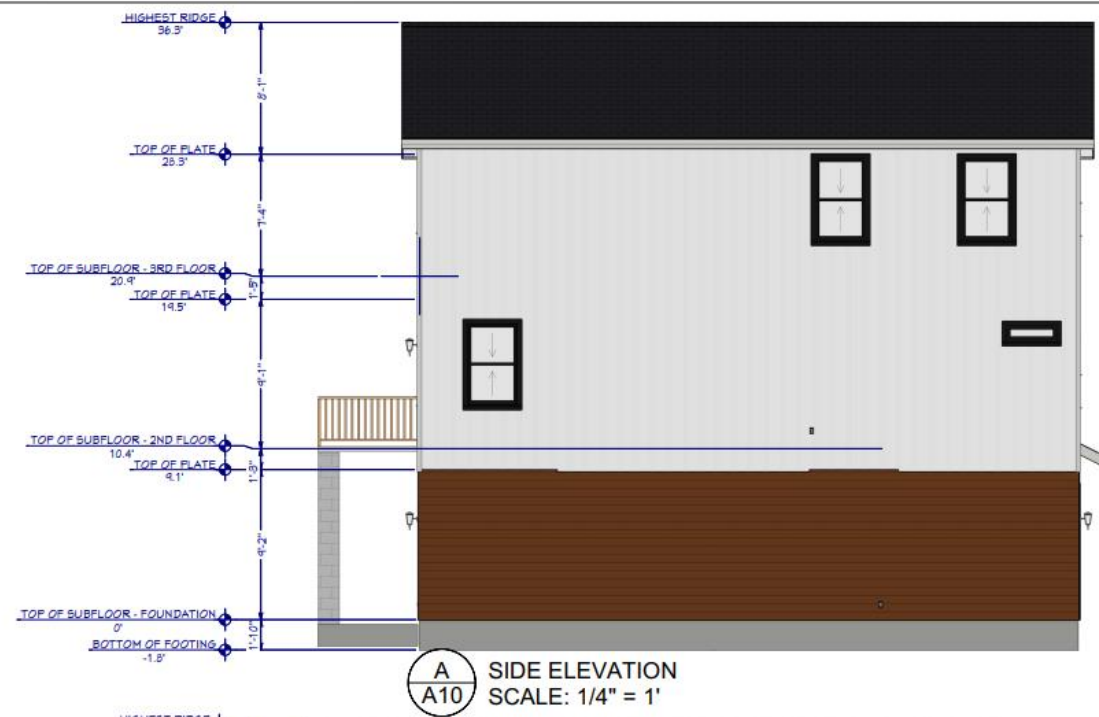
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A
A9 FRONT ELEVATION
SCALE: 1/4" = 1'



B
A9 BACK ELEVATION
SCALE: 1/4" = 1'





1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:
2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:
Side Exterior Elevation

SHEET #:
A10

SCALE:
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12/17/2025

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STRUCTURAL DESIGN NOTES:

DEAD LOADS	ACTUAL SELF WEIGHT
ROOF LIVE LOADS	20PSF
FLOOR LIVE LOADS	40 PSF
BEDROOM LIVE LOADS	30 PSF
GROUND SNOW LOAD	5 PSF
ATTIC (W/O STORAGE)	10 PSF
DECK LIVE LOADS	60 PSF
ATTIC (W/ STORAGE)	20 PSF

CODE COMPLIANCE:

PROJECT DESIGNED IN ACCORDANCE WITH:	
A. INTERNATIONAL RESIDENTIAL CODE	2021 EDITION
B. ASCE 7	2016 EDITION

BASIC REVIEW INFORMATION:

1. DESIGN WIND SPEED	150
2. EXPOSURE CATEGORY	B
3. SEISMIC DESIGN CATEGORY	D2
4. SOIL BEARING CAPACITY (ASSUMED)	1,500 PSF
5. WINDOW DP RATING	DP50
6. WINDOW PROTECTION	IMPACT RATED PER IRC 301.2.1.2

GENERAL DESIGN NOTES:

1. FOUNDATION AND STRUCTURAL MEMBERS SHALL BE ANCHORED TO RESIST FLOTATION, COLLAPSE & LATERAL MOVEMENT DUE TO THE EFFECTS OF WIND AND WATER ASSOCIATED WITH THE BASE FLOOD ELEVATION AND IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE LATEST EDITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR THE STABILITY OF THE STRUCTURE DURING ALL PHASES OF THE CONSTRUCTION PROCESS.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL OPENINGS. REFER TO THE MECHANICAL AND ELECTRICAL PLANS FOR SIZE AND LOCATION OF ALL OPENINGS FOR DUCTS, PIPES, CONDUITS, ETC. NOT SHOWN.
4. IN CASE OF CONFLICT BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE MORE SUBSTANTIAL REQUIREMENT SHALL BE ASSUMED TO GOVERN UNTIL A RULING IS MADE BY THE ARCHITECT AND/OR ENGINEER.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR ALL STRUCTURAL COMPONENTS THAT REQUIRE SHOP DRAWINGS. STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS, SECTIONS SHEETS, OR CONSTRUCTION DRAWINGS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND ONE SET OF PRINTS FOR REVIEW AND APPROVAL. THE PRINTS SHALL BE CLEARLY MARKED "FOR FILE". SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND CONSTRUCTION PROCEDURES PRIOR TO REVIEW BY THE STRUCTURAL ENGINEER. CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. PROCEEDING WITH THE WORK APPROVED SHOP DRAWINGS SHALL BE AT CONTRACTORS OWN RISK. WITHOUT
6. THE CONTRACTOR SHALL BUILD THIS PROJECT IN STRICT ACCORDANCE WITH THE MOST CURRENT EDITION OF ALL APPLICABLE CODES AND STANDARDS THAT GOVERN THE WORK.
7. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY ERROR OR INCONSISTENCIES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
8. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL DROPPED FLOOR AREAS, FLOOR DRAINS, AND ANY OTHER DETAILS NOT SHOWN ON STRUCTURAL PLANS THAT AFFECT THE WORK.
9. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS THAT RELATE TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT THE ARCHITECT AND/OR ENGINEER.

GEOTECHNICAL:

1. THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS INDICATED IN THE GEOTECHNICAL REPORT, IF SUPPLIED. ALL GEOTECHNICAL QUESTIONS ARE TO BE DIRECTED TO THE GEOTECHNICAL ENGINEER VIA THE ARCHITECT IN WRITING.
2. IF THIS FOUNDATION DESIGN HAS BEEN PREPARED IN THE ABSENCE OF SOIL REPORTS, A SOIL BEARING CAPACITY OF 1500 PSF IS TO BE ASSUMED. THE REASONABLENESS OF THIS ASSUMPTION SHOULD BE VERIFIED PRIOR TO THE COMMENCEMENT OF FOUNDATION WORK FOR THIS PROJECT.
3. TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 8" BELOW THE FINISHED GRADE UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY AND ALL EXCAVATION SLOPES OR ANY OTHER EXCAVATION SITUATIONS.
5. THE EXPOSED SOIL SURFACE AFTER EXCAVATION SHALL BE COMPACTED TO A MINIMUM OF 98% OF THEIR STANDARD PROCTOR MAXIMUM DRY DENSITY TO COMPLY WITH ASTM D698 TO A DEPTH OF 8".

CONCRETE:

1. CONCRETE SHALL BE A MINIMUM OF 3,000 psi.
2. ALL CONCRETE WORK SHALL COMPLY WITH "AMERICAN CONCRETE INSTITUTE: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318 LATEST EDITION) AND "AMERICAN CONCRETE INSTITUTE: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301 LATEST EDITION).
3. ALL CONCRETE REINFORCING WORK SHALL COMPLY WITH "AMERICAN CONCRETE INSTITUTE: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (ACI 315 LATEST EDITION)
4. CONCRETE SLUMP SHALL NOT EXCEED 4".
5. CONCRETE SHALL BE CAST IN PLACE AND COMPACTED BY VIBRATING AND SUPPLEMENTED WITH HAND TAMPING AND SPADING AS REQUIRED.
6. CONCRETE SHALL BE MAINTAINED ABOVE 50° F AND IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT UNLESS OTHERWISE NOTED.
7. ALL REBAR SHALL BE GRADE 60 OR 60S, DEFORMED CONFORMING WITH ASTM 615.
8. ALL REBAR MINIMUM LAP SHALL COMPLY WITH ACI-318. ALL WELDED WIRE FABRIC SHALL BE OVERLAPPED 1'-0" MINIMUM, AT SIDES AND ENDS AND BE ADEQUATELY TIED. FIBERMESH MAY BE USED AS AN OPTION.
9. ALL CONCRETE SLABS ON GRADE SHALL BE THICKNESS AS INDICATED ON THE DRAWINGS OVER A MINIMUM 10 MIL. POLYETHYLENE VAPOR BARRIER. SUCH SLABS SHALL BE REINFORCED WITH W6X6 W1.4XW1.4 WWM LAPPED 12" AT EDGES AND ENDS, IN CONFORMANCE WITH ASTM-185
10. FILL UNDER CONCRETE SLABS SHALL BE CLEAN SAND OR ROCK FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
11. ALL FOOTINGS MUST REST ON UNDISTURBED SOIL OR UPON SOIL COMPACTED TO A DENSITY OF AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST THREE FEET (3') BELOW THE BOTTOM OF THE FOOTING.
12. WHERE SHOWN AND AT ALL VERTICAL REINFORCEMENT, CORES OF BLOCK MASONRY SHALL BE FILLED WITH COARSE GROUT OR PEA GRAVEL CONCRETE WITH MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
13. MINIMUM CONCRETE COVER FOR ALL REINFORCEMENT SHALL BE THREE INCHES (3").
14. HORIZONTAL BEAM AND FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH 2'-0" LAP SHALL BE PROVIDED.
15. CONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC. NECESSARY TO SUPPORT REINFORCING STEEL.
16. GENERAL CONTRACTOR SHALL CHECK ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, SLAB DEPRESSIONS, PITCH AND ANY OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR LOCATION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPECIFIED STRENGTH AND PROPER PLACING OF ALL CONCRETE AND POSITIONING OF ALL REINFORCING STEEL.
18. ALL CONCRETE IMPROPERLY PLACED AND/OR TESTING BELOW SPECIFIED STRENGTH SHALL BE REPLACED, ALONG WITH OTHER AFFECTED WORK AT NO ADDITIONAL COST.
19. ALL CONCRETE WITH A VERTICAL LIFT OF 12" OR MORE SHALL BE COMPACTED WITH HIGH FREQUENCY, INTERNAL MECHANICAL VIBRATING EQUIPMENT SUPPLEMENTED BY HAND SPADING AND TAMPING AS NECESSARY.
20. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WITH CONCRETE BEING PLACED AND CURED DURING VERY COLD OR VERY HOT WEATHER. THE CONTRACTOR SHALL FOLLOW THE PROCEDURES ESTABLISHED BY THE ACI FOR HOT AND COLD WEATHER PLACEMENT.
21. NON-SHRINK POURABLE GROUT SHALL BE USED UNDER ALL COLUMN AND BEAM BASE PLATES ONCE MATERIAL IS SET, PLUMB AND LEVEL.

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

NO.	Description

PAGE TITLE:

STRUCTURAL NOTES

SHEET #:

S001

SCALE:

N/A

DATE:

12/17/2025

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MASONRY

1. FOR ALL BEAM BEARING LOCATIONS ON MASONRY WALLS, CONTRACTOR SHALL FILL MASONRY CELLS WITHIN 2'-0" OF BEAM BEARING WITH A MINIMUM 3000 PSI PEA GRAVEL CONCRETE. A #5 BAR SHALL BE SUPPLIED IN EACH OF THESE CELLS AND TIED TO THE FOOTING REINFORCEMENT.
2. A #5 BAR SHALL BE PLACED AT EACH SIDE, TOP AND BOTTOM OF ALL OPENINGS. ALL HORIZONTAL AND VERTICAL REINFORCING SHALL EXTEND A MINIMUM OF 30" BEYOND THE OPENING.
3. ALL LINTEL BEAMS SHALL BEAR A MINIMUM OF 12" ON EACH SIDE OF THE OPENINGS. ALL CELLS UNDER THE BEARING POINTS SHALL BE REINFORCED WITH A #5 BAR IN EACH CELL AND BE TIED TO THE FOOTING REINFORCEMENT.
4. CONCRETE MASONRY SHALL HAVE A MINIMUM F_y OF 1500 PSI. THIS IS ACHIEVED BY A CONCRETE BLOCK MASONRY UNIT WITH A NET AREA COMPRESSIVE STRENGTH OF 2000 PSI WHEN USED WITH TYPE M OR S MORTAR.
5. THE CONTRACTOR SHALL INSTALL REINFORCEMENT PLACEMENT WALL TIES TO ENSURE THAT REINFORCEMENT IN PROPERLY PLACED.
6. ALL RUNNING BOND MASONRY SHALL HAVE 9 GAUGE GALV. LADDER TYPE JOINT REINFORCEMENT @ 16" O.C. VERTICALLY AT ALL WALL CORNERS AND ALL INTERSECTIONS. PREFORMED BED JOINT REINFORCEMENT SHALL BE USED.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS WHEN MASONRY WORK IS TO BE ERECTED DURING COLD WEATHER (AMBIENT TEMPERATURE BELOW 40° F). DURING HOT WEATHER (ABOVE 90° F) PRECAUTIONS SHALL BE TAKEN TO MINIMIZE EXCESS HEAT OR COLD IN THE MASONRY UNITS, WATER, AND MORTAR. THE CONTRACTOR IS TO BE ADVISED TO FOLLOW THE RECOMMENDATIONS SET FORTH BY THE PORTLAND CEMENT ASSOCIATION FOR COLD OR HOT WEATHER APPLICATIONS.
8. FILL ALL CELLS BELOW FLOOR FRAMING (RETAINING WALLS) OR CONTAINING REINFORCEMENT WITH 2000 PSI PEA GRAVEL GROUT. PLACE CONCRETE IN LIFTS THAT ARE NO HIGHER THAN 5 FEET. ALL MASONRY UNITS SHALL BE CLEAN AND DRY PRIOR TO FILLING WITH CONCRETE. REINFORCING SHALL BE TIED & SPLICED AS NECESSARY.
9. ALL MASONRY SHALL BE PLACED IN FULL MORTAR BED. TYPE M OR S SHALL BE USED.
10. TYPICAL MASONRY REINFORCEMENT SPLICES SHALL BE AS FOLLOWS: #4 BARS-24"LAP #5 BARS-30" LAP #6 BARS-36" LAP #7 BARS-42" LAP #8 BARS-48" LAP
11. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY CONTROL JOINTS AND BRICK EXPANSION JOINTS. ALL CONTROL AND EXPANSION JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE NATIONAL CONCRETE MASONRY ASSOCIATION. IN NO CASE SHALL EXTERIOR WALL JOINTS BE SPACED GREATER THAN 25 FEET AND INTERIOR WALL JOINTS SHALL NOT EXCEED 30 FEET ON CENTER.
12. THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS FOR REINFORCEMENT SHOWING THE NUMBER, SIZE, AND LOCATION, INCLUDING BAR LISTS AND DIAGRAMS FOR THE COMPLETION OF WORK.
13. ALL MASONRY OPENINGS SHALL BE PROVIDED WITH A "CASTCRETE" OR "POWERS STEEL" LINTEL BEAMS WITH (2) #5 REBAR.

STRUCTURAL & MISCELLANEOUS STEEL

1. ALL FRAMING AND MISCELLANEOUS STEEL SHALL BE WELDED WITH A FILLET ALL AROUND UNLESS NOTED OTHERWISE. WELD SIZE SHALL BE THE MAXIMUM ALLOWED BY THE LATEST EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" BASED ON THE THICKNESS OF THE MATERIAL.
2. SHOP AND FIELD CONNECTIONS NOT DETAILED ON THE DRAWINGS MAY BE WELDED OR BOLTED, CUTS, HOLES, COPING, ETC., REQUIRED FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND BE FABRICATED IN THE SHOP. FIELD CUTTING AND BORING IS NOT PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
3. THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE WEB REINFORCEMENT AT ALL OPENINGS IN STEEL MEMBERS INCLUDING BEAMS, JOISTS, AND GIRDERS.
4. ALL STRUCTURAL STEEL BEAMS SHALL HAVE A YIELD STRESS OF 50 KSI. PLATES, ANGLES, AND MISC. STEEL SHALL COMPLY WITH THE LATEST EDITION OF ASTM A-36, UNLESS OTHERWISE NOTED. STEEL PIPES SHALL COMPLY WITH ASTM A-501. STEEL TUBES SHALL CONFORM TO ASTM A-500.
5. STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF BEAM ELEVATIONS AS NOTED ON DRAWINGS. IN CASE OF A CONFLICT, THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID AND ADDRESS IT TO THE ENGINEER IN WRITING.
6. ALL HARDWARE AND TIE DOWN STRAPS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
7. ALL BEAM CONNECTIONS SHALL BE 3/4" DIAMETER BOLT OR SLIP CRITICAL TYPE CONNECTIONS A-325 BOLTS UNLESS NOTED OTHERWISE. ALL BEAM AND GRIDED CONNECTIONS UNLESS SHOWN OTHER DISTRIBUTED LOADING CAPACITY OF MEMBER FOR ITS SPANS PER THE AISC MANUAL OF STEEL CONSTRUCTION (LATEST EDITION). ALL OTHER CONNECTIONS THAT ARE NOT INDICATED SHALL BE BOLTED (3/4" DIAMETER) CONNECTIONS USING AN A-325 SLIP CRITICAL TYPE BOLT, UNLESS OTHERWISE NOTED.
8. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS TO COMPLY WITH A.W.S. SPECIFICATIONS (LATEST EDITION). BOTH SHOP AND FIELD WELDER CERTIFICATIONS SHALL BE CURRENT UNTIL THE COMPLETION OF THE STEEL WORK AND MADE AVAILABLE UPON REQUEST OF THE ARCHITECT/ENGINEER. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO DELAY SHOP DRAWING APPROVAL IN THE ABSENCE OF THE REQUESTED CERTIFICATES.
9. ANCHOR BOLTS SHALL COMPLY WITH ASTM A-307.
10. FIELD SPLICES SHALL BE DESIGNED AND CONSTRUCTED TO DEVELOP THE FULL CAPACITY OF THE MEMBER IN BENDING, SHEAR, AND AXIAL LOADING TO COMPLY WITH THE AISC SPECIFICATIONS.
11. WEB STIFFENER PLATES ARE TO BE SUPPLIED BY THE CONTRACTOR AT THE END OF STEEL BEAM CANTILEVERS AND IN THE BENDS OF ALL CRIPPLED BEAMS (DIAGONALLY). THE STIFFENER PLATE THICKNESS SHALL EQUAL OR EXCEED THE FLANGE THICKNESS OF THE BEAM.
12. USE TWO SIDED WEB ANGLE CONNECTIONS FOR ALL BEAM CONNECTIONS PER AISC SPECIFICATIONS (LATEST EDITION) UNLESS OTHERWISE NOTED OR DETAILED.
13. THE CONTRACTOR SHALL SUBMIT DETAILED STRUCTURAL STEEL SHOP DRAWINGS TO INCLUDE COLUMNS, BEAMS, JOISTS, BRIDGING, DECKING, AND ANY CONNECTIONS. THESE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF THE PROJECT. STEEL FABRICATOR SHALL SUPPLY EMBEDDED STEEL PLATE AND BRACKET LOCATION DRAWINGS. THE STRUCTURAL DRAWINGS ARE NOT TO BE REPRODUCED FOR SHOP DRAWINGS. SECTION SHEETS, OR ERECTIONS PLANS. SUBMIT ONE SET OF REPRODUCIBLE DRAWINGS AND BE REVIEWED AND APPROVED BY THE CONTRACTOR FOR ALL DIMENSIONS, ELEVATIONS, AND ERECTION PROCEDURE PRIOR TO SUBMITTAL TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW AND APPROVAL OF ALL SHOP DRAWINGS. THE CONTRACTOR PROCEEDING WITHOUT APPROVED SHOP DRAWINGS IS DONE SO AT HIS OWN RISK.
14. ALL STEEL BEAMS AND JOISTS GIRDER SHALL BEAR FULLY ON STEEL BEARING PLATES (TYPICALLY).
15. A CONTINUOUS 3/8" PLATE SHALL BE SHOP WELDED TO THE BOTTOM FLANGE OF ALL BEAMS SUPPORTING MASONRY UNLESS NOTED OTHERWISE.
16. THE ENGINEER SHALL VERIFY THAT JOIST AND BEAM BEARING ELEVATIONS ENSURE PROPER ROOF SLOPES TO ALLOW FOR DRAINAGE AND CORRECT FLOOR ELEVATIONS. SEE ARCHITECTURAL DRAWINGS FOR FLASHING, ROOFING, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL PLANS.
17. FOR ALL STEEL BEAM LOCATIONS, INSTALL STIFFENER PLATES ON EACH SIDE OF THE WEB AT SUPPORTS AND LOCATIONS OF POINT LOADS FROM BEAMS AND COLUMNS.
18. NON-SHRINK GROUT SHALL BE PLACED UNDER ALL BASE PLATES AFTER THE STEEL IS SET, PLUMB AND LEVEL.
19. GALVANIZED HURRICANE ANCHORS (SIMPSON TYPE H2.5 OR H10) SHALL BE USED FOR ALL RAFTER ANCHORAGES AT INTERSECTIONS WITH ALL WALLS OR BEAMS. STAINLESS STEEL (S.S.) HURRICANE ANCHORS SHALL BE USED IN AREAS EXPOSED TO THE ATMOSPHERE, FASTENED WITH (S.S.) RING SHANK NAILS.
20. ALL WELDS THAT ARE APPLIED TO ANY EXPOSED STEEL MEMBER SHALL BE FIELD COATED WITH A ZINC RICH PAINT.
21. ALL STEEL BEAMS AND STEEL COLUMNS SHALL BEAR ON STEEL PLATES (MIN. SIZE 7"x12"x1/2"). SHOP DRAWINGS TO BE APPROVED BY THE ARCHITECT/ENGINEER.
22. ALL STRUCTURAL STEEL SHALL BE DELIVERED WITH ONE COAT OF PRIMER & SHALL BE FIELD PAINTED W/ 2 COATS OF PAINT. TOUCH UP AFTER ERECTION.
23. ALL STEEL BEAMS AND STEEL COLUMNS SHALL BE FIELD PAINTED WITH A ZINC RICH PAINT.
24. ALL STEEL BEAMS AND STEEL COLUMNS SHALL BE FIELD PAINTED WITH A ZINC RICH PAINT.
25. COLD-FORMED METAL STUDS SHALL CONFORM TO ASTM A653 (F_y = 33.0 KSI) AND SHALL BE CLARK PCS SERIES (1-5/8" FLANGES & 1/2" LIPS) SIZED AS INDICATED OR APPROVED EQUAL.

TIMBER DESIGN NOTES:

1. ALL WOOD FRAMING SHALL BE FABRICATED AND INSTALLED PER AITC AND TPI AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
2. ALL STRUCTURAL WOOD MEMBERS SHALL BE SOUTHERN YELLOW PINE #1 NON-DENSE OR #2 DENSE UNLESS NOTED OTHERWISE AND HAVE A MINIMUM EXTREME FIBER STRESS IN BENDING (F_B) = 1200 PSI AND MODULUS OF ELASTICITY OF 1,600,000.
3. ALL LUMBER SHALL BE CONTINUOUS WITHOUT SPLICES EXCEPT AS NOTED ON THE STRUCTURAL PLANS OR DETAILS. BUTT SEAM JOISTERS, BEAMS AND HEADERS, INCLUDING INDIVIDUAL MEMBERS IN MULTIPLE BEAMS, SHALL BE LOCATED AT SUPPORTS.
4. ALL TREATED WOOD SHALL COMPLY WITH THE LATEST EDITION OF CODES. LUMBER AND ENGINEERED WOOD PRODUCTS EXPOSED TO WEATHER OR EXPOSED TO MASONRY OR CONCRETE SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) GUIDELINES FOR THE SPECIFIED EXPOSURE. CUT ENDS OF PRESSURE TREATED MEMBERS SHALL BE COATED WITH THE MANUFACTURER'S SUPPLIERS APPROVED PRESERVATIVE. LUMBER SHALL BE TREATED FOR ABOVE OR BELOW GROUND USE AS APPLICABLE.
5. ALL STRAPS / CONNECTORS SPECIFIED ARE SIMPSON STRONG TIE. SEE MANUFACTURER'S MANUALS FOR INSTALLATION INSTRUCTIONS AND DETAILS. CONNECTORS CALLED FOR AS NAILS AND NAILED TO SINGLE FRAMING MEMBERS SHALL USE EQUIVALENT DIAMETER SHORT NAILS SUCH AS SIMPSON N8 OR N10.
6. NAILS BOLTS AND FASTENERS IN CONTACT WITH TREATED LUMBER OR EXPOSED TO WEATHER, MASONRY OR CONCRETE SHALL BE GALVANIZED OR STAINLESS STEEL TO PROTECT FROM CORROSION.
7. NAIL SIZES SHOWN ARE BASED ON COMMON OR HOT DIPPED GALVANIZED BOX NAILS.
8. ALL NAILS TO BE ANNULAR (RING-SHANK) NAILS AS DEFINED IN ASTM F 547.
9. BOLTS SHOWN ARE THROUGH BOLTS WITH WASHERS UNDER BOLT HEADS AND NUTS THAT ARE IN CONTACT WITH WOOD UNLESS OTHERWISE NOTED. BOLT HOLES IN WOOD ARE 1/32" BIGGER THAN THE BOLT DIAMETER. <<CONTINUED>>
10. STRAPPING SHOWN IS INTENDED TO PROVIDE CONTINUOUS LOAD PATHS TO THE FOUNDATION GIRDERS, PILES, COLUMNS AND WALLS TO RESIST THE UPLIFT OF THE WALL, STUDS, COLUMNS, BEAMS, HEADERS AND OTHER STRUCTURAL ELEMENTS. FRAMER TO MODIFY AS REQUIRED TO SUIT AS BUILT CONDITIONS.
11. ALL ROOF RAFTER ENDS SHALL BE ANCHORED WITH WIND UPLIFT ANCHOR BY SIMPSON OR EQUAL. SUCH ANCHORS SHALL BE USED AT JOINTS BETWEEN PLATES, STUDS, AND SILL PLATES TO PROVIDE A PATH OF UNBROKEN UPLIFT RESISTANCE FROM THE ROOF TO THE FOUNDATION.
12. WHERE CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS, SUBFLOORING OR METAL STRAPS ATTACHED TO THE END OF THE RAFTERS SHALL BE INSTALLED TO PROVIDE A CONTINUOUS TIE ACROSS THE BUILDING THEREBY PREVENTING THE ROOF RAFTERS FROM SPREADING APART. WHERE THE CEILING JOISTS ARE NOT PROVIDED AT THE TOP OF THE RAFTER THEREBY WALLS, THE RIDGE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY DESIGNED RIDGE. SEE STRUCTURAL DRAWINGS.
13. SOLID BLOCKING TO BE PROVIDED BETWEEN ALL FLOOR JOISTS AT MID-SPAN AND ALL LINES OF JOIST SUPPORT EVEN IF NOT SHOWN ON THE SECTION OR DETAIL DRAWINGS. BLOCKING MAY NOT BE SHOWN ON THE STRUCTURAL SECTIONS OR DETAILS FOR CLARITY.
14. ALL NAILING SHALL COMPLY WITH THE STANDARDS SET FORTH IN THE LATEST EDITION OF THE BUILDING CODES.
15. WOOD MEMBERS SHALL NOT BE LESS THAN 6" FROM FINISHED GRADE EXCEPT WHERE SIDING, SHEETING, AND WALL FRAMING OF AN APPROVED PRESSURE TREATED OR NATURALLY DURABLE WOOD PRODUCT.
16. INSTALL EXTRA CONTINUOUS STUDS, NOT JACK STUDS. STUDS SHALL BE INSTALLED AT ALL JAMBS TO REPLACE THE TYPICALLY PLACED STUDS INTERRUPTED BY THE OPENING.
17. PLYWOOD FLOORING SHALL BE 3/4" ADVANTEK OR EQUAL. ALL FLOOR DECKING SHALL BE GLUED AND FASTENED WITH RING-SHANK NAILS AT ALL SUPPORTS WITH A NAILING PATTERN OF 8" NAILS @ 6" O.C. ALONG EDGES AND 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS/JOISTS UNLESS OTHERWISE NOTED.
18. EXTERIOR WALLS SHALL BE TIED TO GIRDERS WITH SIMPSON LSTA30 (OR EQUAL) STRAP TIES AT 6'-0" O.C. AND TIED WITH 1/2" CDX PLYWOOD FROM TOP PLATE TO CMU WALL TIMBER PLATE. EXTERIOR GIRDERS BETWEEN FLOORS TIED W/ SIMPSON LSTA30 (OR EQUAL) STRAP TIES AT MAX. 6'-0" O.C.
19. ENGINEERED LVL BEAMS SHALL BE VERSA-LAM F5 3100 BY BOISE CASCADE.
20. NON-TREATED WOOD MEMBERS SUPPORTED ON MASONRY SHALL BEAR ON TREATED TIMBER PLATES.
21. FLOOR JOISTS SHALL BE FASTENED TO SUPPORTS WITH HURRICANE ANCHORS (SIMPSON TS12 OR EQUAL).
22. ALL PLYWOOD SHEETING SHALL HAVE 1/8" SPACE BETWEEN SHEETS (EXCEPT FOR AREAS THE CALL FOR T & G PLYWOOD).
23. LOAD BEARING WALLS AND/OR SHEAR WALLS LOCATED PERPENDICULAR TO FLOOR JOISTS SHALL HAVE SOLID BLOCKING SECURELY PLACED BETWEEN THE FLOOR MEMBERS. THIS SOLID WOOD BLOCKING SHALL BE FOR THE FULL DEPTH OF THE FLOOR MEMBERS AND BE LOCATED DIRECTLY UNDER THE WALL FOR THE FULL BEARING WIDTH AND LENGTH OF THE WALL CONSTRUCTION.

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

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HEADER / LINTEL SCHEDULE

SINGLE STORY OR SECOND FLOOR

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S 3.5X6 LVL/PSL	1	1
3'-3" TO 6'-2"	2 - 2X8'S 3.5X7.25 LVL/PSL	1	2
6'-3" TO 8'-0"	2 - 2X10'S 3.5X9.25 LVL/PSL	1	2
8'-1" TO 10'-0"	(2)1.75X10 LVL	2	3

FIRST FLOOR W/ FLOOR ABOVE

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S	1	1
3'-3" TO 6'-2"	2 - 2X10'S	2	2
6'-3" TO 8'-0"	2 - 2X12'S	2	2
8'-1" TO 10'-0"	(2)1.75X12 LVL	2	3

ALL LINTELS SHALL BEAR ON NOT LESS THAN DOUBLE CUT JACK STUDS. JACK STUDS SHALL BE NAILED TO SUPPORTING DOUBLE KING STUDS WITH 2 ROWS OF 16D NAILS AT 12 O.C. STAGGERED.

FOR 2X6 WALLS, ADD AN ADDITIONAL PLY OF LINTEL MATERIAL.

SEE STRAPPING DETAIL FOR UPLIFT CONNECTIONS AROUND WINDOWS AND DOORS.

THE ABOVE LINTELS/HEADERS ARE INTENDED FOR OPENINGS SUPPORTING ONE FLOOR AND ROOF LOADS ONLY. CONSULT WITH ENGINEER FOR OPENINGS THAT SUPPORT TWO FLOORS AND/OR ROOF LOADS AND FOR THOSE THAT ARE SUPPORTING A POINT OR BEAM LOADING.

THE HEADER SIZES ABOVE DO NOT ALLOW FOR POINT LOADS OR IF A BEAM OR OTHER HEAVILY LOADED ELEMENT FALLS OVER HEADER SHOWN.

MULTI-PLY HEADERS ARE SIZED WITH THE ANTICIPATION OF PLYWOOD OR OSB MATERIAL INSTALLED IN BETWEEN EACH PLY.

FOR HEADER WIDTHS LESS THAN THE THICKNESS OF THE WALL FRAMING SHIFT HEADER TO OUTSIDE FACE OF WALL.

Multiple LVL Attachment Schedule

FASTENER	(2) PLY LVL	(3) PLY LVL	(4) PLY LVL ⁽¹⁾	(5) PLY LVL ⁽¹⁾
16d Nails	3 ROWS 12" O.C.	3 ROWS 12" O.C. EACH SIDE		
1/4"x3.5" SCREWS	3 ROWS 16" O.C.	3 ROWS 16" O.C. EACH SIDE	3 ROWS 16" O.C. EACH SIDE AND EACH PLY	
1/2" DIA THRU BOLTS	2 ROWS 24" O.C.	2 ROWS 24" O.C.	2 ROWS 16" O.C. STAGGERED	2 ROWS 16" O.C. STAGGERED
1/4"x7" SCREWS			3 ROWS 24" O.C. EACH SIDE STAGGERED	3 ROWS 16" O.C. EACH SIDE STAGGERED

1. FASTENER ROWS ARE TO BE STAGGERED
2. FOR LVL BEAMS 17" OR MORE IN DEPTH, INSTALL AN ADDITIONAL ROW OF THE FASTENER SHOWN ABOVE. IE. 3 ROWS BECOME 4 ROWS.
3. WHERE THE MULTIPLE LVL SUPPORTS A PERPENDICULAR BEAM, INSTALL 2 1/2"Ø THROUGH BOLTS WITHIN 8" EACH SIDE OF PERPENDICULAR BEAM.
4. 4 PLY AND 5 PLY BEAMS ARE TO BE TOP LOADED ONLY AND SHOULD NOT BE SIDE LOADED WITHOUT A CLEAR AND SPECIFIC DETAIL FROM TRUSS PROVIDER OR ENGINEER.

GENERAL NAILING SCHEDULE

Joint Description	Number of Common Nails	Number of Box Nails	Nails Spacing
Roof Framing			
Blocking Rafter(Toe-nailed)	2-8d	2-10d	each end
Rim Board to Rafter(End-nailed)	2-16d	2-16d	each end
Wall Framing			
Top Plates at Intersections(Face-nailed)	4-16d	5-16d	at joint
Stud to Stud(Face-nailed)	2-16d	2-16d	24" o.c
Header to Header(Face-nailed)	16d	16d	16" o.c along edges
Floor Framing			
Joist to Sill, Top Plate or Girder(Toe-nailed)(Fig. 14)	4-8	4-10	each end
Blocking to Joist(Toe-nailed)	2-8	2-10	each end
Blocking to Sill or Top Plate(Toe-nailed)	2-16	2-16	each end
Ledger Strip to Beam or Girder(Face-nailed)	3-16	2-16	each joist
Joist on Ledger to Beam (Toe-nailed)	3-8	3-10	each end
Band Joist to Joist(End-nailed)	3-16	2-16	each end
Band Joist to Sill or Top Plate(Toe-nailed)(Fig. 14)	2-16	3-16	each end per foot
Roof Sheathing			
Wood Structural Panels			
rafters or trusses spaced up to 16" o.c.	8d	10d	6" edge/ 6" field
rafters or trusses spaced over16" o.c.	8d	10d	4" edge/ 4" field
gable endwall rake or rake truss w/o gable overhang	8d	10d	6" edge/ 6" field
gable endwall rake or rake truss w/ structural outlookers	8d	10d	6" edge/ 6" field
gable endwall rake or rake truss w/lookout blocks	8d	10d	4" edge/ 4" field
Ceiling Sheathing			
Gypsum Wallboard	5d coolers	-	7" edge/ 10" field
Wall Sheathing			
Wood Structural Panels			
studs spaced up to 24" o.c.	8d	10d	6" edge/ 12" field
1/2" and 25/32" Fiberboard Panels	8d	-	3" edge/ 6" field
1/2 "Gypsum Wallboard	5d coolers	-	7" edge/ 10" field
Floor Sheathing			
Wood Structural Panels			
1" or less	8d	10d	6" edge/ 12" field
greater than 1"	10d	10d	6" edge/ 6" field

1. Corrosion resistant 11 gage roofing nails and 16 gage staples are permitted,check IBC for additional requirements.
2. Nails. Unless otherwise stated,sizes given for nails are common wire sizes. Box and pneumatic nails of equivalent diameter and equal or greater length to the specified common nails be substituted unless otherwise prohibited.



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

2219 PEONIE ST
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PAGE TITLE:

1ST. FLOOR FRAMING PLAN

SHEET #:

S110

SCALE:

1/4" = 1'0"

DATE:

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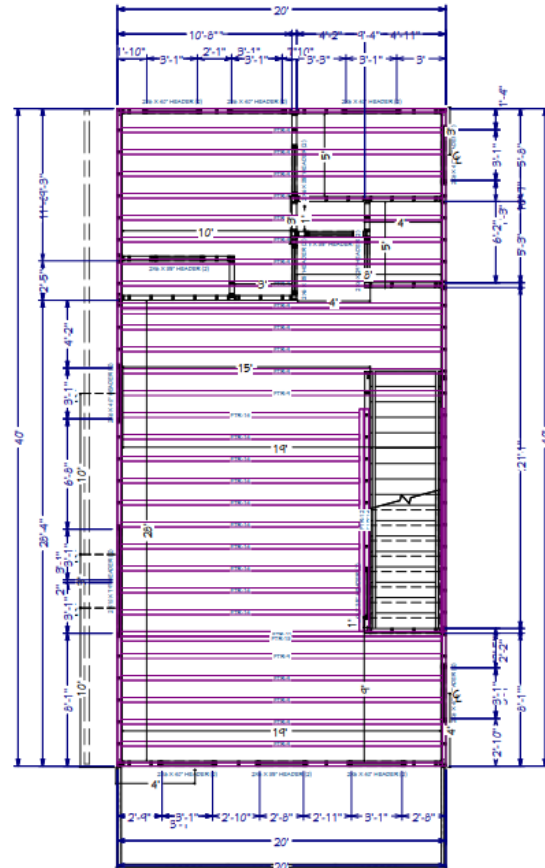
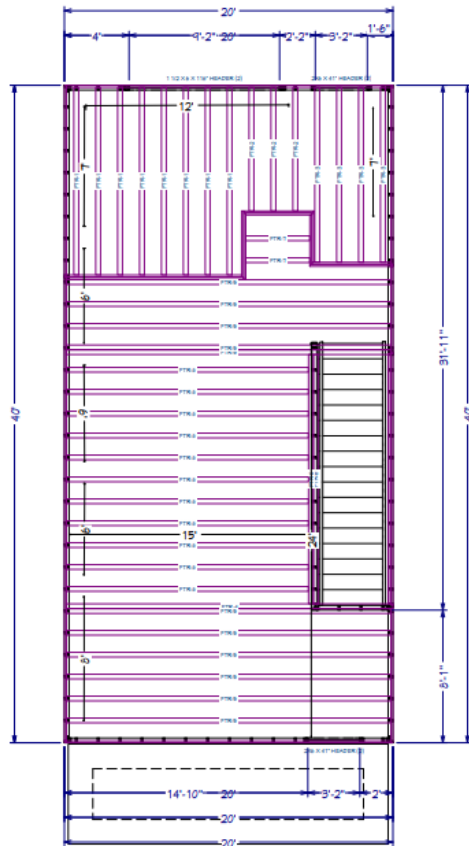
FLOOR FRAMING

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A
S110 FLOOR FRAMING PLAN
SCALE: 1/4" = 1'

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2219 PEONIE ST
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CEILING/ROOF FRAMING

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S130

SCALE:

1/2" = 1'0"

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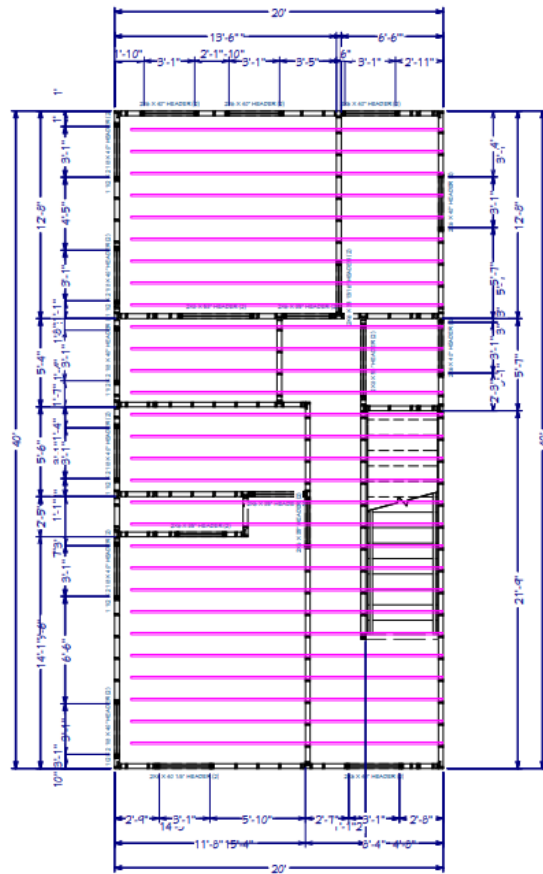
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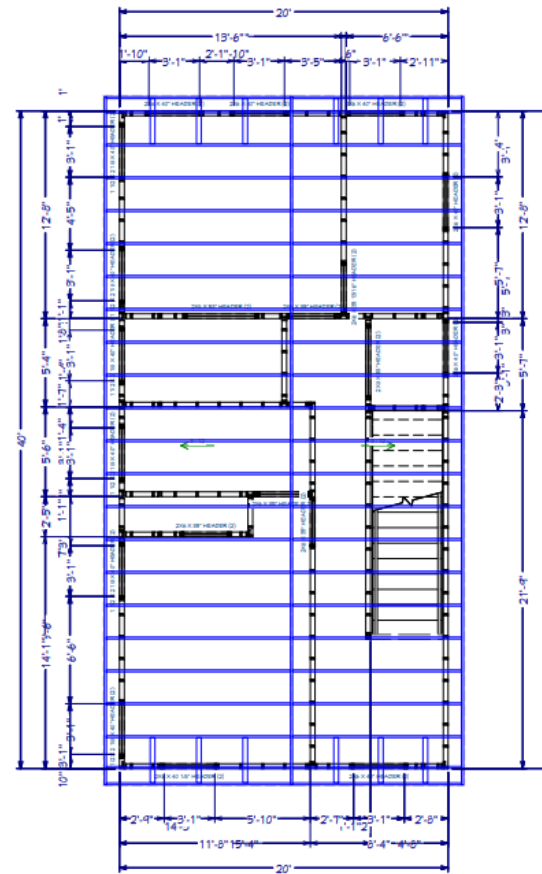
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A
S130
CEILING FRAMING PLAN
SCALE: 1/4" = 1'



B
S130
ROOF FRAMING PLAN
SCALE: 1/4" = 1'

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TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:

SLAB DETAILS

SHEET #:

S201

SCALE:

1/4" = 1'-0"

DATE:

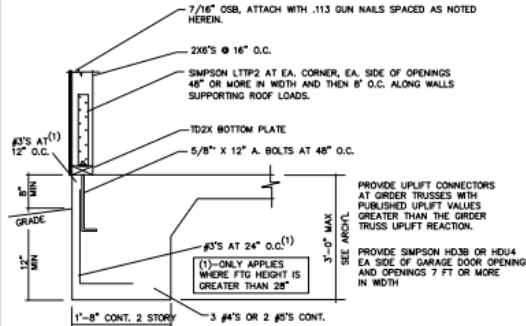
12/17/2025

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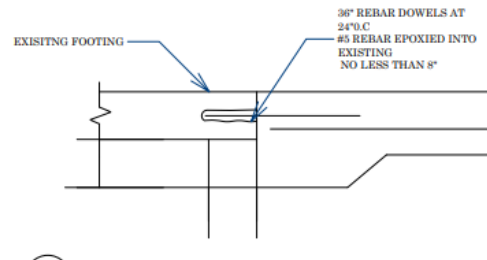
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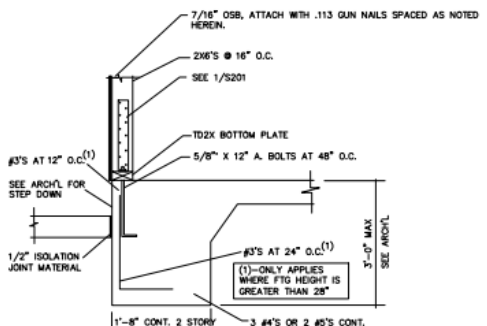
IF THIS PLAN IS PRINTED ON 11"x17" PAPER, REDUCE NOTED SCALE BY 50%.



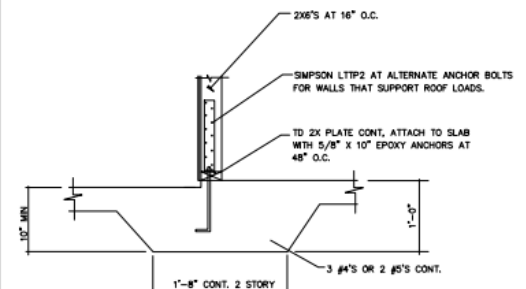
1 WALL FOOTING DETAIL
SCALE N.T.S.



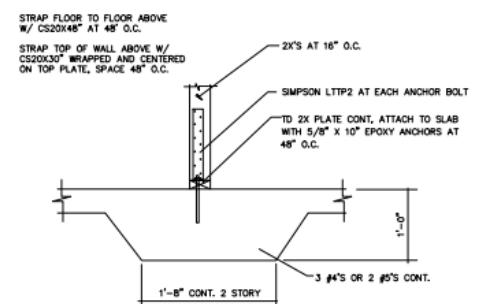
2 NEW TO EXISTING FOOTING CONNECTION
SCALE N.T.S.



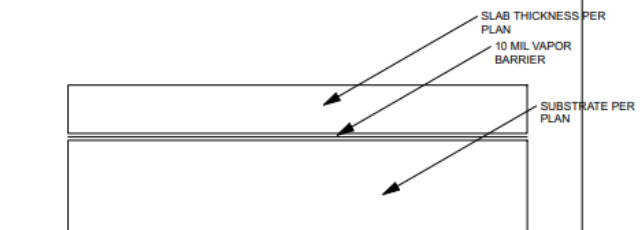
3 STEP DOWN DETAIL
SCALE N.T.S.



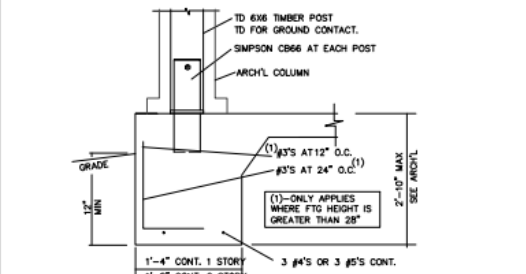
4 DEPRESSIONED SLAB DETAIL
SCALE N.T.S.



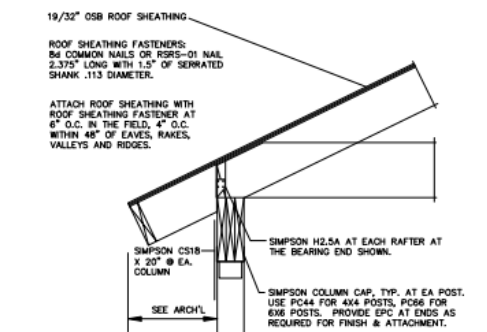
5 INT. WALL W/ ROOF LOADS
SCALE N.T.S.



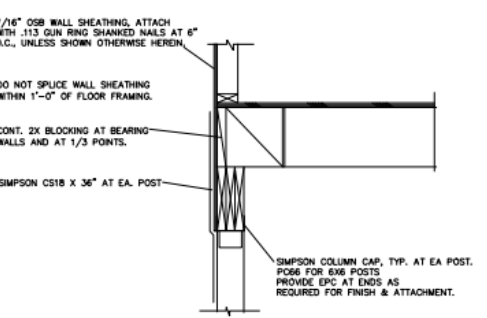
6 VAPOR BARRIER DETAIL
SCALE N.T.S.



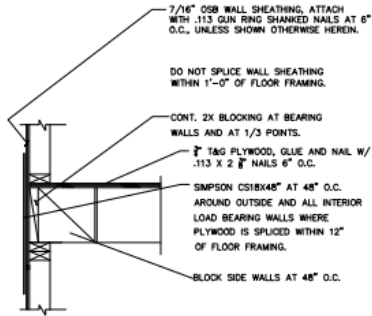
7 POST FOOTING DETAIL
SCALE N.T.S.



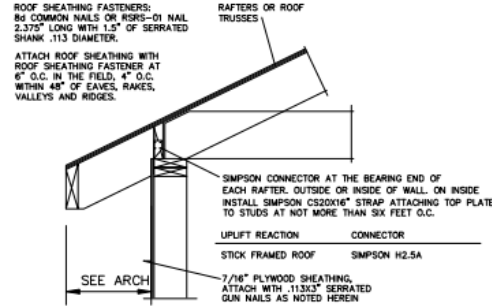
8 EAVE AT PORCH DETAIL
SCALE N.T.S.



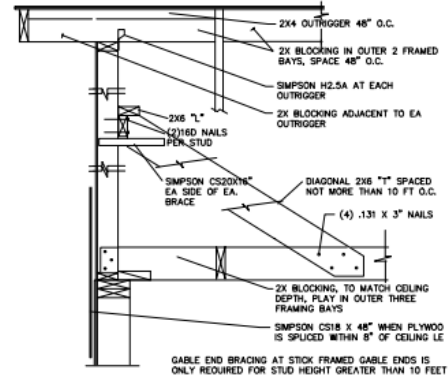
9 EAVE AT PORCH DETAIL
SCALE N.T.S.



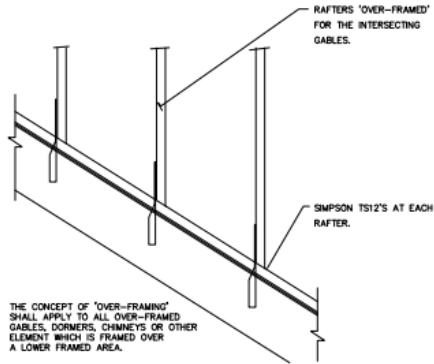
1 TYP. FLOOR TO FLOOR DETAIL
SCALE N.T.S.



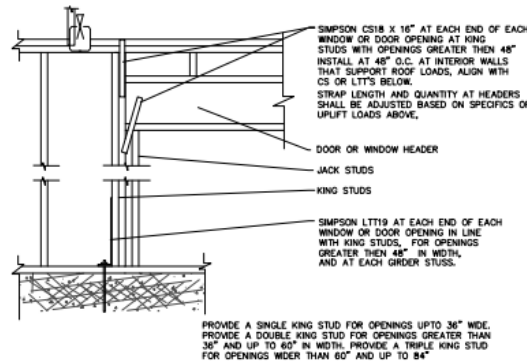
2 TYP. EAVE DETAIL
SCALE N.T.S.



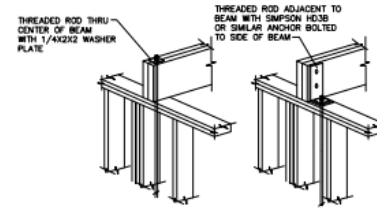
3 GABLE END FRAMING
SCALE N.T.S.



4 TYP. OVER-FRAMING DETAIL
SCALE N.T.S.

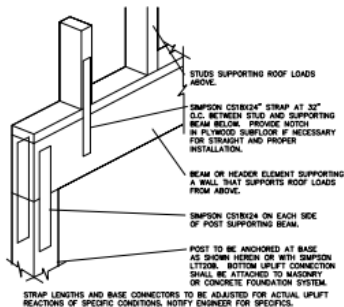


5 TYP. WALL STRAPPING DETAIL
SCALE N.T.S.

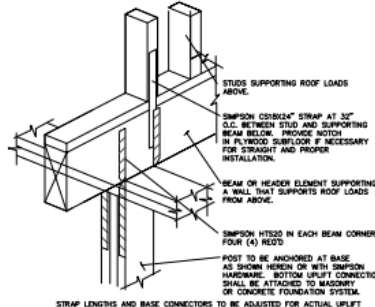


WHERE A BEAM OR GIRDER TRUSS SUPPORT ROOF FRAMING AND UPLIFT LOADS FROM ABOVE, EACH END OF THE BEAM SHALL BE ANCHORED BY ONE OF THE APPROACHES SHOWN HEREIN ABOVE.

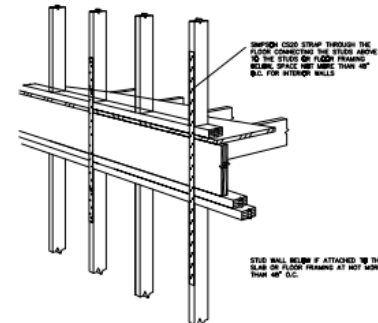
6 BEAM / TRUSS HOLD DOWN
SCALE N.T.S.



7 BEAM STRAPPING DETAIL
SCALE N.T.S.



8 BEAM STRAPPING DETAIL CONT.
SCALE N.T.S.



9 INTERIOR WALL WITH ROOF LOADS
SCALE N.T.S.

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:

STRAPPING DETAILS

SHEET #:

S202

SCALE:

N/A

DATE:

12/17/2025

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PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

No.	Description

PAGE TITLE:

HEADER AND CONNECTION DETAILS

SHEET #:

S301

SCALE:

N/A

DATE:

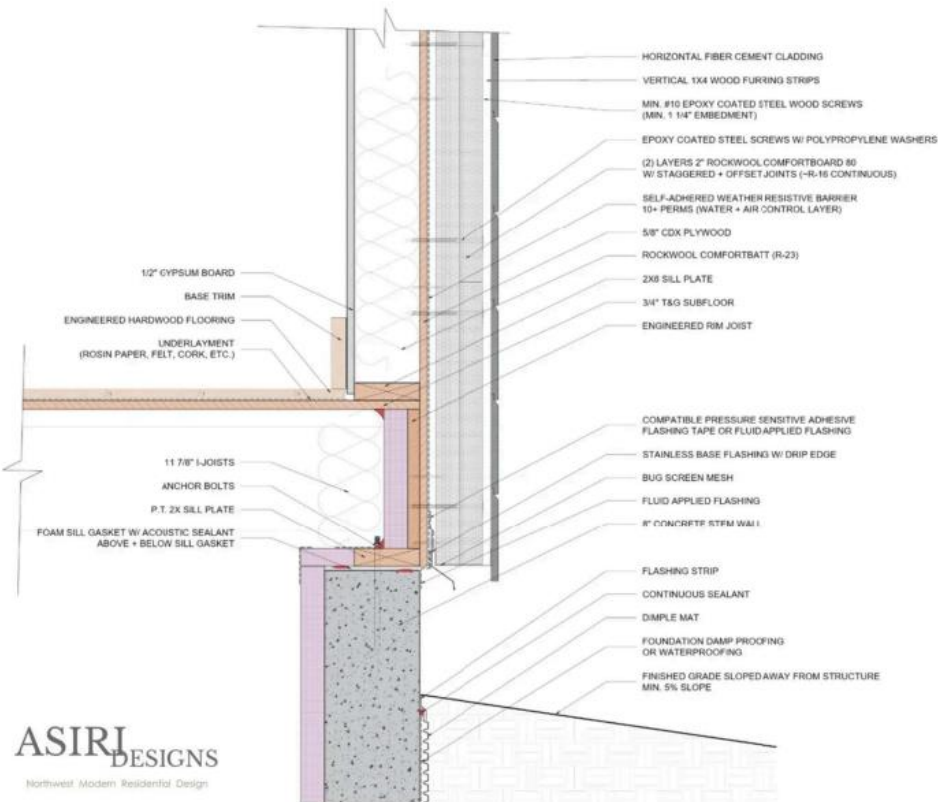
12/17/2025

DISCLAIMERS:

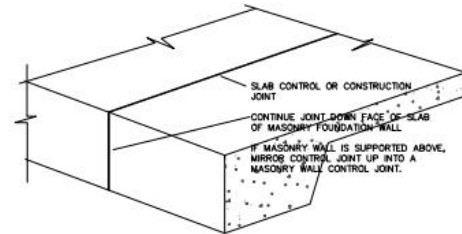
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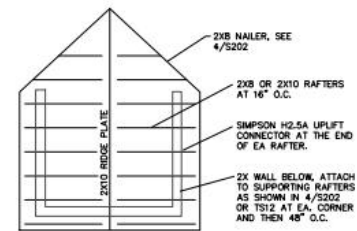
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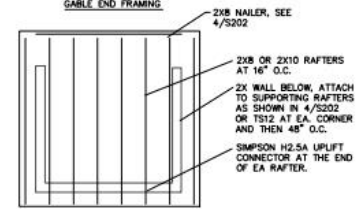
ASIRI DESIGNS
Northwest Modern Residential Design



5 CONTROL JOINT TERMINATION
SCALE N.T.S.

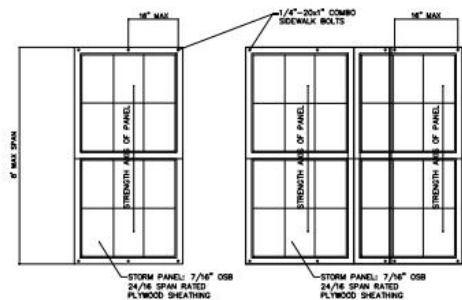


GABLE END FRAMING

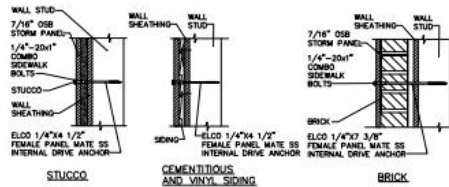


SHED DORMER FRAMING

6 DORMER FRAMING DETAIL
SCALE N.T.S.



1 WINDOW FLYING DEBRIS PROTECTION
SCALE N.T.S.



INSTALLATION NOTES:
1.) INSTALL FEMALE CONNECTOR FLUSH WITH OUTSIDE FACE OF FINISH MATERIAL.

4 WINDOW PANEL FASTENING
SCALE N.T.S.

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:	
NO.	Description

PAGE TITLE:
STRAPPING DETAILS

SHEET #:
S410

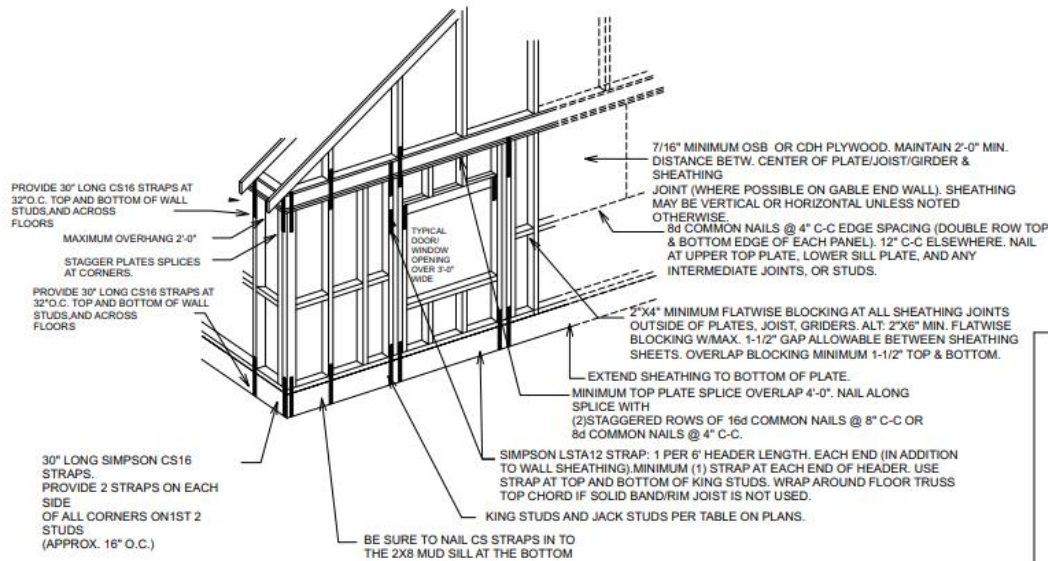
SCALE:
N/A

DATE:
12/17/2025

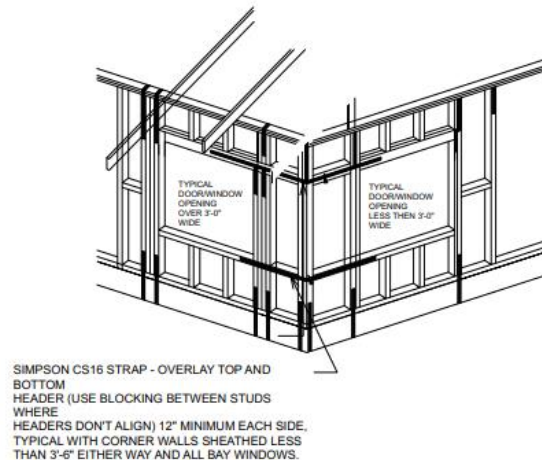
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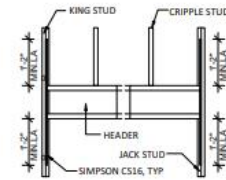
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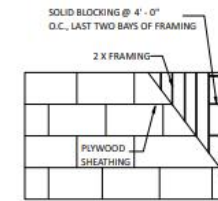
A TYPICAL STRAPPING
S410 DETAILS
SCALE N.T.S.



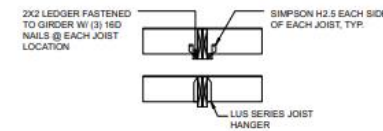
B TYPICAL STRAPPING
S410 DETAILS
SCALE N.T.S.



C TYP. EXTERIOR WALL HEADER
S410 STRAPPING
SCALE N.T.S.



D TYP. FLOOR / ROOF DIAPHRAGM BLOCKING
S410 SCALE N.T.S.

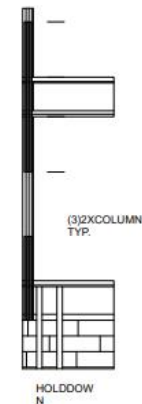


E TYP. JOIST CONNECTION
S410 STRAPPING
SCALE N.T.S.

(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

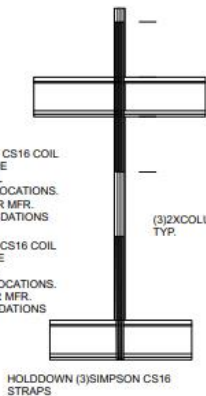
(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS
(2) SIMPSON PA51 STRAPS EACH HOLDDOWN LOCATION

CMU WALL (PIERS, SIMILAR)

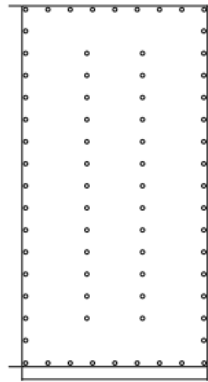


F TYPICAL HOLDDOWN DETAILS (COIL STRAP)
S410 STRAPPING
SCALE N.T.S.

(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS
(3) SIMPSON CS16 COIL STRAPS. SEE SHEARWALL PLAN FOR LOCATIONS. INSTALL PER MFR. RECOMMENDATIONS

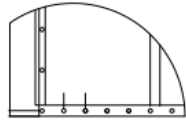


NAIL SPACING @
INTERMEDIATE FRAMING
TO BE 12" (O.C.)

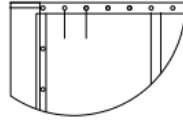


NOTE: SEE PLANS FOR NAIL
SPACING

PANEL EDGE

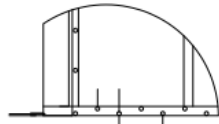


PANEL EDGE
SINGLE ROW OF FASTENERS

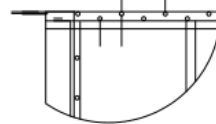


SINGLE ROW OF FASTENERS

2x FLATWISE BLOCKING



PANEL EDGE
DOUBLE ROW OF FASTENERS

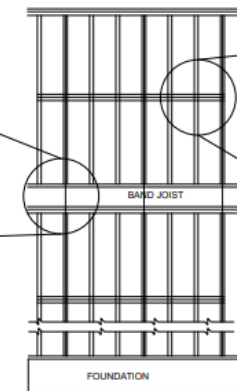


DOUBLE ROW OF FASTENERS

A
S411 **PANEL ATTACHMENT**
SCALE N.T.S.

PANEL ATTACHMENT TO UPPER
TOP PLATE OR CEILING JOIST
BAND: DOUBLE ROW 8d NAILS
@ EDGE SPACING PER PLAN

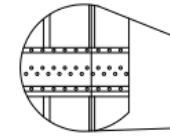
DOUBLE TOP PLATE



8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

8d NAILS @ EDGE
SPACING PER PLAN



(4) 8d COM. NAILS @ 3"
(O.C.) FOR UPLIFT (EACH
SIDE OF HORIZ. JOINT)

NAILING PROVIDED IN
STUDS ON EACH SIDE
OF HORIZ. JOINT

8d NAILS

PANEL EDGE

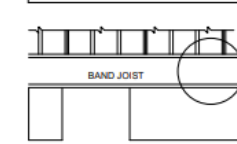
DOUBLE ROW OF 8d
NAILS @ EDGE SPACING
PER PLAN (O.C.)
STAGGERED

BOTTOM PLATE

(4) 8d COM. NAILS @ 3"
(O.C.) FOR UPLIFT (EACH
SIDE OF HORIZ. JOINT)

STEM/WALL/MONO
SLAB FOUND.
CONDITION

CRAWLSPACE AND
PIER FOUNDATION
CONDITION



BOTTOM PLATE

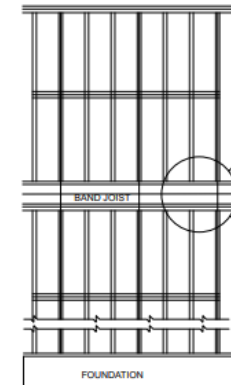
8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

8d NAILS @ EDGE
SPACING PER PLAN

B
S411 **PANEL SPLICE OCCURING ACROSS STUDS**
SCALE N.T.S.

DOUBLE TOP PLATE



PANEL ATTACHMENT TO UPPER
TOP PLATE OR CEILING JOIST
BAND: DOUBLE ROW 8d NAILS
@ EDGE SPACING PER PLAN

8d NAILS @
SPACING PER PLAN

SEE PLAN
FOR "S" NAIL
SPACING

PANEL EDGE

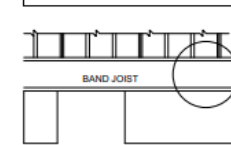
DOUBLE ROW OF 8d
NAILS @ EDGE
SPACING PER PLAN

DOUBLE ROW OF FASTENERS

BOTTOM PLATE

STEM/WALL/MONO
SLAB FOUND.
CONDITION

CRAWLSPACE AND
PIER FOUNDATION
CONDITION



BOTTOM PLATE

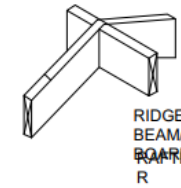
8d NAILS @ EDGE
SPACING PER PLAN

(2) ROWS 8d NAILS
@ EDGE SPACING
PER PLAN

8d NAILS @ EDGE
SPACING PER PLAN

C
S411 **PANEL SPLICE OCCURING OVER HORIZ. FRAMING MEMBERS**
SCALE N.T.S.

COLLAR TIE, ALTERNATE
EVERY OTHER RAFTER
MIN. (9) 8D NAILS EA. END



RIDGE
BEAM/
RAFTER

D
S411 **RIDGE UPLIFT STRAPPING (ALTERNATIVE TO CONVENTIONAL COLLAR TIE)**
SCALE N.T.S.



1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

NO.	DESCRIPTION

PAGE TITLE:

SHEATHING DETAILS

SHEET #:

S411

SCALE:

N/A

DATE:

12/17/2025

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1816 Success St Bldg D
North Charleston, SC 29405

PROJECT INFORMATION:

2219 PEONIE ST
N. CHARLESTON, SC
TMS#4640100178

Revision Table:

Rev	Description

PAGE TITLE:

DECKS AND STAIRS

SHEET #:

S430

SCALE:

N/A

DATE:

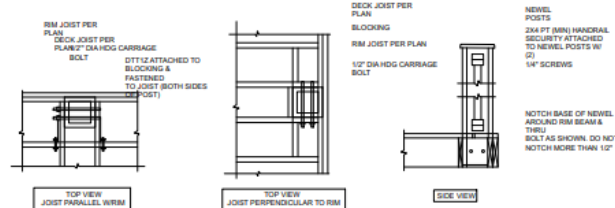
12/17/2025

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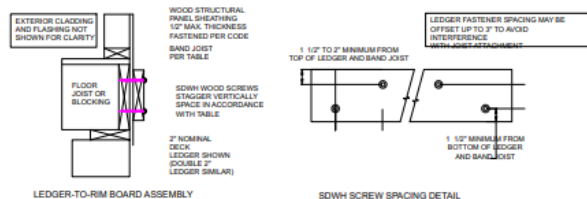
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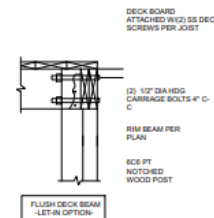


DETAIL NOTES:
1. THIS DETAIL APPLIES TO BASE CONNECTION OF HOLLOW OR SOLID COLUMNS AND GUARDRAIL NEWEL POSTS BOLTED DIRECTLY TO THE TOP OF DECK FRAMING.
2. MAXIMUM NEWEL POST SPACING = 6'-0" OC
3. MAXIMUM NEWEL POSTS SIZE 6"X6" NOMINAL
4. SEE TYPICAL DECK FRAMING DETAILS FOR ALTERNATE METHOD.

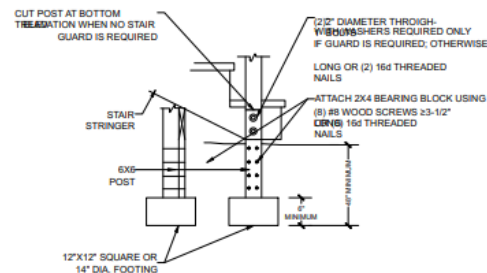
D
S430
LEDGER ATTACHMENT @STUD WALL CONNECTION
SCALE N.T.S



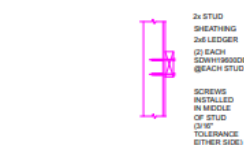
B
S430
LEDGER ATTACHMENT
SCALE N.T.S



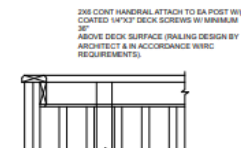
E
S430
TYPICAL BEAM TO POST CONNECTION
SCALE N.T.S



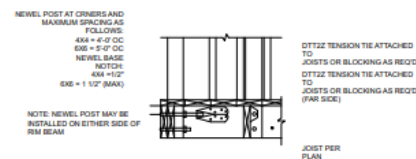
C
S430
STRINGER TO POST CONNECTION
SCALE N.T.S



B1
S430
LEDGER ATTACHMENT @STUD
SCALE N.T.S



J
S430
TYPICAL DECK TOP RAIL CONNECTION
SCALE N.T.S



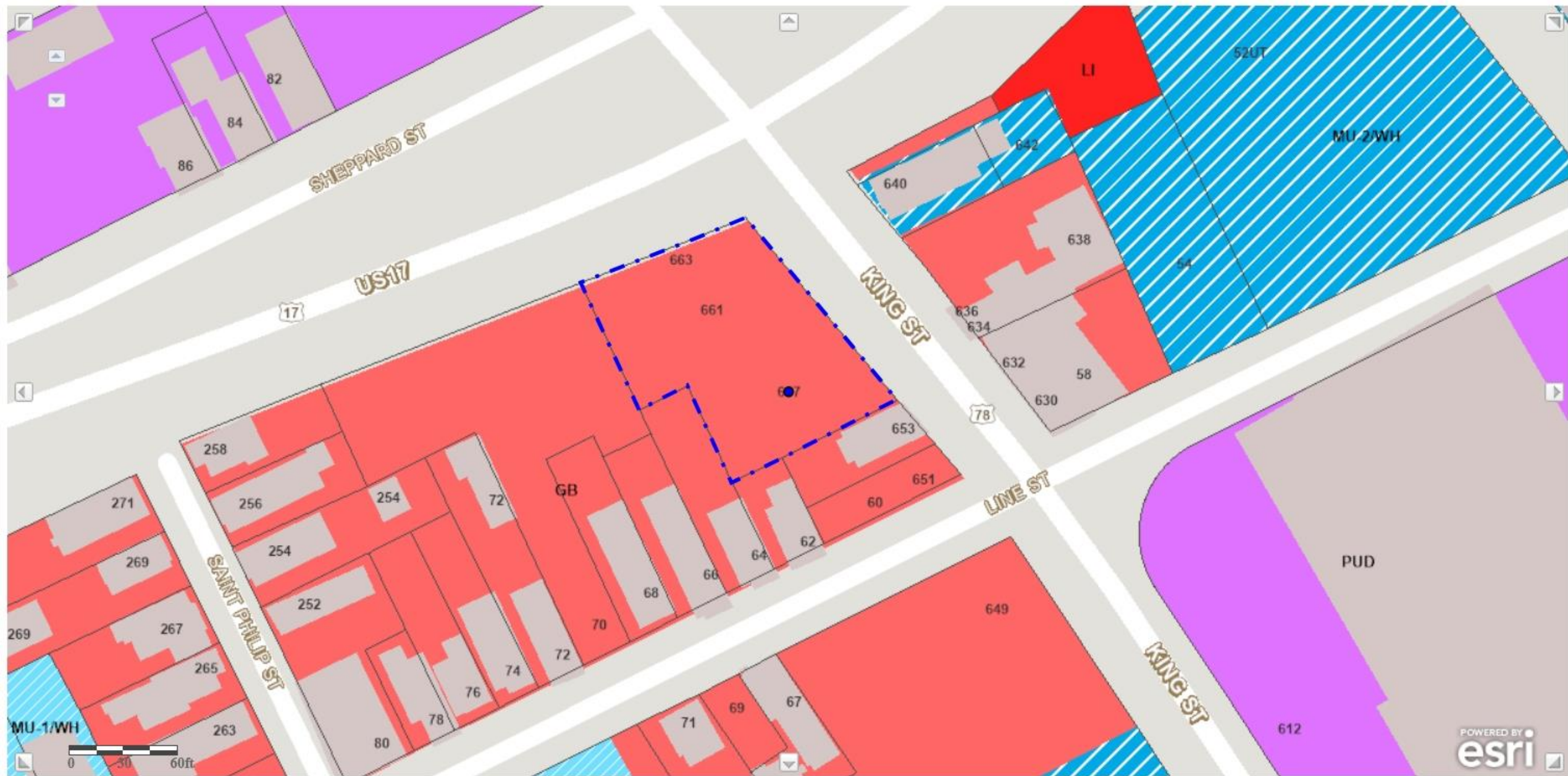
H
S430
TYPICAL NEWEL POST
SCALE N.T.S

Agenda Item #B-19

657 King St.
(Cannonborough/Elliottborough)
TMS # 460-04-04-091

Appeal of Zoning Administrator's determination regarding location of the height district boundary per Sec. 54-306 Old City Height Districts.

Zoned: GB







City of Charleston

Instructions – NOTE: APPLICATION PROCEDURE HAS CHANGED. This application, along with the required information, must be submitted in PDF format to BZA-Z@charleston-sc.gov. Applicant will then be invoiced for fee. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals-Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
☒ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: January 20, 2026

Property Address 657 King Street, Charleston, SC 29403 TMS # 460-04-04-091

Property Owner 657 King Street LLC Daytime Phone 607-227-8070

Applicant E. Brandon Gaskins, Moore & Van Allen PLLC Daytime Phone 843-579-7038

Applicant's Mailing Address P.O. Box 22828, Charleston, SC 29413-2828

E-mail Address gaskinsb@mvalaw.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Representative/Attorney

Zoning of property GB

Information required with application: (check information submitted)

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plan
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for density variances and building additions, unless exempted by the Zoning staff
☐ Plans or documents necessary to show compliance with special exception requirements
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant E. Brandon Gaskins Date December 16, 2025

For office use only
Date application received _____ Time application received _____
Staffperson _____ Fee \$ _____ Receipt # _____

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



Appeal for Reconsideration to the
Board of Zoning Appeals – Zoning (BZA-Z)

City of Charleston

Page 1 of 2

Applicants appealing for reconsideration of a Board decision or decision of the zoning administrator must submit the following information with the BZA-Z application, to bza-z@charleston-sc.gov. Applicants will then be invoiced for the corresponding fee.

In the case of an appeal for **reconsideration of a Board decision**, applicant shall state below the grounds upon which it is considered that the Board misapprehended or misconceived the question or questions involved, or the ground or grounds upon which it is considered that the Board has erred in its finding or disposition of the appeal, application or matter (add as an attachment if necessary). **The deadline for submitting this appeal form with the BZA-Z application and fee is the close of business on the 5th business day following the date of the board decision being appealed.**

In the case of an appeal for **reconsideration of a decision of the zoning administrator**, applicant shall state below the interpretation(s) of the Zoning Ordinance being appealed, how the applicant is aggrieved by the interpretation(s), and what the applicant contends is the correct interpretation of the Zoning Ordinance (add as an attachment if necessary):

See attachment.

Signature of Applicant E. BIAI Date December 16, 2025

For office use only

Date application received _____ Time application received _____ Staff person _____

For office use only

Property address: _____

TMS # _____ Zoning _____

**Board of Zoning Appeals – Zoning
Order on Appeal**

The Board of Zoning Appeals – Zoning held a public hearing on _____ to consider the above appeal for reconsideration of a decision of the Board or the zoning administrator alleged to be erroneous by the appellant and affecting the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of fact and conclusions.

1. The Board makes the following findings of fact which are supported by the evidence:

2. The Board concludes the following:

b. In the case of an appeal for **reconsideration of a decision of the Board**, the Board _____ denies the appeal. - - - _____ grants the appeal, withdraws its decision, and agrees to hear the application de novo, as if no hearing, consideration or determination has been previously made or heard.

a. In the case of an appeal for **reconsideration of a decision of the zoning administrator**, the Board orders that the decision of the zoning administrator is _____ affirmed _____ reversed _____ modified as follows: _____

MEMORANDUM

Moore & Van Allen PLLC
Attorneys at Law

78 Wentworth Street
Charleston, SC 29401-1428

Mailing Address:
Post Office Box 22828
Charleston, SC 29413-2828

T 843 579 7000
F 843 579 7099
www.mvalaw.com

TO: Chairman Jeffrey S. Tibbals and Board Administrator,
City of Charleston Board of Zoning Appeals - Zoning

FROM: E. Brandon Gaskins, on behalf of 657 King Street, LLC

DATE: December 16, 2025

RE: *Appeal of Zoning Administrator's Determination of Location of Height District Boundary w/r/t 657 King Street.*

I. BACKGROUND INFORMATION

657 King Street, LLC (the "Appellant") owns property located at 657 King Street (the "Property"), on which it seeks to develop a hotel on the Property. Because the Property is located within the City's Old and Historic District on King Street between Line Street and the Septima P. Clark Parkway (Crosstown) overpass, the architectural design of the Property must be approved by the Board of Architectural Review (the "BAR"). The Property is divided by the boundary of two different height districts: Height District 4 and Height District 6, which allow maximum building heights of four and six stories, respectively. City Zoning Code § 54-306.E. & G. The front portion of the Property nearest King Street is in Height District 4, and the rear portion of the Property is in Height District 6.

At its meeting on December 11, 2024, the BAR initially denied conceptual approval of a proposed design of the building with four stories on the front portion of the Property and six stories on the rear portion. Following that meeting, the Appellant took the Board's comments into consideration and engaged with the Board's staff to redesign the building to have five-stories.

657 King submitted a new application for the redesigned five-story building, which was considered by the BAR at its meeting on March 12, 2025. In response to public comments by historic preservation organizations, including Historic Charleston Foundation ("HCF"), about the proposed height of the building, the City's planning and preservation staff explained that it and the City's legal staff determined that Height District 6 is to be applied across the entire Property pursuant to Zoning Code § 54-103.c. This section, in relevant part, provides:

Where uncertainty exists with respect to the boundaries of any of the [City's zoning] districts as shown on the zoning map, the following rules apply:

...

c. Where a district boundary line on the zoning map divides a lot of record, the district requirements for the least restricted portion of such lot shall be deemed to apply to the whole thereof, provided that such extensions shall not include any part of such a lot more than 50 feet beyond the district boundary line. . . .

City Zoning Code § 54-103.c. Staff then stated that it supported the five-story configuration over the previous up-and-down, split-story configuration. Ultimately, though, the BAR deferred conceptual approval of the design for "restudy of massing and scale with specific intention to precedent images, more articulation of facades, penthouse and penthouse roof, and greater sensitivity to adjacent historic structures."

As a result, the Appellant once again redesigned the building in an attempt to address the BAR's comments, which led to a revised submission that was considered at the BAR's May 14, 2025 meeting. During the meeting, representatives from HCF and another preservation organization objected to the building's five-story height, claiming that it was not compliant with the 4/6 split-height zoning requirement. In response, planning staff reiterated the legal staff's interpretation that Zoning Code § 54-103.c. requires Height District 6 to be applied across the entire Property. Following discussion by the Board members, the BAR granted conceptual approval of 657 King's proposed design.

On June 13, 2025, HCF filed an appeal challenging the BAR's conceptual approval of the project's design. In the appeal, HCF argued that the BAR erred in applying Zoning Code § 54-103.c. to grant conceptual approval of the design of a five-story hotel. According to HCF, § 54-103.c. did not apply because the location of the boundary between Height Districts 4 and 6 on the Property is certain. At the hearing, the HCF then argued that that the matter should be remanded to the zoning administrator so that he, instead of legal staff, could determine whether the location of the height district boundary was certain. After the appeal was heard, the Circuit Court remanded the matter to the zoning administrator.

On October 24, 2025, following remand, the Appellant, through its attorney, sent a request to the zoning administrator that he affirm staff's prior determination that the height district boundary's location on the Property is not certain. (Ex. 1 – Oct. 24, 2025 Ltr. to R. Summerfield.) In the letter, the Appellant requested that, if the zoning administrator concluded that the location of the boundary is certain, then he should provide various information regarding the location of the boundary.

On December 3, 2025, the zoning administrator issued a determination, finding "that there is not ambiguity as to the height district boundary line that crosses the subject property and designates the portions of the property that are within the 4-story district and that which is in the 6-story district." (Ex. 2 – December 3, 2025 Ltr. from R. Summerfield.) However, the zoning administrator failed to specify the boundary's location or provide the other information requested in the Appellant's letter of October 24, 2025.

After the Appellant received the December 3rd determination letter, the Appellant's principal and attorney met with the zoning administrator and the City's legal staff to obtain further information related to the determination. During the meeting, the zoning administrator stated that the height district boundary was 50' from the Property's boundary adjacent to King Street. However, when the zoning administrator attempted to demonstrate how he made that determination and measured the distance between the property boundary and the height district boundary with the GIS measuring tools, the measuring tool calculated varying distances, none of which were 50'. In addition, the Appellant's attorney requested that the zoning administrator measure other distances including the Property's lot dimensions and the width of the King Street right-of-way, and the calculations generated by the GIS were different than those depicted on the recorded plats for the Property and the King Street right-of-way.

II. GROUNDS FOR APPEAL

First, the zoning administrator's determination that the location of the height district boundary is not ambiguous is in error because his attempts to demonstrate the precise location of the boundary using the GIS resulted in different measurements and he could never replicate a measurement that was consistent with his initial representation that the boundary was 50' from the Property's border with the King Street right-of-way.

Second, the zoning administrator could not verify that the dimensions of the Property and the King Street right-of-way were based on accurate source data. In fact, the zoning administrator was not aware of what source data was used to create the GIS map that he used to determine the location of the height district boundary. And his measurements of those dimensions using the GIS map were inconsistent with the actual dimensions as determined by recorded plat prepared by a licensed surveyor.

Third, the zoning administrator's determination is based on the false assumption that the GIS measuring tools and its underlying data are precise enough to allow for determinations with certainty. As explained in the Appellant's letter to the zoning administrator of October 24, 2025, GIS maps are inherently unreliable based on a variety of factors, including the original scale used, methods of formatting, positional accuracy, and digitizing errors. Because of this unreliability, the City uses prominent disclaimers on its public interfacing GIS maps, which disclaim any warranty, representation, or guaranty about the accuracy of the maps' information.

The Appellant is currently in the process of obtaining additional information through the Freedom of Information Act, which it will supplement to support this Appeal.

III. CONCLUSION

Based on the above, the Appellant respectfully requests that the Board of Zoning Appeals reverse the zoning administrator's determination that the location of the height district boundary is not ambiguous.

EXHIBIT 1

October 24, 2025

VIA FIRST-CLASS MAIL & EMAIL

Robert Summerfield, Director
City of Charleston
Planning & Preservation
2 George Street, Suite 3100
Charleston, SC 29401
summerfieldr@charleston-sc.gov

Re: 657 King Street

Dear Mr. Summerfield:

I represent 657 King Street, LLC (“657 King”) in the appeal filed by the Historic Charleston Foundation (“HCF”) challenging the City of Charleston Board of Architectural Review’s conceptual approval of the design of the proposed development of 657 King Street (the “Property”). In light of the circuit court’s remand of the matter to the City’s zoning administrator, I am writing to request confirmation that the location of the boundary of the Old City Height District zones that intersects the Property is uncertain and, therefore, Zoning Code § 54-103.c. applies to the project.¹

The conclusion that the boundary is uncertain is supported by the procedural history of this matter, as well as the governing rules and zoning code provisions. As you know, BAR has no authority over zoning matters. Under Art. IV, § 1 of the BAR’s Rules of Procedure, “applications are not to be considered by the Board unless they satisfy all zoning requirements concerning the use of the property, parking, setbacks or other zoning requirements that would affect the size and placement of building.” Likewise, Zoning Code § 54-901 vests the zoning administrator with the duty to enforce and administer the zoning code, and any disputes involving the interpretation of zone district boundaries made by the zoning administrator are to be finally determined by the Board of Zoning Appeals – and not the BAR – pursuant to Zoning Code § 54-103.d. Based on these code provisions, it is clear that the determination of the boundary must have been made prior to BAR’s consideration of 657 King’s application for conceptual approval.

In this case, these rules and code provisions were followed by 657 King and City staff. Prior to BAR consideration of the request for conceptual approval, there was considerable dialogue between 657 King’s architect and City staff regarding the zoning, including height requirements

¹ To the extent that HCF argues that this determination should be made under the amendment to Zoning Code § 54-103 that is current pending before City Council pursuant to the pending ordinance doctrine, that argument is mistaken. The determination of the certainty of the boundary must be made under the provisions of § 54-103 in effect at the time of 657 King’s application in March 2025 in accordance with the “time of application” rule. See *Pure Oil Div. v. Columbia*, 254 S.C. 28, 34 (1970) (explaining that property owners who have relied on zoning ordinance in force at the time of the application are vested under that ordinance). Here, 657 King, at the direction of the City, relied on § 54-103.c. to design its project, applied to the BAR for conceptual approval under § 54-103.c., and incurred significant legal expenses defending the City’s application of § 54.103.c. Therefore, the “time of application” rule and not the pending ordinance doctrine applies.

Moore & Van Allen

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Attorney at Law

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for the Property. Initially, 657 King's design included story/height variations intended to comply with the apparent split-zoning of the Property based on both the applicant's and staff's opinion on where the height district boundary was located on the Property. During this phase of the design, 657 King's architect requested from staff the location of boundary to approximate where the step-down in height was to occur, and the architect was told that staff could not conclusively determine the boundary's exact location. As a result, staff directed 657 King's architect to make her best determination using the scale on the City's GIS maps.

After the initial design was rejected by BAR in January 2025, 657 King's architect redesigned the building to its present iteration to allow for up to five and a half stories across the entire Property based on direction from staff. During discussions with staff during the redesign, neither 657 King's architect nor staff could determine the precise location of the height district boundary, thereby triggering the application of Zoning Code § 54-103.c. and allowing the six-story height limitation to apply to the entire Property.²

657 King relied on the direction and interpretation of staff that the boundary was uncertain and that Zoning Code § 54-103.c. applied to redesign the building prior to BAR's conceptual approval. In so relying on staff's direction, 657 King incurred significant expenses to redesign the building. Equally important, staff's direction has resulted in 657 King expending considerable time pursuing and defending the design directed and favored by staff, thereby by imposing additional financial impacts on 657 King.

As a result, the interpretation of staff regarding the location of the height district boundary and application of § 54-103.c. that occurred prior to BAR's conceptual approval is binding. We, therefore, respectfully request that you affirm this decision and confirm that it was made prior to BAR's conceptual approval and remains unchanged. Not only is this the fair and equitable conclusion based on 657 King's detrimental reliance on City staff's direction, it is necessary to maintain confidence in the City's planning and zoning review processes by all property owners and developers. If you are unwilling to stand behind the prior determination, it will undermine the reliability of information provided by staff and make the planning and zoning review process more expensive and less efficient.

Even if you are unwilling to affirm the prior determination that the location of the boundary is uncertain and feel compelled to conduct a *de novo* review, it is nevertheless clear that the location of the boundary on the Property is uncertain under the governing zoning map. To make this determination, it is first necessary to determine which zoning map governs. Zoning Code § 54-101.c., which was originally adopted in 2010 and last amended in 2015, provides:

² Based on this background, we presume that you were involved in the initial determination of the uncertainty of the boundary. However, even if you were not, 657 King's reliance on the determination of other planning staff was reasonable under the "delegation of authority" rule of construction articulated in Zoning Code § 54-106.

Old City Height Districts are set forth on the zoning maps prepared by the Department of Planning and Urban Development. The zoning maps shall delineate the Old City Height Districts and were adopted as the official zoning map of the city on December 19, 1978, and shall prevail over any other rendition, map or schematic drawing. Said zoning maps, delineating the Old City Height Districts shall be filed in the Office of the Department of Planning and Urban Development.

However, on August 15, 2017, and subsequent to the adoption and last amendment of § 54-101.c., City Council adopted Ordinance 2017-085, which was a comprehensive amendment to the Old City Height District zones and regulatory text. In Section 2 of Ordinance 2017-085, City Council provided that the "Old City Height District Map is replaced by the Old City Height District Map, attached to this Ordinance as Exhibit 'A', and incorporated herein by reference."

We are aware of no amendments to the Old City Height District Map that affect the Property since the adoption of Ordinance 2017-085. As a result, the Old City Height District Map adopted as part of Ordinance 2017-085 and attached thereto as Exhibit A is the governing zoning map with respect to the height district boundary for the Property according to the "last legislative expression" rule. *Williams v. Town of Hilton Head Island*, 311 S.C. 417, 421, 429 S.E.2d 802, 804 (1993) (explaining that "last legislative expression rule" requires that "later legislation supersedes the earlier"). Therefore, the Old City Height District Map adopted as part of Ordinance 2017-085 supersedes any other zoning maps purporting to establish the boundary for the Property and should be used to determine whether Old City Height District boundary intersecting the Property is certain or not.

The Old City Height District Map as adopted in Ordinance 2017-085, which is attached to this correspondence, clearly demonstrates uncertainty about the exact location of the height district boundary on the Property. This conclusion is inescapable because the Old City Height District Map does not contain any individual parcel's lot lines, which makes it impossible to determine where the boundary exists on the Property. The uncertainty is further compounded by the boundary's failure to "follow land lot lines; center lines of streets, highways, alleys or railroads; center lines of water courses or impoundments of streams, reservoirs, or other bodies of water," as would typically be the case under Zoning Code § 54-103.a. Instead of using the Property's lot line or the adjacent center line of the adjacent King Street as a reference point that could be used to more precisely determine the location of the boundary on the Property, City Council arbitrarily intersected the Property with the boundary with no way of determining its exact location. Under these circumstances, the location of the boundary on the Property is clearly uncertain.

This conclusion that the boundary is uncertain holds even if you attempt to determine the location of the boundary using the City's various geographic information system (GIS) maps. As a starting point, it cannot be disputed that GIS maps are not as reliable as surveys prepared by a professional licensed land surveyor. Moreover, GIS maps are only as reliable as the quality of their underlying data and the competence of the persons responsible for collecting and inserting the data. Even where reliable data is used, all GIS maps have a range of error. While these ranges may be small,

even a small error would have a significant effect on individual parcels, such as the Property. Indeed, the inherent unreliability of GIS maps likely prompted the City to use prominent disclaimers on its public interfacing GIS maps, which disclaim any warranty, representation, or guaranty about the accuracy of the maps' information.

The inherent unreliability of the City's GIS maps is demonstrated when comparing the different online GIS maps the City uses for the Old City Height Districts. A comparison between the City's Interactive Zoning Map³ and the City's GIS department's data imagery website⁴ shows the same boundaries of the height district at different places on the Property and the adjacent streets. Similarly, the different maps show different widths of King Street. Also, the lengths of the Property's lot lines as depicted on the City's GIS map and measured with the scale included therein are not consistent with the exact lengths as shown of the recorded plat for the Property.

If the City's GIS software and underlying source data are reliable enough to allow for the determination of boundary lines with certainty, then there would be no variation in the location of the boundaries or the widths of rights-of-way between the City's GIS maps. And if the City's GIS maps are completely accurate, then there would be no discrepancy between the lengths of the Property's lot lines as shown on the recorded plat and the City's GIS maps. However, the existence of such variation and discrepancies conclusively proves that the City's GIS maps cannot show with certainty the exact location of the Old City Height District boundary on the Property.

Based on the above facts and analysis, it is clear that the City correctly determined prior to BAR's conceptual approval of the project that the boundary of the height district that intersects the Property is uncertain and that Zoning Code § 54-103.c. applies. As a result, we request and expect that you can confirm the uncertainty of the boundary and will stand behind the City's prior interpretations and direction that sent 657 King down the expensive and time-consuming path of creating and defending the current design of the building.

If you are unwilling to provide this confirmation and instead conclude that the location of the boundary is certain, we respectfully request that you provide a precise location of the boundary that intersects the Property and the following information:

1. The map you relied on to determine the certainty of the boundary;
2. The longitudinal and latitudinal ordinates of where the height district boundary intersects the southern Property boundary;
3. The distance from the southeastern corner of the Property to the point where the height district boundary intersects the southern Property boundary;

³ <https://gis.charleston-sc.gov/interactive/zoning/>.

⁴ https://data-charleston-sc.opendata.arcgis.com/datasets/b066169b167e4f52ac4e996574bd8fb0_0/explore?location=32.789890%2C-79.758865%2C11.21.

4. The distance from the southwestern corner of the Property to the point where the height district boundary intersects the southern Property boundary;
5. The degree of the angle at which the height district boundary runs across the Property;
6. The longitudinal and latitudinal ordinates of where the height district boundary intersects the northern Property boundary;
7. The distance from the northeastern corner of the Property to the point where the height district boundary intersects the northern Property boundary;
8. The distance from the northwestern corner of the Property to the point where the height district boundary intersects the northern Property boundary; and
9. The length of the boundary from the points where it intersects the northern and southern Property boundaries.

In addition, 657 King expects that HCF may continue to challenge the City's application of § 54-103.c. to the project. To ensure that we are adequately prepared to defend the City's determination, we request, pursuant to the South Carolina Freedom of Information Act, the following documents:

1. All datasets utilized by the City or any vendors to create or revise Exhibit A to Ordinance 2017-085, including but not limited to all .CSV, Shapefiles (i.e., .shp, .shx, .dbf, and .prj files), GeoJSON, and KML files;
2. All datasets utilized by the City or any vendors to create or revise the GIS map relied on by you to determine the location of the height district boundary on the Property as a result of this request and/or the remand of HCF's appeal to the BAR's conceptual approval of the project, including but not limited to all .CSV, Shapefiles (i.e., .shp, .shx, .dbf, and .prj files), GeoJSON, and KML files;
3. All metadata for Exhibit A to Ordinance 2017-085, including but not limited to all metadata related to Root Mean Square Error, National Map Accuracy Standards, Confidence Levels, Margin of Error, Classification Accuracy, Ground Sample Distance;
4. All metadata for the GIS map relied on by you to determine the location of the height district boundary on the Property as a result of this request and/or the remand of HCF's appeal to the BAR's conceptual approval of the project, including but not limited to all metadata related to Root Mean Square Error, National Map Accuracy Standards, Confidence Levels, Margin of Error, Classification Accuracy, Ground Sample Distance;

5. All licenses, agreements, terms of use, warranties, disclaimers, instruction manuals, user guides, solicitations, requests for proposals, bids, offers, proposals, and other contracting documents related to the software and/or services procured by the City to create or revise Exhibit A to Ordinance 2017-085;
6. All licenses, agreements, terms of use, warranties, disclaimers, solicitations, instruction manuals, user guides, requests for proposals, bids, offers, proposals, and other contracting documents related to the software and/or services procured by the City to create or revise the GIS map relied on by you to determine the location of the height district boundary on the Property as a result of this request and/or the remand of HCF's appeal to the BAR's conceptual approval of the project;
7. All communications between any employee of the City and any vendor, including including Environmental Systems Research Institute, Inc. d/b/a Esri, who provided software and/or services to create or revise Exhibit A to Ordinance 2017-085;
8. All communications between any employee of the City and any vendor, including Environmental Systems Research Institute, Inc. d/b/a Esri, who provided software and/or services to create or revise and/or the GIS map relied on by you to determine the location of the height district boundary on the Property as a result of this request and/or the remand of HCF's appeal to the BAR's conceptual approval of the project, since January 1, 2017;
9. All communications to or from any employee of the Department of Planning, Preservation & Sustainability, for the period of January 1, 2025 through present, relating to the location of the Old District Height District boundary on the Property;
10. All communications to or from any employee of the Department of Planning, Preservation & Sustainability, for the period of January 1, 2025 through present, relating to § 54-103; and
11. All communications between (1) any employee of the Department of Planning, Preservation & Sustainability, and (2) Winslow Hastie, Lisa Jones, or Brian Hellman, relating to 657 King Street for the period of January 1, 2025 through present.

Thank you in advance for your attention to this matter. If you have any questions or want to discuss further, please do not hesitate to contact, or have the City's attorneys contact, me.

Sincerely,



E. Brandon Gaskins

Enclosure: As Stated.

cc: Tim Domin, Esq. (via email only)
Julia Copeland, Esq. (via email only)
Magalie Creech, Esq. (via email only)

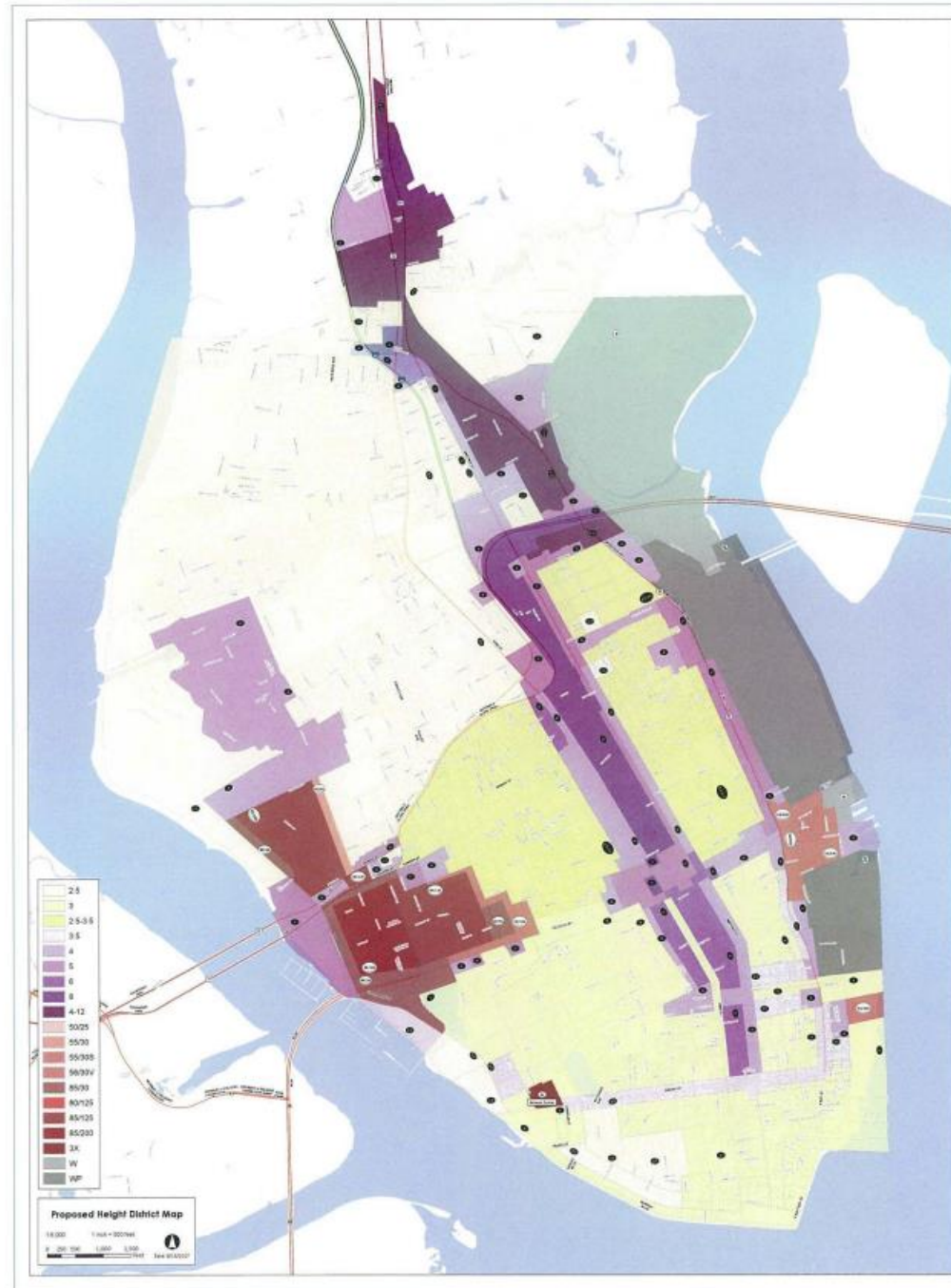


EXHIBIT 2

William E. Cogswell, Jr.
Mayor



City of Charleston
South Carolina

Robert Summerfield
Director

Department of Planning & Preservation

VIA EMAIL

December 3, 2025

To: E. Brandon Gaskins, Attorney, Moore & Van Allen PLLC and
Brian S. Hellman, Attorney, Hellman & Yates, PA,

Regarding **2025-CP-10-03448 Remand** (657 King Street and the question about the boundary line of the Old City Height District Overlay): After reviewing the applicable code sections, both the externally available GIS map and the internal official Zoning Map which is housed in the city's GIS, and our mapping history for the Overlay, I find that there is not ambiguity as to the height district boundary line that crosses the subject property and designates the portions of the property that are within the 4-story district and that which is in the 6-story district. The GIS maps the Zoning Division uses are accurate. The version of the maps available to the public online doesn't have certain measuring tools, but the official maps used by the Zoning Division enable me to determine the location of this height district accurately by using measuring tools within the program. The actual ordinance passed by City Council had a map attached that was made with precise GIS maps used by the Zoning Division. The maps are reduced to fit on an 8 ½ by 11 piece of paper. If the applicant in this matter had any question related to the boundary, a consultation with the Zoning Division would have been the next step in addressing the matter prior to submitting to the Board of Architectural Review.

Sincerely,

A handwritten signature in black ink, which appears to read "Robert Summerfield", is placed above the printed name and title.

Robert Summerfield, AICP
Director, Department of Planning & Preservation / Acting Zoning Administrator

Cc: Magalie Creech, Assistant Corporation Counsel
Tim Domin, Attorney, Clawson & Staubes